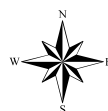
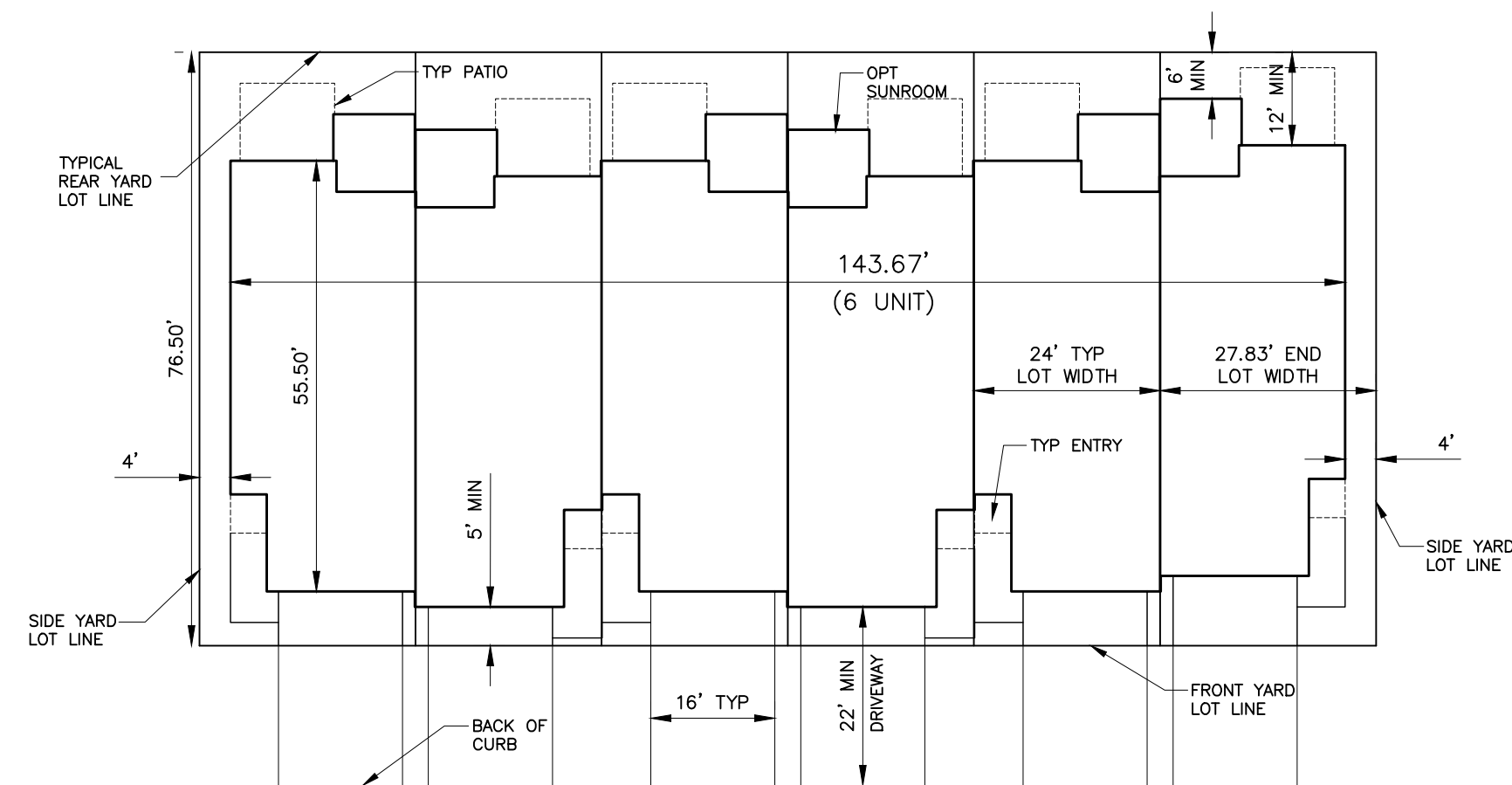
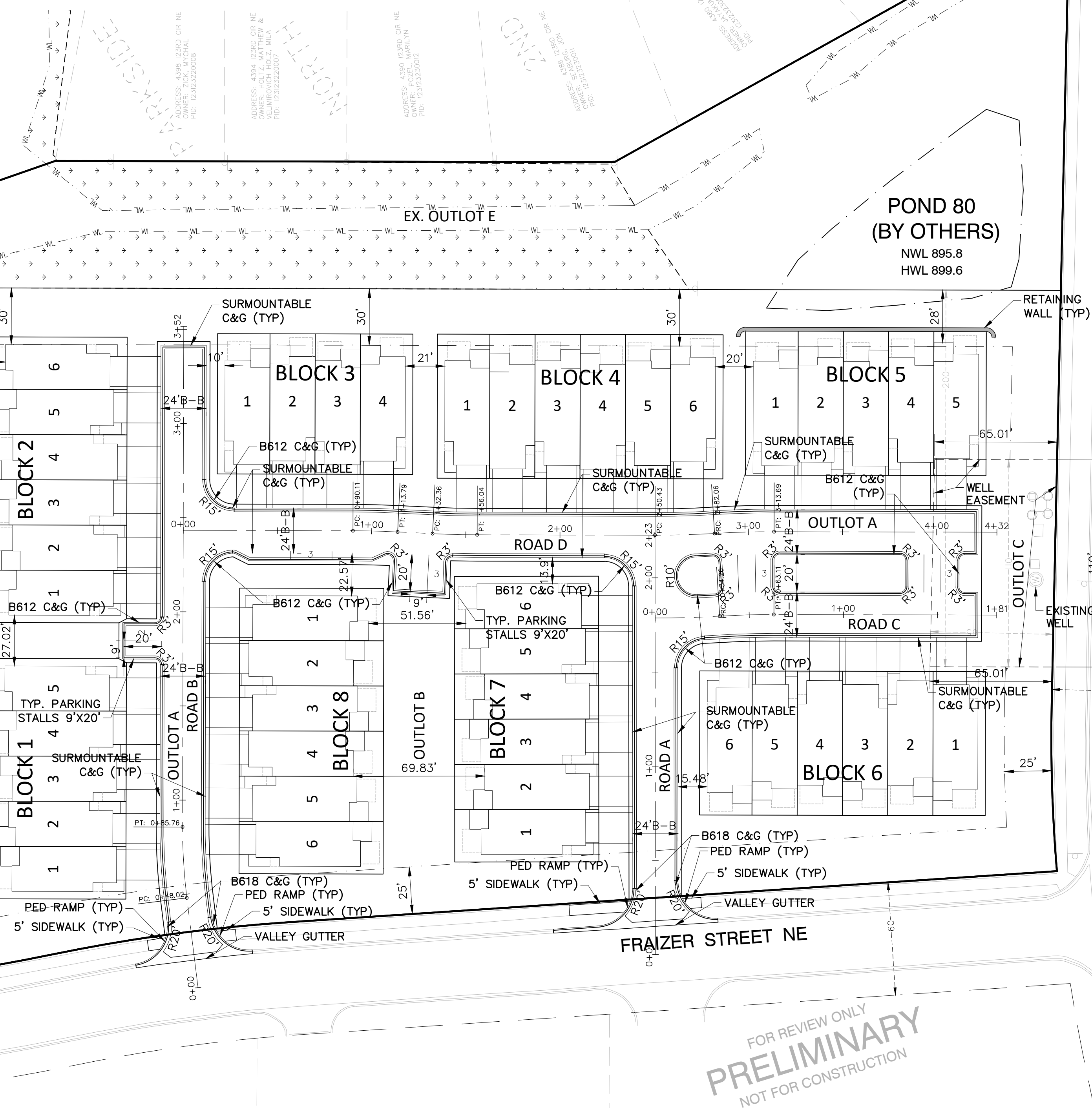











Case File No. 20-0040
Haverhill

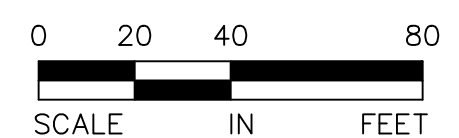




TYPICAL 24' WIDE TOWNHOME LOT DETAIL



	EASEMENT LINE
	BUILDING SETBACK
	PROPERTY LINE
	LOT LINE
	ROW
	EXISTING WETLAND BOUNDARY
	EXISTING WETLAND EASEMENT
	PROPOSED EASEMENT MARKER
	EXISTING WETLAND EASEMENT AREA



SITE PLAN

BLAINE, MINNESOTA

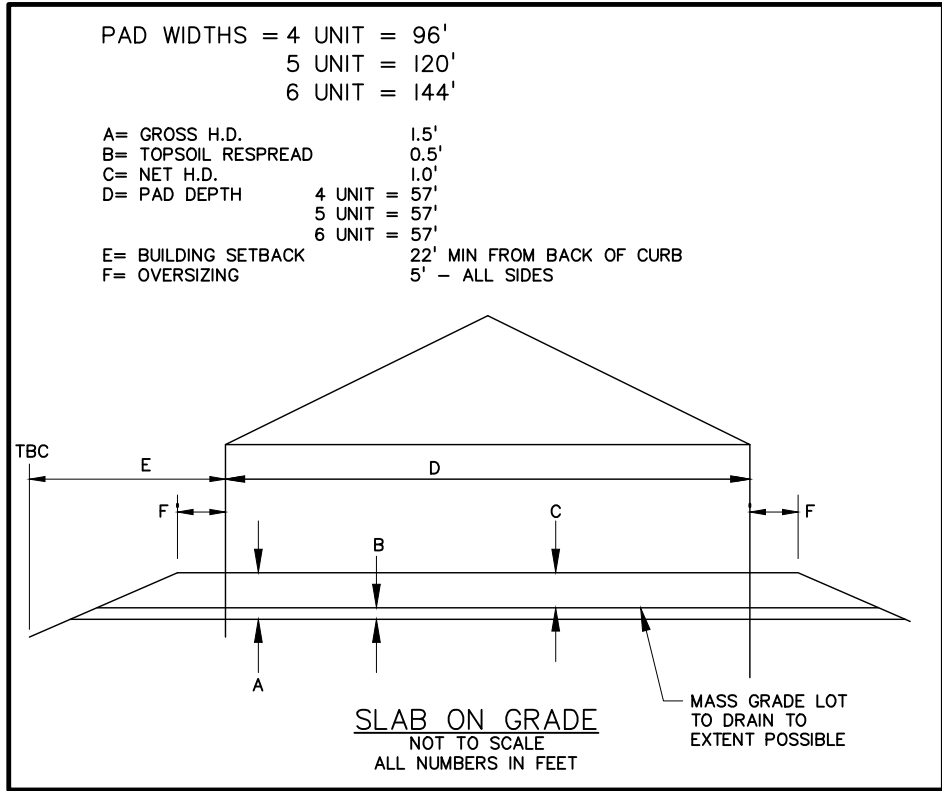
DESIGNED: MPR
DRAWN: ELL
PROJECT NO: 220-0156

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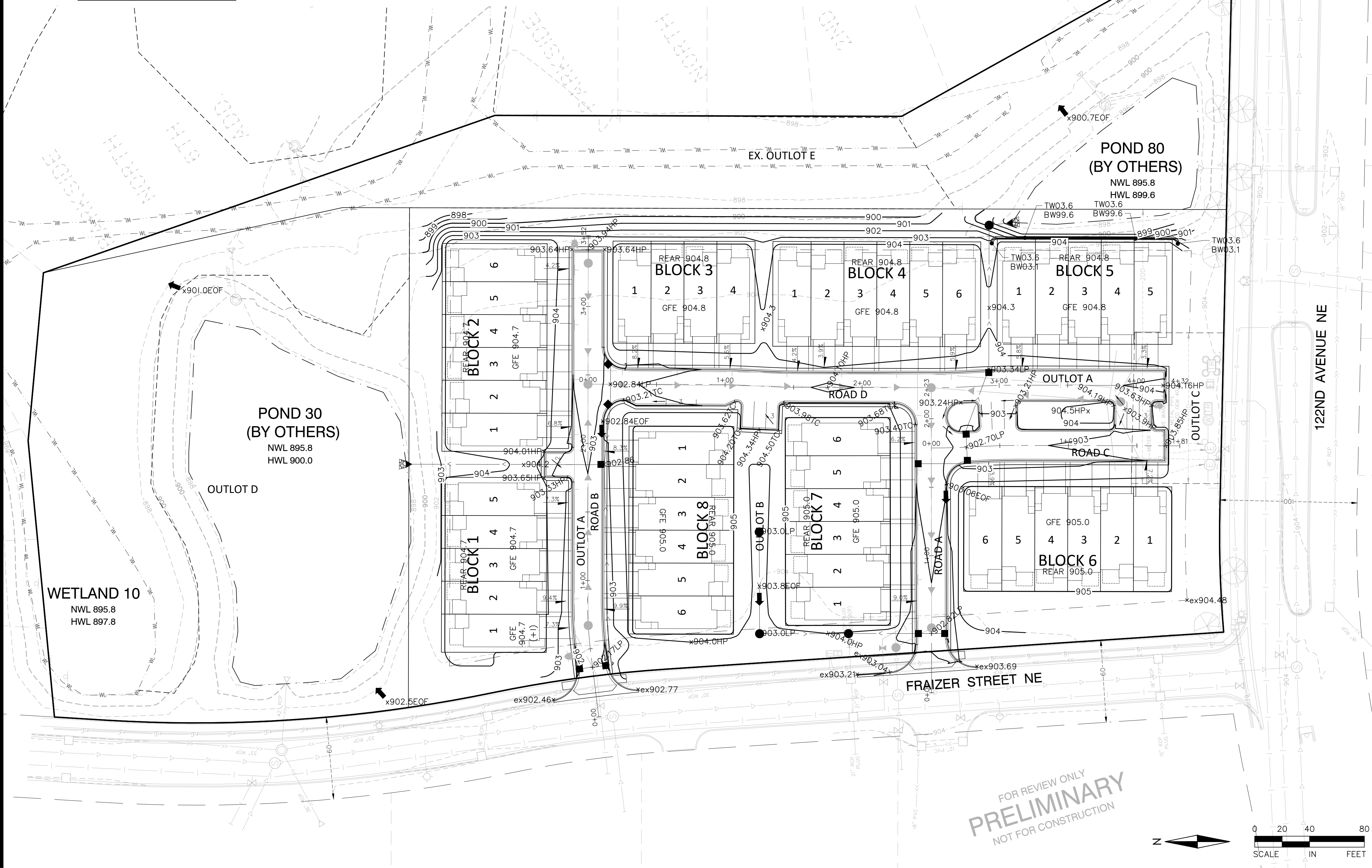
SHEET 4 of 11

Drawing name: X:\2020\200156\plan sheets\preliminary plat\200156site.dwg Nov 13, 2020 - 6:02pm

Drawing Name: X:\2020\200156\plan_sheets\preliminary_plat\200156\grad.dwg Nov 13, 2020 -- 6:02pm



HOLD DOWN DETAILS



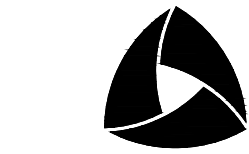
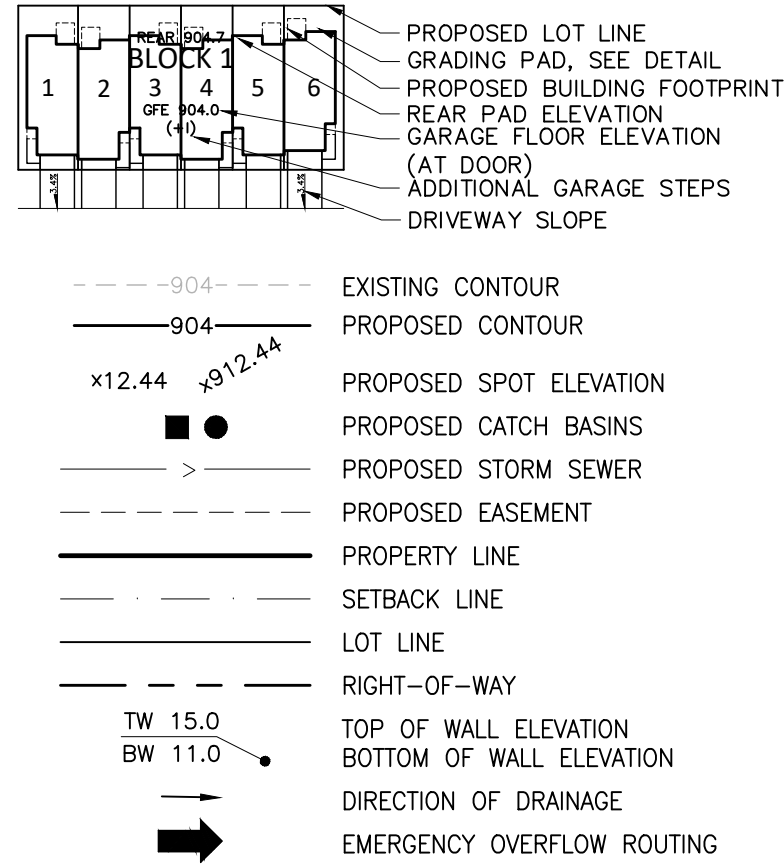
GRADING NOTES:

- ALL FINISHED GRADES SHALL SLOPE AWAY FROM PROPOSED BUILDINGS AT MINIMUM GRADE OF 5.0% FOR AT LEAST 10' AWAY FROM HOMES. ALL SWALES SHALL HAVE A MINIMUM SLOPE OF 2.00%.
- THE CONTRACTOR SHALL KEEP THE ADJACENT ROADWAYS FREE OF DEBRIS AND PREVENT THE OFF-SITE TRACKING OF SOIL IN ACCORDANCE WITH THE REQUIREMENTS OF THE CITY AND WATERSHED.
- NOTIFY GOPHER STATE ONE CALL, AT (800)252-1166, 48 HOURS PRIOR TO START OF CONSTRUCTION.
- ALL IMPROVEMENTS TO CONFORM WITH CITY OF BLAINE CONSTRUCTION STANDARDS SPECIFICATION, LATEST EDITION.
- ROCK CONSTRUCTION ENTRANCES SHALL BE PROVIDED AT ALL CONSTRUCTION ACCESS POINTS.
- REFER TO GEOTECHNICAL REPORT AND PROJECT MANUAL, FOR SOIL CORRECTION REQUIREMENTS AND TESTING REQUIREMENTS.
- STRIP TOPSOIL PRIOR TO ANY CONSTRUCTION. REUSE STOCKPILE ON SITE. STOCKPILE PERIMETERS MUST BE PROTECTED WITH SILT FENCE.
- PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE TO MAKE SURE THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS APPROVED BY ALL OF THE PERMITTING AUTHORITIES.
- IMMEDIATELY FOLLOWING GRADING OF (3:1 OR GREATER) SIDE SLOPES AND DRAINAGE SWALES, WOOD FIBER BLANKET OR OTHER APPROVED SOIL STABILIZING METHOD (APPROVED BY ENGINEER) SHALL BE APPLIED OVER APPROVED SEED MIXTURE AND A MINIMUM OF 6" TOPSOIL.
- THE GENERAL CONTRACTOR MUST DISCUSS DEWATERING PLANS WITH ALL SUBCONTRACTORS TO VERIFY NPDES REQUIREMENTS. IF DEWATERING IS REQUIRED DURING CONSTRUCTION, CONTRACTOR SHOULD CONSULT WITH EROSION CONTROL INSPECTOR AND ENGINEER TO DETERMINE APPROPRIATE METHOD.
- REFER TO STORMWATER POLLUTION PREVENTION PLAN (SWPPP) FOR ALL EROSION AND SEDIMENT CONTROL DEVICE LOCATION, DESCRIPTIONS, NOTES AND DETAILS INCLUDING CONCRETE WASHOUT STATION INSTRUCTIONS.
- IF BEDROCK IS ENCOUNTERED WHILE EXCAVATING STORMWATER PONDS, 3' OF CLAY LINER TO BE PROVIDED BETWEEN BEDROCK AND POND

RETAINING WALL NOTES:

- ALL RETAINING WALLS SHALL BE ROUGH GRADED AT A 2:1 SLOPE WITH BASE OF SLOPE AT PROPOSED WALL FACE.
- THE RETAINING WALL SLOPE AREAS ARE TO BE MAINTAINED UNTIL RETAINING WALL CONSTRUCTION OCCURS. ANY EROSION SHALL BE REMEDIED AND RESTORED.
- BUILDING PERMITS ARE REQUIRED FOR ALL RETAINING WALLS 4 FEET IN HEIGHT OR GREATER AND THE WALLS SHALL BE DESIGNED BY A STRUCTURAL ENGINEER WITH DESIGN REVIEWED AND APPROVED BY THE CITY PRIOR TO INSTALLATION. ANY QUESTIONS REGARDING THE BUILDING PERMITS SHALL BE DIRECTED TO THE CITY BUILDING INSPECTOR.
- INSTALL SAFETY RAILING ATOP ALL WALLS WHERE REQUIRED BY CODE.
- RETAINING WALL CONTRACTOR AND/OR RETAINING WALL STRUCTURAL ENGINEER ARE RESPONSIBLE TO REVIEW CIVIL SITE ENGINEERING DRAWINGS. ANY OBSERVED CONCERNS WITH CIVIL SITE ENGINEERING DESIGN ELEMENTS RELATED TO RETAINING WALLS THAT REQUIRE MODIFICATIONS TO THE CIVIL SITE DESIGN IS THEIR RESPONSIBILITY TO COORDINATE WITH PROJECT OWNER AND CIVIL SITE ENGINEER. IF NO COORDINATION IS REQUESTED IT SHALL BE UNDERSTOOD THAT ALL CONDITIONS WITHIN THE CIVIL SITE DESIGN AND PLANS ARE ACCEPTABLE AND ABLE TO BE PROVIDED FOR IN THE RETAINING WALL DESIGN AND CONSTRUCTION.
- RETAINING WALLS ARE TO BE FINAL DESIGNED AND PERMITTED BY OTHERS.

GRADING LEGEND:



ALLIANT

733 Marquette Avenue
Suite 700
Minneapolis, MN 55402
612.758.3080
www.alliant-inc.com



HAVERHILL

BLAINE, MINNESOTA

PRELIMINARY PLAT SUBMITTAL

GRADING AND DRAINAGE PLAN

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed PROFESSIONAL ENGINEER under the laws of the State of MINNESOTA

MARK RAUSCH, PE

Date License No.

QUALITY ASSURANCE/CONTROL

BY DATE

DATE	ISSUE
11-6-2020	CITY SUBMITTAL
11-13-2020	CITY COMMENTS

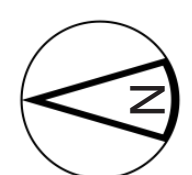
PROJECT TEAM DATA

DESIGNED:	MPR
DRAWN:	ELL
PROJECT NO:	220-0156



HAVERHILL

BLAINE, MN



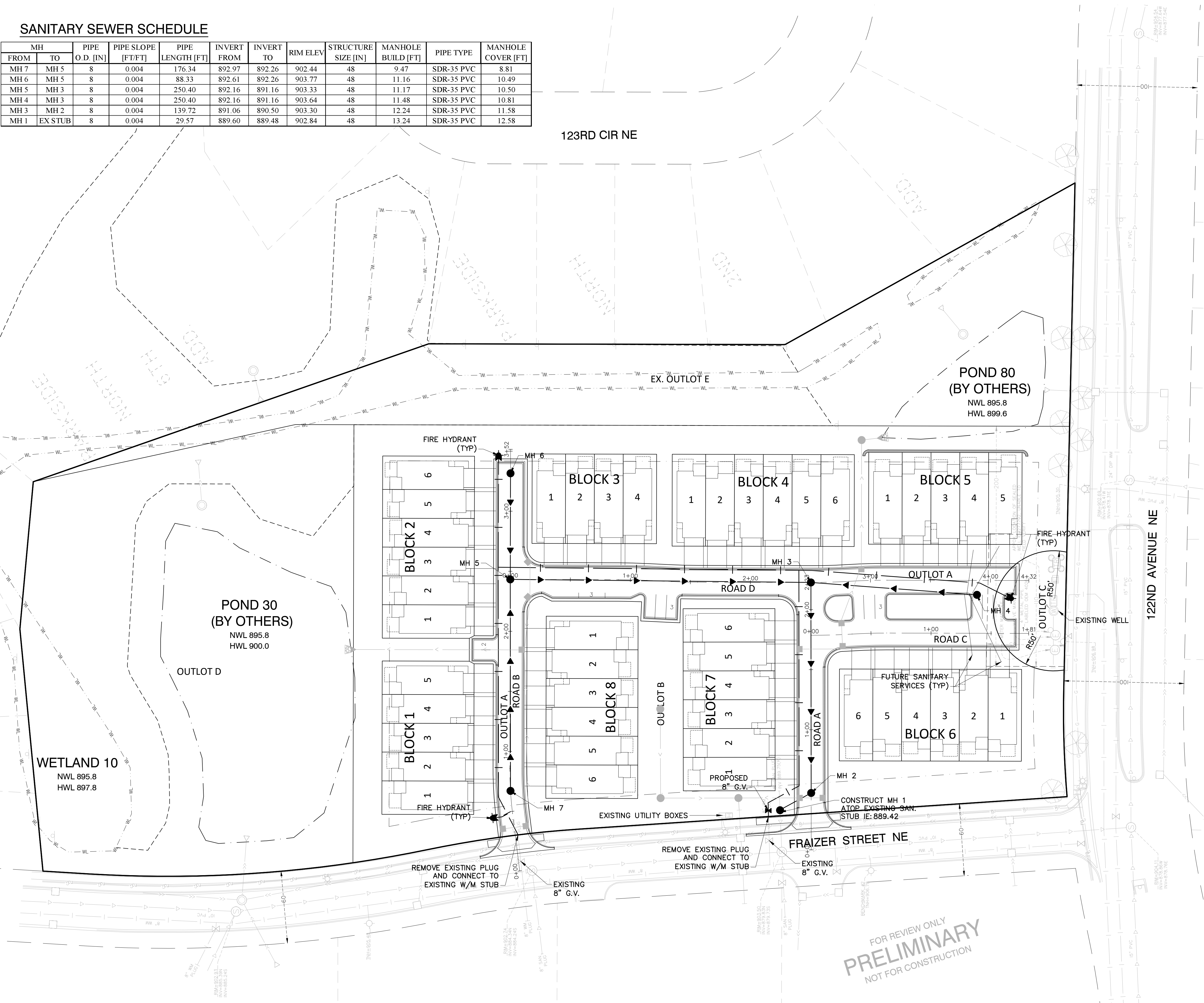
ALLIANT

11-16-2020

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SANITARY SEWER SCHEDULE

MH		PIPE	PIPE SLOPE	PIPE	INVERT	INVERT	RIM ELEV	STRUCTURE	MANHOLE	PIPE TYPE	MANHOLE
FROM	TO	O.D. [IN]	[FT/FT]	LENGTH [FT]	FROM	TO		SIZE [IN]	BUILD [FT]		COVER [FT]
MH 7	MH 5	8	0.004	176.34	892.97	892.26	902.44	48	9.47	SDR-35 PVC	8.81
MH 6	MH 5	8	0.004	88.33	892.61	892.26	903.77	48	11.16	SDR-35 PVC	10.49
MH 5	MH 3	8	0.004	250.40	892.16	891.16	903.33	48	11.17	SDR-35 PVC	10.50
MH 4	MH 3	8	0.004	250.40	892.16	891.16	903.64	48	11.48	SDR-35 PVC	10.81
MH 3	MH 2	8	0.004	139.72	891.06	890.50	903.30	48	12.24	SDR-35 PVC	11.58
MH 1	EX STUB	8	0.004	29.57	889.60	889.48	902.84	48	13.24	SDR-35 PVC	12.58



UTILITY NOTES:

- EXISTING UTILITIES, SERVICE LOCATIONS AND ELEVATIONS SHALL BE VERIFIED IN FIELD PRIOR TO CONSTRUCTION.
- MAINTAIN A MIN 18" VERTICAL SEPARATION AT ALL PIPE CROSSINGS. WATER AND SANITARY SEWER LINES TO MAINTAIN 10' HORIZONTAL SEPARATION. LOWER WATERMAIN AS NECESSARY.
- CONTRACTOR IS RESPONSIBLE FOR ALL PERMITS PRIOR TO THE START OF CONSTRUCTION.
- PROVIDE POLYSTYRENE INSULATION FOR ALL STORM SEWER AND WATERMAIN CROSSINGS WHERE VERTICAL OR HORIZONTAL SEPARATION IS LESS THAN 3'.
- ALL UTILITY WORK WITHIN THE R.O.W. SHALL COMPLY WITH THE CITY OF BLAINE ENGINEERING GUIDELINES.
- NOTIFY GOPHER STATE ONE CALL 48 HOURS IN ADVANCE OF ANY UTILITY WORK.
- PROVIDE TEMPORARY TRAFFIC CONTROL IN COMPLIANCE WITH MNDOT "TEMPORARY TRAFFIC CONTROL ZONE LAYOUTS-FIELD MANUAL" (LATEST REVISION), FOR ANY CONSTRUCTION WITHIN PUBLIC R.O.W.
- ALL SANITARY MANHOLES TO BE 48" DIAMETER CONCRETE W/NEENAH R-1733 CASTING W/ PLATEN LID, UNLESS NOTED OTHERWISE.
- ALL WATERMAIN TO BE PVC C900 W/TRACER WIRE.
- WATERMAIN, SERVICES, AND VALVES SHALL BE INSTALLED WITH MINIMUM 7.5' OF COVER.
- TOWNHOME WATER SERVICES SHALL BE 1.5" DIA. COPPER TYPE "K", W/ 1.5" CORP. STOP + 1.5" CURB BOX.
- TOWNHOME SEWER SERVICES SHALL BE 4" PVC SCH 40 2% SLOPE UNLESS OTHERWISE NOTED ON THE PLANS.
- ALL CURB BOXES SHALL MATCH PROPOSED GRADE WHEN IN DRIVEWAY.

LEGEND:

- PROPOSED STORM SEWER
- PROPOSED SANITARY SEWER
- PROPOSED WATERMAIN
- PROPOSED CATCH BASIN
- PROPOSED SANITARY MANHOLE
- PROPOSED GATE VALVE
- PROPOSED HYDRANT
- EXISTING GATE VALVE
- EXISTING HYDRANT
- EXISTING WATERMAIN
- EXISTING CATCH BASIN
- EXISTING STORM MANHOLE
- EXISTING STORM SEWER
- EXISTING SANITARY MANHOLE
- EXISTING SANITARY SEWER



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SCALE IN FEET

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BLAINE, MINNESOTA
PRELIMINARY PLAT SUBMITTAL
SANITARY AND WATERMAIN PLAN

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed PROFESSIONAL ENGINEER under the laws of the State of MINNESOTA

MARK RAUSCH, PE

Date License No.

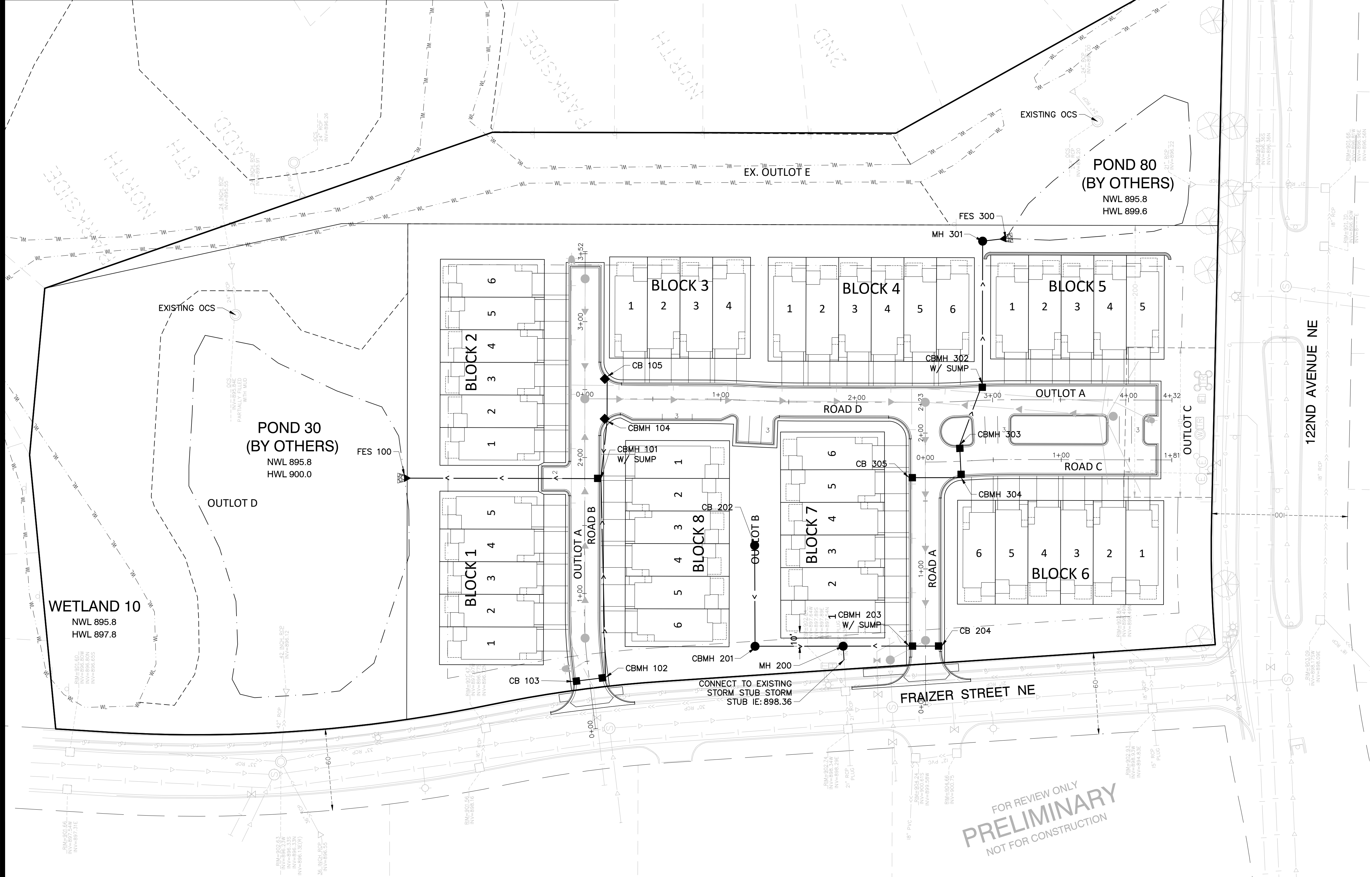
QUALITY ASSURANCE/CONTROL

BY	DATE
DATE	ISSUE
11-6-2020	CITY SUBMITTAL
11-13-2020	CITY COMMENTS

PROJECT TEAM DATA	
DESIGNED:	MPR
DRAWN:	ELL
PROJECT NO:	220-0156

STORM SEWER SCHEDULE

MH/CB		P. DIA.	P. SLOPE	PIPE	PIPE	FROM INVERT	TO INVERT	RIM ELEV	STR. TYPE	CAST TYPE	BUILD (FT)
FROM	TO	D [IN]	S [%]	MATERIAL	LENGTH [FT]						
CB 105	CBMH 104	12	0.38%	HDPE	24.00	898.06	897.97	902.30	2'X3'	R-3067-V	4.24
CBMH 104	CBMH 101	12	0.38%	HDPE	57.84	897.34	897.13	902.30	48" DIA	R-3067-V	4.96
CB 103	CHMH 102	12	0.38%	HDPE	24.00	897.87	897.78	901.49	2'X3'	R-3067-V	3.62
CHMH 102	CBMH 101	12	0.38%	HDPE	146.40	897.68	897.13	901.89	48" DIA	R-3067-V	4.21
CBMH 101	FES 100	12	1.07%	RCP	114.50	897.03	895.80	902.46	48" DIA	R-3290-A	9.43
CB 204	CBMH 203	12	0.38%	HDPE	24.00	898.86	898.77	902.14	2'X3'	R-3067-V	3.28
CBMH 203	MH 200	12	0.38%	HDPE	48.58	898.67	898.48	902.14	48" DIA	R-3067-V	7.47
CB 202	CBMH 201	12	0.38%	HDPE	72.21	899.10	898.83	903.00	48" DIA	R-4342	3.90
CBMH 201	MH 200	12	0.38%	HDPE	64.82	898.73	898.48	903.00	48" DIA	R-4342	4.27
MH 200	STUB	21	0.21%	RCP	10.12	898.38	898.36	904.00	48" DIA	R-1733	5.62
CB 305	CBMH 304	12	0.38%	HDPE	38.34	896.87	896.72	902.41	2'X3'	R-3290-A	5.54
CBMH 304	CBMH 303	12	0.38%	HDPE	24.00	897.10	897.00	902.60	48" DIA	R-3067-V	5.50
CBMH 303	CBMH 302	12	0.38%	HDPE	47.91	896.90	896.72	902.55	48" DIA	R-3067-V	9.65
CBMH 302	MH 301	12	0.57%	HDPE	105.12	896.62	896.02	902.84	48" DIA	R-3067-V	6.22
MH 301	FES 300	12	0.72%	RCP	17.05	895.92	895.80	901.00	48" DIA	R-1733	5.08

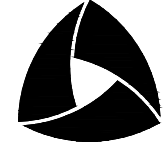
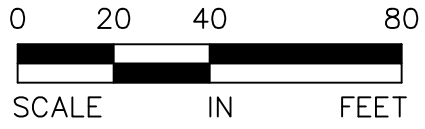


STORM SEWER NOTES:

- EXISTING UTILITIES, SERVICE LOCATIONS AND ELEVATIONS SHALL BE VERIFIED IN FIELD PRIOR TO CONSTRUCTION.
- MAINTAIN A MIN 18" VERTICAL SEPARATION AT ALL PIPE CROSSINGS.
- CONTRACTOR IS RESPONSIBLE FOR ALL PERMITS PRIOR TO THE START OF CONSTRUCTION.
- PROVIDE POLYSTYRENE INSULATION FOR ALL STORM SEWER CROSSINGS WHERE VERTICAL OR HORIZONTAL SEPARATION IS LESS THAN 3'.
- ALL STORM SEWER WORK SHALL COMPLY WITH THE CITY OF BLAINE ENGINEERING GUIDELINES.
- NOTIFY GOPHER STATE ONE CALL 48 HOURS IN ADVANCE OF ANY UTILITY WORK.
- PROVIDE TEMPORARY TRAFFIC CONTROL IN COMPLIANCE WITH MNDOT "TEMPORARY TRAFFIC CONTROL ZONE LAYOUTS-FIELD MANUAL" LATEST REVISION, FOR ANY CONSTRUCTION WITHIN PUBLIC R.O.W.
- ALL CASTINGS SHALL BE NEENAH OR APPROVED EQUAL.

LEGEND:

- PROPOSED STORM SEWER
- PROPOSED SANITARY SEWER
- PROPOSED WATERMAIN
- PROPOSED CATCH BASIN
- PROPOSED STORM MANHOLE
- PROPOSED SANITARY MANHOLE
- PROPOSED GATE VALVE
- PROPOSED HYDRANT
- EXISTING GATE VALVE
- EXISTING HYDRANT
- EXISTING WATERMAIN
- EXISTING CATCH BASIN
- EXISTING STORM MANHOLE
- EXISTING STORM SEWER
- EXISTING SANITARY MANHOLE
- EXISTING SANITARY SEWER



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HAVERHILL

BLAINE, MINNESOTA

PRELIMINARY PLAT SUBMITTAL

STORM SEWER PLAN

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MARK RAUSCH, PE

Date License No.

QUALITY ASSURANCE/CONTROL

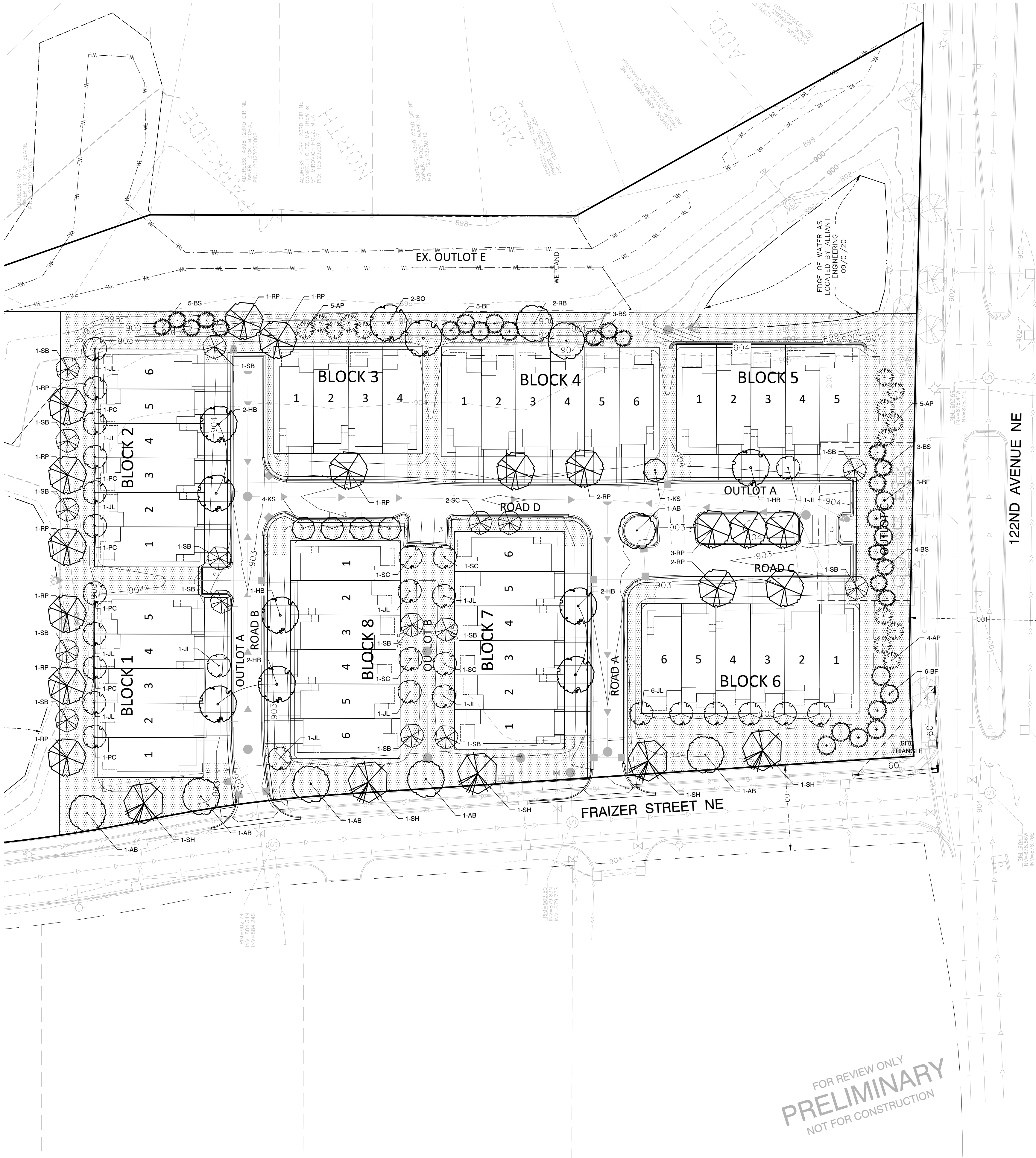
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DATE	ISSUE
11-6-2020	CITY SUBMITTAL
11-13-2020	CITY COMMENTS

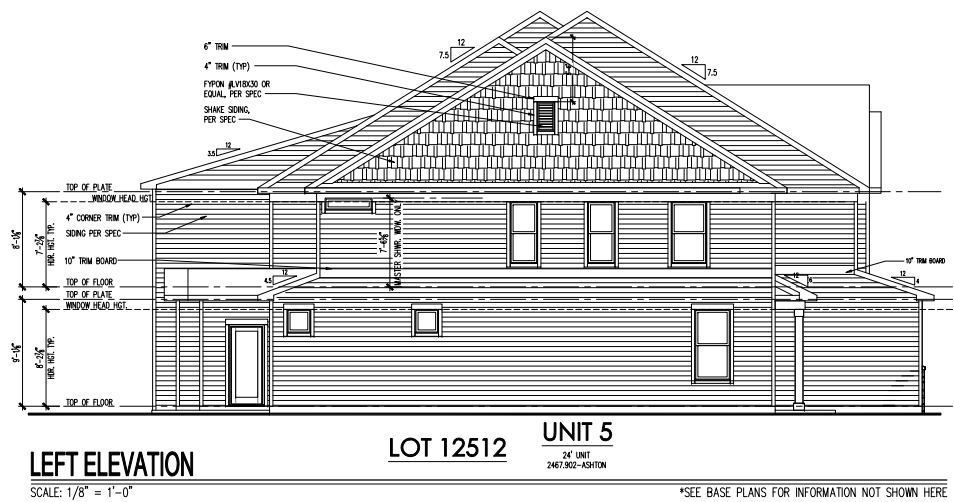
PROJECT TEAM DATA

DESIGNED:	MPR
DRAWN:	ELL
PROJECT NO:	220-0156

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Drawing name: X:\2020\200156\plan_sheets\preliminary\plot\200156land.dwg Nov. 13, 2020 -- 6:03am

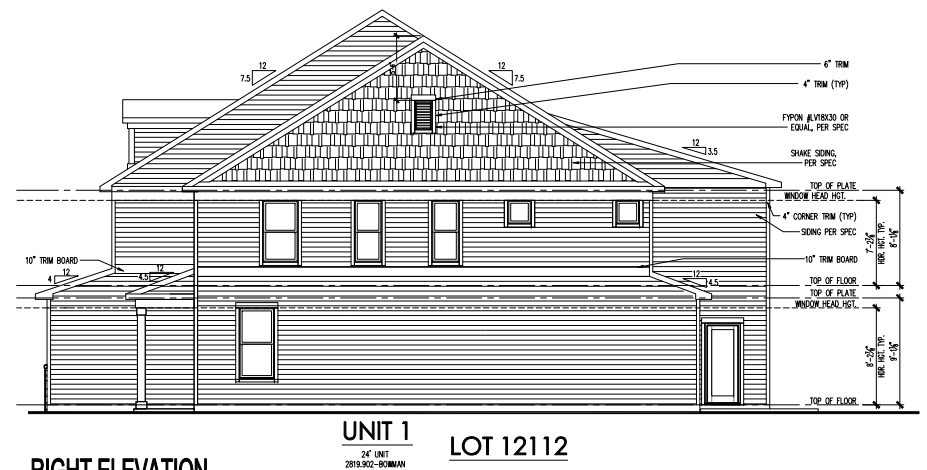




LOT 12512

*SEE BASE PLANS FOR INFORMATION NOT SHOWN HERE

SCALE: $1/8" = 1'-0"$



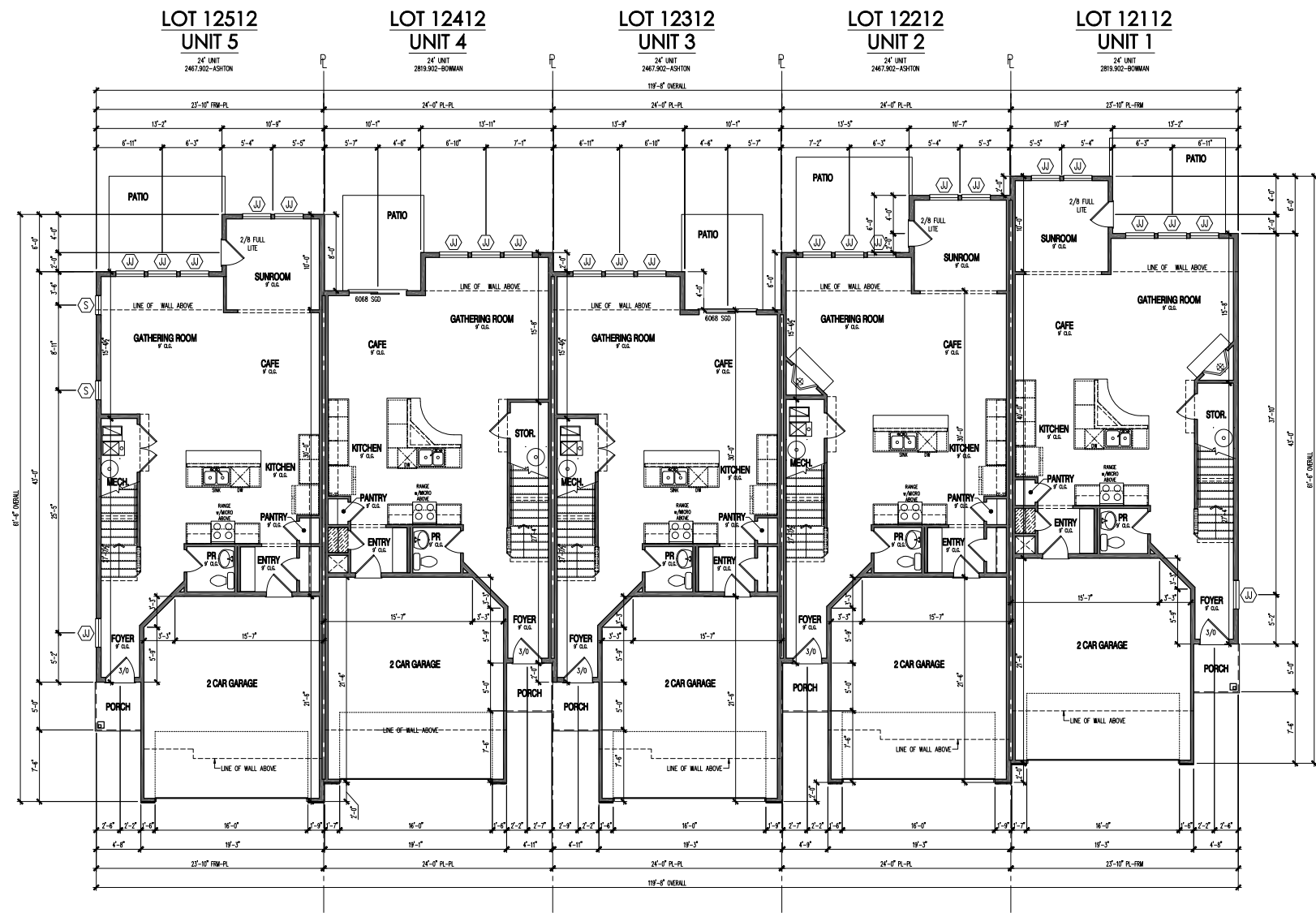
UNIT 1
24' UNIT
2819.902-BOWMAN

LOT 12112

*SEE BASE PLANS FOR INFORMATION NOT SHOWN HERE

SCALE: 1/8" = 1'-0"

*SEE BASE PLANS FOR INFORMATION NOT SHOWN HERE

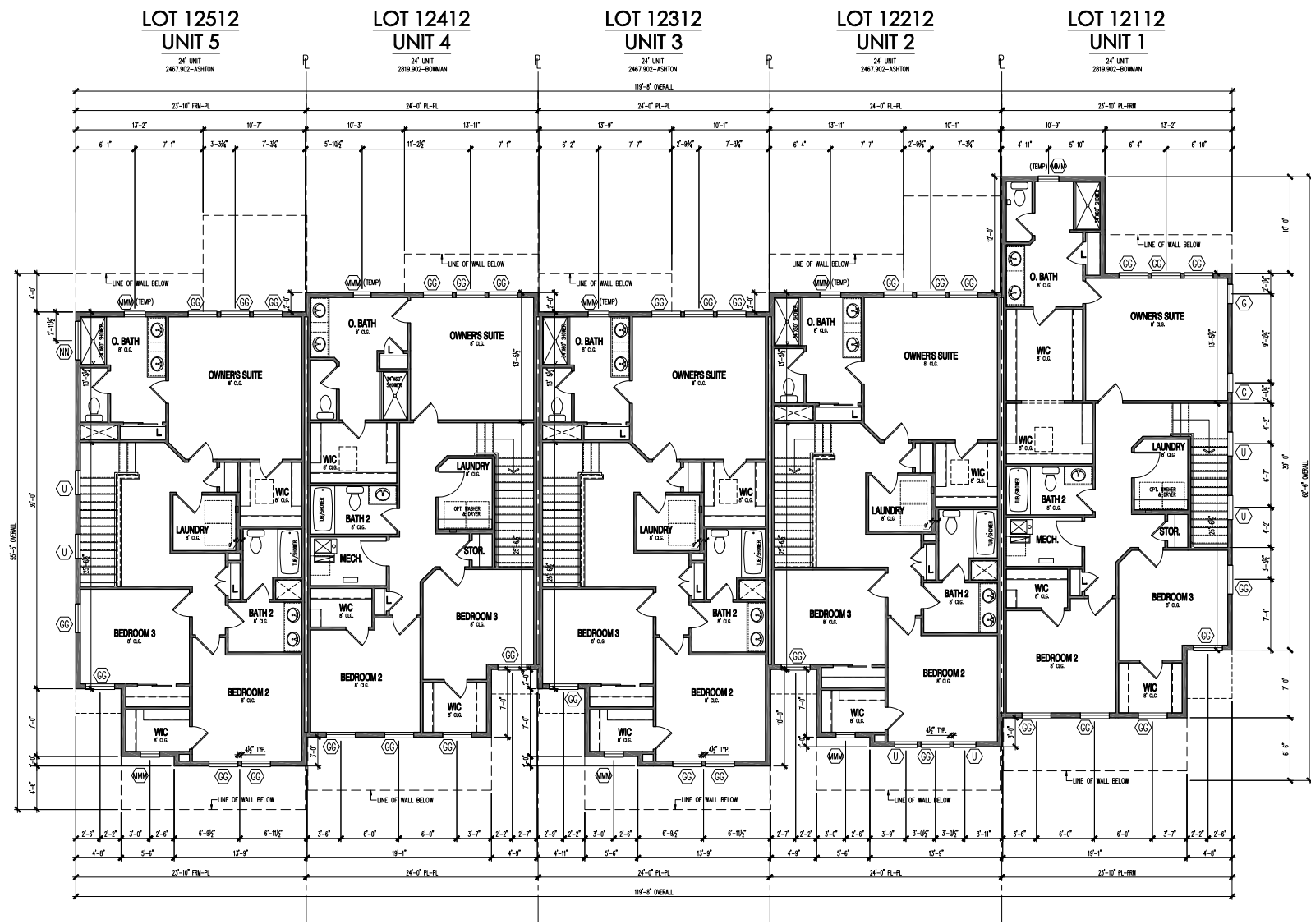


FIRST FLOOR PLAN

SCALE: 1/8" = 1'-0"

*SEE BASE PLANS FOR INFORMATION NOT SHOWN HERE

FLUJ1114 - UNIT 24, 2020 / MINE AREA - 444 / 24" (2-Story) Unit 24



SECOND FLOOR PLAN

SCALE: 1/8" = 1'-0"

*SEE BASE PLANS FOR INFORMATION NOT SHOWN HERE

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Midwest Zone Office
1900 Golf Road, - Suite 300
Schaumburg, Illinois 60173



5-Unit Building Control Plan
Second Floor Plan
Building 12 - Units 1-5

PRODUCTION MANAGER Ethan Miller	
INITIAL RELEASE DATE: 12-21-2015	
CURRENT RELEASE DATE: 09-28-2017	
REV #	DATE / DESCRIPTION
1	9-28-2017
2	FIELD REQUIRES
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GARAGE HANDING
FL-GE-KC

PLAN NAME
24' (2 Story) Unit
NFC PLAN NUMBER
2467.902/2819.902
LAWSON PLAN ID
11

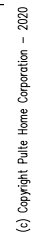
SHEET
CP
521

NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE PLOTS ON 22x34 SHEETS - 11x17 SHEETS REPRESENT 1/2 SCALE PLOTS

Window Symbol	Simonton Windows BUILDER SERIES
A	
B	
C	
D	
E	
F	
G	
H	2030 FX
I	
J	
K	
L	
M	
N	2040 SH
O	2040 FX
P	2053 SH
Q	2060 SH
R	2032 SH
S	2020 FX
T	
U	2453 SH
V	
W	
X	
Y	
Z	
AA	3030 SH
BB	3030 FX
CC	
DD	
EE	3040 SH
FF	
GG	3053 SH
HH	3050 FX
II	
JJ	3060 SH
KK	
LL	
MM	
NN	4010 FX
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PP	4020 FX
QQ	4040 FX
RR	4040 SL
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ZZ	3020 FX
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GGG	
HHH	
III	
JJJ	
LLL	2040 CSMT
MMM	2030 SH
NNN	2846 SH
OOO	5030 SL

FIRST FLOOR PLAN

*SEE BASE PLANS FOR INFORMATION NOT SHOWN HERE



Midwest Zone Office
1900 Golf Road, - Suite 300
Schaumburg, Illinois 60173



6-Unit Building Control Plan

First Floor Plan

Building 6 - Units 1-6

PRODUCTION MANAGER
Ethan Miller
INITIAL RELEASE DATE:
12-21-2015
CURRENT RELEASE DATE:
09-28-2017

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GARAGE HANDING
FL-GE-KC

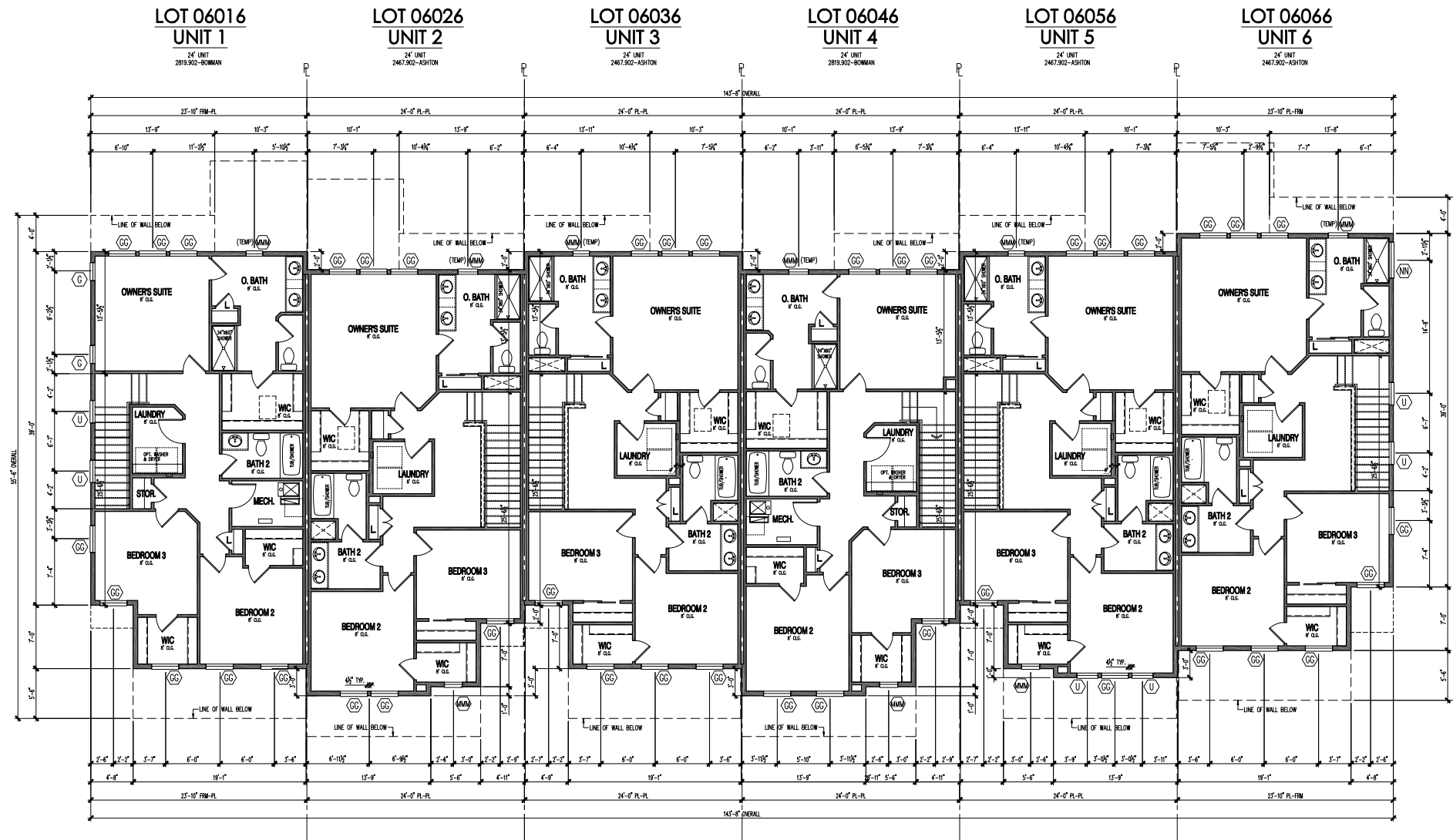
PLAN NAME	24' (2 Story) Unit
NPC PLAN NUMBER	2467.902/2819.902
LAWSON PLAN ID	

SHEET
CP
6-1.1

Window Symbol	Simonton Windows BUILDER SERIES
A	
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H	2030 FX
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N	2040 SH
O	2040 FX
P	2053 SH
Q	2060 SH
R	2032 SH
S	2020 FX
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U	2453 SH
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BB	3030 FX
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GG	3053 SH
HH	3050 FX
II	
JJ	3060 SH
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MM	
NN	4010 FX
OO	
PP	4020 FX
QQ	4040 FX
RR	4040 SL
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GGG	
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III	
JJJ	
LLL	2040 CSMT
MMM	2030 SH
NNN	2846 SH
OOO	5030 SL

SECOND FLOOR PLAN

*SEE BASE PLANS FOR INFORMATION NOT SHOWN HERE



Midwest Zone Office
1900 Golf Road, - Suite 300
Schaumburg, Illinois 60173

6-Unit Building Control Plan
Second Floor Plan
Building 6 - Units 1-6

PRODUCTION MANAGER		
Ethan Miller		
INITIAL RELEASE DATE:		
12-21-2015		
CURRENT RELEASE DATE:		
09-28-2017		
REV #	DATE	DESCRIPTION
1	9-28-2017	
		FIELD REDLINES
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GARAGE HANDING
FL-GE-KC

PLAN NAME	24' (2 Story) Unit
NPC PLAN NUMBER	2467.902/2819.902
LAWSON PLAN ID	

SHEET

CP
6-2.1

Ashton & Bowman



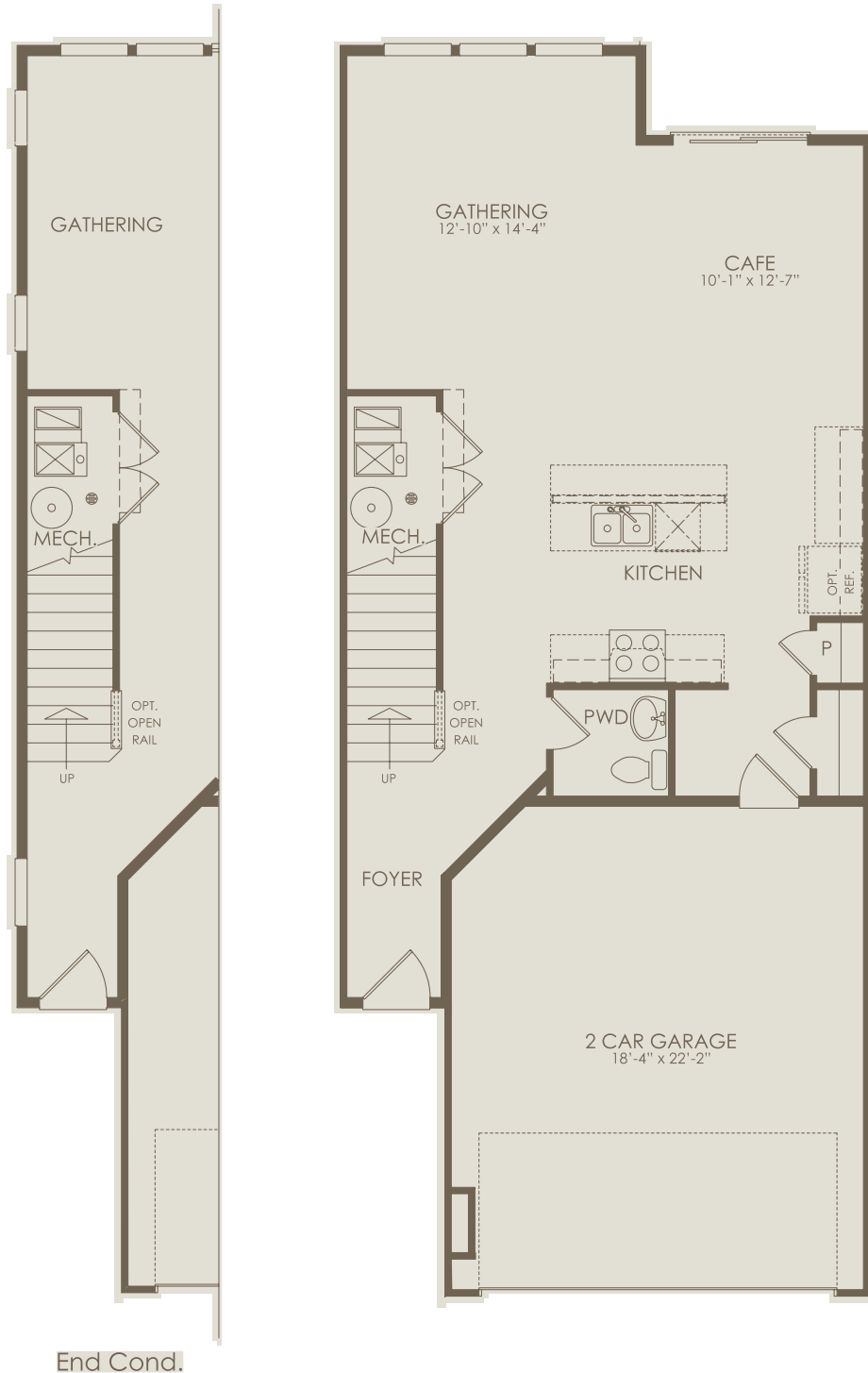
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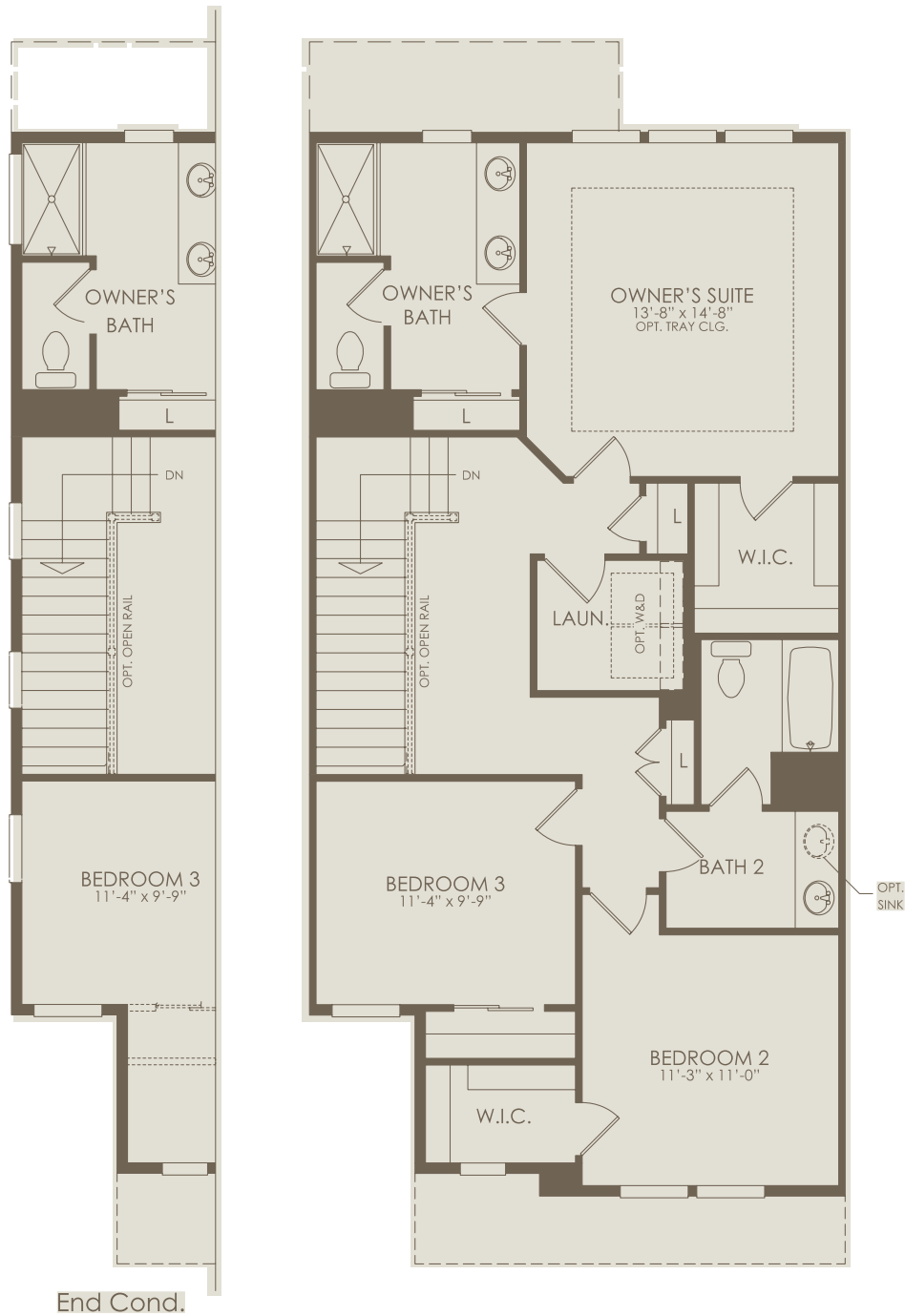
Floor 1



Options not selected include : Patio, Sunroom, Boot Bench at Entry, Corner Fireplace at Gathering, Flex, Owner's Bath 4, Owner's Bath 8, 2 Story Extension

For this application, the company does not warrant or assume any legal liability or responsibility for the accuracy, completeness, or usefulness of any information, apparatus, product, or process disclosed. Base floor plan subject to change based on elevation selected.

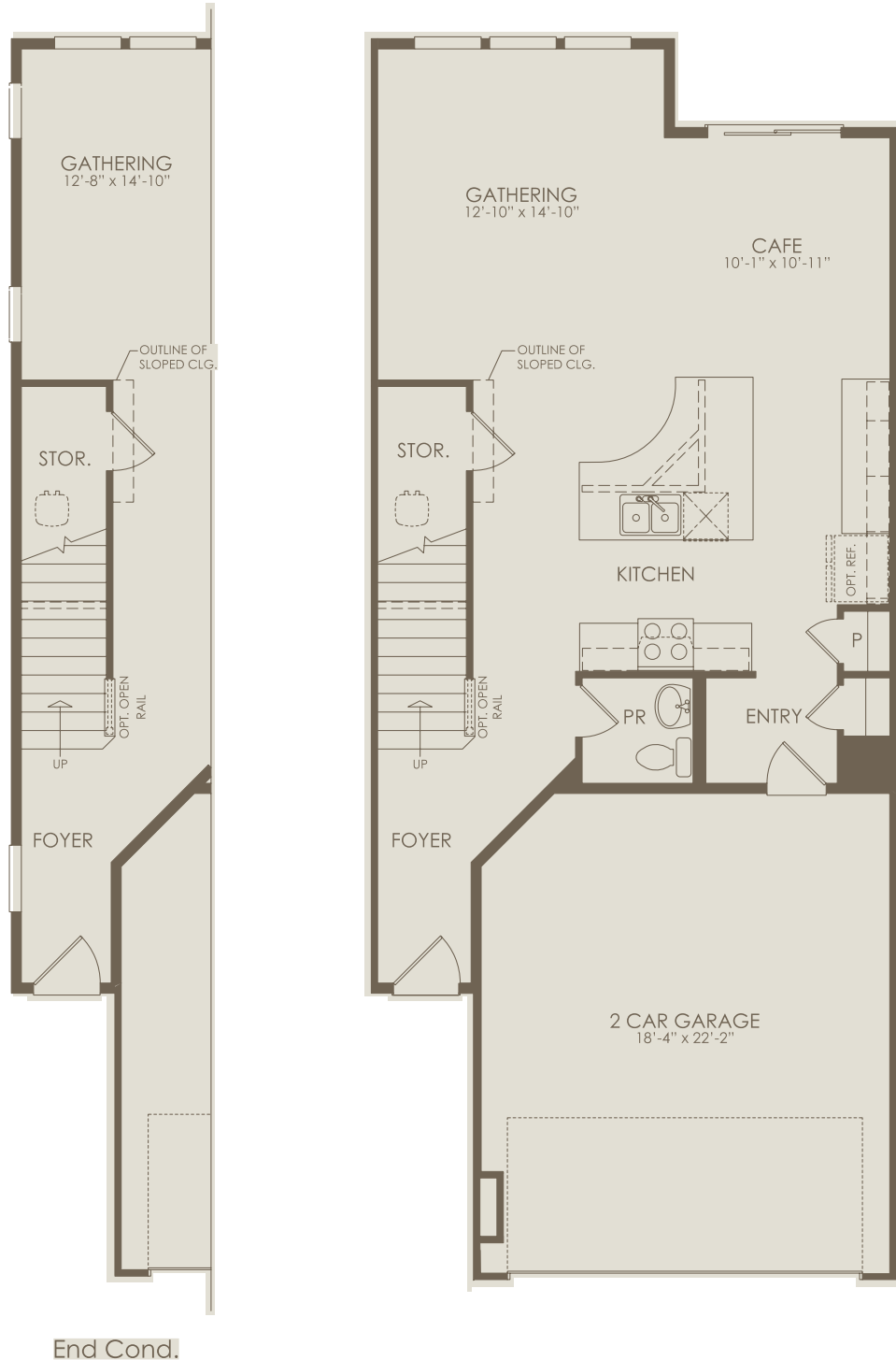
Floor 2



Options not selected include : Patio, Sunroom, Boot Bench at Entry, Corner Fireplace at Gathering, Flex, Owner's Bath 4, Owner's Bath 8, 2 Story Extension

For this application, the company does not warrant or assume any legal liability or responsibility for the accuracy, completeness, or usefulness of any information, apparatus, product, or process disclosed. Base floor plan subject to change based on elevation selected.

Floor 1



Options not selected include : Patio, Sunroom, Boot Bench at Entry, Corner Fireplace at Gathering, Flex, Owner's Bath 4, Owner's Bath 8, 2 Story Extension

For this application, the company does not warrant or assume any legal liability or responsibility for the accuracy, completeness, or usefulness of any information, apparatus, product, or process disclosed. Base floor plan subject to change based on elevation selected.

Floor 2



Options not selected include : Patio, Sunroom, Boot Bench at Entry, Corner Fireplace at Gathering, Flex, Owner's Bath 4, Owner's Bath 8, 2 Story Extension

For this application, the company does not warrant or assume any legal liability or responsibility for the accuracy, completeness, or usefulness of any information, apparatus, product, or process disclosed. Base floor plan subject to change based on elevation selected.



Notes

Haverhill – Blaine, MN

Paul Heuer

December 15, 2020

Neighborhood Meeting Notes

Hosted by Paul Heuer, Pulte Homes and Mark Rausch, Alliant Engineering
Total number of attendees was about 15.

Questions:

1. Jolene T – Are the lots along back pond going to be more expensive than other areas?
 - a. Answer: Likely but there will be variability through the site
2. John Lero – What is the setback along Frazier St?
 - a. Answer: 25' to right of way and closer to 40' to curb.
3. John Lero – Will there be only one entrance to the site?
 - a. Answer: There will be two road accesses to Frazier St.
4. Roger Meyer – Do we know who the HOA manager will be?
 - a. Answer: not certain – Omega, Associa, or other.

From: [Nathan Willar](#)
To: [Robinson, Patricia](#)
Subject: Haverhill Public Hearing on 1/12
Date: Thursday, January 7, 2021 1:36:32 PM

Good afternoon,

Regarding the proposed development of Haverhill - I would like for the city and developer to consider inclusion of the Haverhill community into the existing Parkside North Master Homeowner Association. This master association includes the three housing developments/HOAs that surround the proposed Haverhill. Having Haverhill as a part of the Parkside North associations would provide greater continuity for the current and future residents - especially as it relates to the maintenance of shared spaces such as the boulevard trees and pond and watershed easements. Additionally, the sense of community and unity of purpose would be strengthened by having a shared HOA master association to help better align and inform broader community engagement.

While there are many considerations included within an HOA, I am confident that that current Parkside North Master Association would be willing to work with the developer to integrate Haverhill without creating onerous restrictions or terms that would make it non-beneficial for the developer.

The current management company used by Parkside North and the associated HOAs is Associa Minnesota and is an experienced and well respected management company within Blaine - servicing other great communities such as Club West.

Regards,
Nathan Willar
12405 Lever St NE, Blaine MN

From: [Bill Paxton](#)
To: [Robinson, Patricia](#)
Subject: Haverhill
Date: Monday, January 11, 2021 10:03:59 AM

We have reviewed Pulte's proposal for their Haverhill project, and would very much like to see it approved. We believe it is the best possible use for that site.

Bill & Nancy Paxton
12318 Ghia Street NE
Blaine, MN 55449

From: [Isa L](#)
To: [Robinson, Patricia](#)
Subject: Haverhill - (Pulte Homes) BLAINE
Date: Monday, January 11, 2021 4:00:28 PM
Attachments: [Blaine Projects.png](#)

January 11, 2021

Hello everyone,

I hope you all are doing well! I just moved to the neighborhood last year because it was in a single-family community with kids. I have a family of 5 with my 3 small children and moved away from an area with townhomes and apartments so that my kids can be in a safer less traffic neighborhood. If I can object and share my thoughts about the new project planning of townhomes, I believe that we shouldn't build a townhome. I would prefer if we kept it all single-family homes. It looks more friendly that way. Single homes will match with other homes that we already have. Having townhomes right at the corner of the adjacent to the gas station will bring a lot of traffic and that defeats the purpose of me moving. My kids like to bike and having more traffic it is just asking for an accident to happen. I notice this past year that my community has a lot of young kids. We(I) as parents want to keep our/my kids safe so I vote against the building of the townhomes. With the pandemic and all the distance learning, I would not be able to attend the virtual meeting @ 7:00pm on Tuesday, January 12, 2021 so I am sending an email instead. If this is not the right email to voice my opinion for my neighborhood then please let me know. From this notice, does our vote count? How do will we know the results?

Have a wonderful day,

Albert Xiong
Ka Lor

Two handwritten signatures are shown. The top signature is in dark ink and appears to be 'Albert Xiong'. The bottom signature is in lighter ink and appears to be 'Ka Lor'.