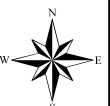


**Case File No. 19-0013**  
**Moh's Performance Motorsport**

Blaine Planning Department / 10801 Town Square Dr NE / Blaine, MN 55449 / (763) 785-6180



## **COMPANY PRODUCTS AND SERVICES**

### **1. Automotive Tuning Services**

The modification of stock automobiles has become extremely popular over the last ten years with the influx of aftermarket performance parts. Companies that specialize in aftermarket performance tune-ups generate significantly higher gross margins on labor and products sold. Unlike automotive repair, automotive tuning is a non-essential service, and those that are interested in automotive tuning are willing to pay a premium for excellent service.

### **2. Fuel Injectors Services**

There are a very limited number of shops providing these services around the country. Moh's Performance has been providing this service for over a year to our customers. This service includes diagnosing and rebuilding fuel injectors. By providing this service onsite to the customer, it will make us different than another performance shop.

### **3. Repair and Parts Sales**

With an emphasis on the service side of vehicles, we offer a specialized skill set when it comes to enhancing the performance of the vehicles of our client. Not all mechanics know how to do this, and it is what differentiates us from a normal repair facility.

**all the above-mentioned services considered quick services with very high turnover (maximum 2 days), its worth mentioning that the shop can accommodate 5 to 6 vehicles indoor parking.**

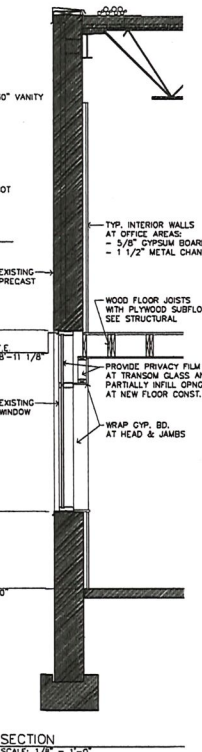
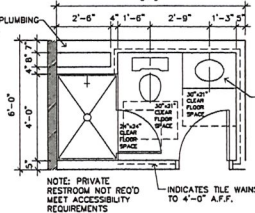
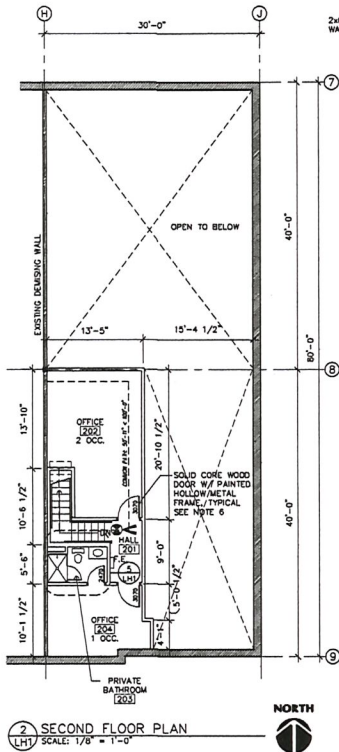
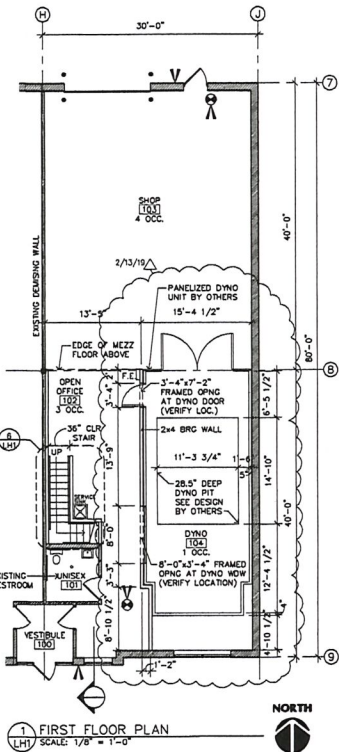
#### **shop layout:**

1. Reception disk.
2. Dyno room (tuning room).
3. Injector cleaning disk with working station.
4. Bathroom.
5. Vehicles left.
6. Two offices with one bathroom on the second floor.

#### **Parking Area:**

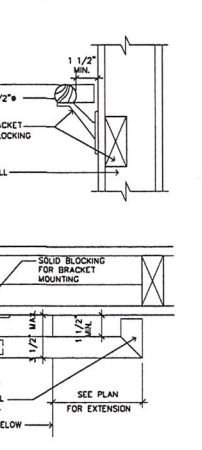
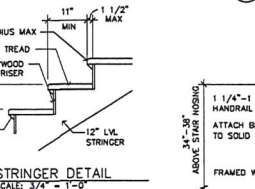
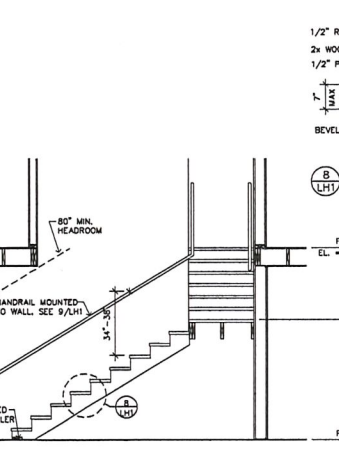
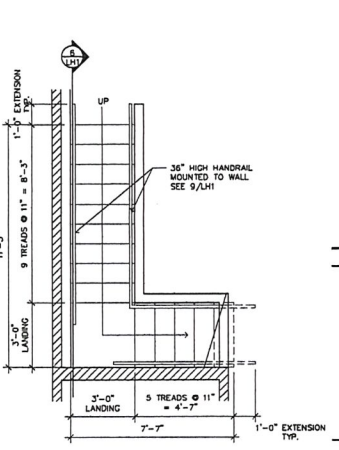
There is three front parking space allocated to our unit 307 and will be used to the walk-in customers only and any customer cars will be stored inside the shop while working on it.

Thanks,  
Mohammed Alsowumil  
612-991-7527



ENLARGED RESTROOM PLAN  
LH1 SCALE: 3/8" = 1'-0"

- PLAN NOTES
1. PLAN KEY:
    - EXISTING CONDITION
    - NEW CONSTRUCTION
  2. EXIT SIGNAGE, PROVIDE EMERGENCY BACK-UP POWER
  3. EMERGENCY LIGHTING, PROVIDE EMERGENCY BACK-UP POWER AND (1) FOOT CANDLE AT THE WALKING SURFACE.
  4. FIRE EXTINGUISHER, VERIFY SIZE AND SPACING WITH BUILDING OFFICIAL.
  5. ALL INTERIOR PARTITIONS TO BE 2x4 WOOD STUDS WITH 5/8" GYPSUM BOARD CA. SIDE
  6. ALL DOOR HARDWARE TO BE SPECIFIED AND PROVIDED BY CONTRACTOR. ALL EXIT HARDWARE SHALL NOT REQUIRE TIGHT GRASPING, PINCHING, OR TWISTING OF THE WRIST. MOUNT HARDWARE BETWEEN 34"-38" (ANSI A117.1-2003.6)



# COMMERCIAL PLAN REVIEW FOR CODE COMPLIANCE

GENERAL INFORMATION

A. PROJECT NAME: Moh's Performance Motorsports  
 B. PROJECT LOCATION: 1550 91st Ave NE, Blaine, Minnesota

MEANS OF EGRESS

A. DESIGN OCCUPANT LOAD (BC Table 1004.1.2)  
 1. Total Occupants = 11 Occupants (SEE PLAN)

B. EXITS

1. Number Required (BC 1015 / 1031) = 1  
 2. Number Accessible Required (BC 1007) = 1

APPLICABLE CODES:

A. BLANK SIGNING OBSTRUCTION: Current Edition  
 B. MINNESOTA STATE BUILDING CODE (MSBC): 2015 Edition  
 C. INTL. BUILDING CODE (IBC) AMENDMENTS: 2012 Edition  
 D. INTL. FIRE CODE (IFC) AMENDMENTS: 2012 Edition  
 E. INTL. MECHANICAL CODE (IMC) AMENDMENTS: 2012 Edition  
 F. MINNESOTA PLUMBING CODE: 2015 Edition  
 G. NATIONAL ELECTRICAL CODE (NEC): 2015 Edition  
 H. MINNESOTA STATE EJECT CODE: 2015 Edition  
 I. MINNESOTA STATE ACCESSIBILITY CODE: 2015 Edition  
 J. MINNESOTA CONSERVATION CODE / EX BLDGS: 2015 Edition

BUILDING CLASSIFICATION

A. OCCUPANCY GROUPS/ TYPE OF CONST (BC Chpt 3 & BC Chpt 6)

1. Office - Group B  
 - Type of Construction - II-B  
 - Area - 630 s.f.  
 2. Shop - Group S-1  
 - Type of Construction - II-B  
 - Area - 1,708 s.f.

2. Mixed Occupancy (BC 506)  
 - Group B is a Non-Separated Use From Group S-1  
 - Incidental Uses (BC 509) - None

3. FIRE-RESISTANCE-RATED CONSTRUCTION

1. Fire Walls (BC 706) - Not Required  
 2. Fire Barriers (BC 707) - Not Required  
 3. Fire Partitions (BC 708) - Not Required

C. INTERIOR FINISH REQUIREMENTS

1. Minimum Wall and Ceiling Finish Requirement (BC Table 803.9)

Building Component	Finish Class
Vertical Entry/Exit Passageways	Class B - Group B
Exit Access Corridors/Other Exit Ways	Class C - Group S-1
Rooms and Enclosed Spaces	Class C

PLUMBING FIXTURES

A. NUMBER FIXTURES REQUIRED (BC 2902.1)

1. Group B & S-1 < 20 Occupants

Fixture	Required	Provided
Water Closets	11/8 (25x44in)	2
Urinals	-	2
Lavatories	11/8 (25x44in)	2
Bathrooms/Showers	-	1
Drinking Fountains	See Note	-
Service Sink	1	-

Note: MSBC 2902.1, Footnote 1 - A Drinking Fountain Shall Not Be Required in Buildings or Tenant Spaces Having an Occupant Load Less Than 50.

Note: MSBC 2902.1, Footnote 2 - In Group B a Service Sink Shall Not Be Required in Buildings or Tenant Spaces With an Occupant Load of 15 or Less.

Note: MSBC 2902.2, Ex. #2 - Separate Facilities Shall Not Be Required in Tenant Spaces With an Occ. Load of 20 or Less.

B. LOCATION OF FIXTURES (BC 2902.3.2)  
 - Not More Than 1 Story Above or Below Regular Working Area  
 - Travel Distance Less Than 500 ft

C. SIGNAGE (BC 2902.4)  
 - A Legend Sign For Each Sex Shall Be Provided Near The Entrance To The Toilet Facility

OTHER

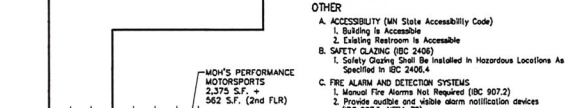
A. ACCESSIBILITY (Min State Accessibility Code)  
 1. Building is Accessible  
 2. Existing Restroom is Accessible

B. SAFETY GLAZING (BC 2406)  
 1. Safety Glazing Shall Be Installed in Hazardous Locations As Specified in BC 2405.4

C. FIRE ALARM AND DETECTION SYSTEMS  
 1. Manual Fire Alarm Not Required (BC 907.2)  
 2. Provide audible and visible alarm notification devices (BC 907.5, NFPA 72)

NOTES TO ALL DESIGN/BUILD CONTRACTORS AND THEIR SUB-CONTRACTORS

THE DESIGN/BUILD CONTRACTOR IS RESPONSIBLE FOR REVIEWING ALL MECHANICAL, ELECTRICAL, PLUMBING, FIRE SPRINKLER, AND ANY OTHER DESIGN/BUILD SUB-CONTRACTORS' DOCUMENTS AS PERTAINING TO THE WORK FOR THIS PROJECT. IT IS THE DESIGN/BUILD SUB-CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE DESIGN/BUILD CONTRACTOR OF ANY CONFLICTS WITH THE ARCHITECTURAL AND STRUCTURAL DOCUMENTS DUE TO SIZES, LOCATIONS, QUANTITIES, ROUGH-IN DIMENSIONS AND CODE INTERPRETATIONS. THE DESIGN/BUILD CONTRACTOR IS RESPONSIBLE FOR NOTIFYING THE ARCHITECT IMMEDIATELY OF ANY ARCHITECTURAL REVISIONS REQUIRED DUE TO THE COORDINATION OF EACH DESIGN/BUILD SUB-CONTRACTOR'S DOCUMENTS.



ROOM FINISH SCHEDULE

RM#	DESCRIPTION	FLOOR	BASE	N.WALL	E.WALL	S.WALL	N.WALL	C.G.	HEIGHT	REMARKS
100	VESTIBULE	CONC.	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	ACT	8'-0"	-
101	UNISEX	CONC.	WNTL	OPEN	PT/GYP	PT/GYP	PT/GYP	ACT	8'-0"	-
102	OPEN OFFICE	CONC.	-	EXISTING CONDITIONS TO REMAIN	-	-	-	-	-	-
103	SHOP	CONC.	-	PRE-ENGINEERED WALLS AND CEILING BY OTHERS	-	-	-	-	-	-
104	DYNO ROOM	CONC.	-	PRE-ENGINEERED WALLS AND CEILING BY OTHERS	-	-	-	-	-	-
201	HALL	CARPET	PT/GYP	PT/GYP	PT/GYP	PT/GYP	PT/GYP	OPEN	VARIES	-
202	OFFICE	CARPET	PT/GYP	PT/GYP	PT/GYP	PT/GYP	PT/GYP	OPEN	VARIES	-
203	BATHROOM	C.T.	C.T.	CT/WST SEE PLAN FOR LOCATION	OPEN	VARIES	-	-	-	-
204	OFFICE	CARPET	PT/GYP	PT/GYP	PT/GYP	PT/GYP	PT/GYP	OPEN	VARIES	-

ABBREVIATIONS:  
 PT/GYP = PAINTED GYPSUM BOARD  
 C.T. = CERAMIC TILE  
 CT/WST = CERAMIC TILE WAINSCOT TO 4'-0" A.F.F.  
 ACT = ACOUSTICAL CEILING TILE

NOTES:

1. PATCH/REPAIR EXISTING FINISHES DISTURBED BY CONSTRUCTION.
2. VERIFY ALL FINISHES WITH OWNER AND TENANT



ARCHITECT CERTIFICATION:

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.

LEONARD LAMPERT  
 PROJECT NAME: 1550 91st Ave NE, Blaine, Minnesota  
 DATE: 2/13/19

MOH'S PERFORMANCE  
 MOTORSPORTS  
 1550 91st Ave NE, Blaine, Minnesota

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 Leonard Lampert Architects Inc.  
 Project Designer: Leonard S  
 Drawn By: AE  
 Checked By: LL

Revisions

DATE	REVISION
1/21/19	REVISED
1/30/19	REVISION
2/8/19	FOR BID
2/11/19	ISSUE FOR PERMIT
2/13/19	REVISION

FLOOR PLANS  
 DETAILS AND  
 CODE REVIEW  
 Sheet Number

LH1  
 Project No. 181210-1





1630 91<sup>st</sup> Ave. NE., Suite 103  
Blaine, MN 55449  
State License #: C089

Phone: (763) 785-9345

Fax: (763) 231-0445

E-mail: [jim@expressfireprotection.com](mailto:jim@expressfireprotection.com)

May 14, 2019

RE: Conditional Use Permit for 1550 91<sup>st</sup> Ave. NE, Suite 307

To whom it may concern,

I would like to address the concern I have with issuing conditional use permit for the property listed above.

Currently we have a conditional use permit for one of our tenant locations at our association property and have found in the past that these type of businesses in our location and adjacent neighbors buildings do not comply with the conditional permit for very long, and have a tendency to extend the number of vehicle's allotted in the permit, produce traffic at hours of the day, dumping of garbage and used parts outside, storage of run down or not running vehicles, theft of materials, trailer break ins, and dumping of stolen vehicles all of which we can say we have had happen many times on our property. As soon as our conditional permit user moved out, the above items were resolved immediately.

Very recently a property across from ours that was running an autobody repair started on fire and burned up the interior of 2 bays due to the body shop not having a fire sprinkler system and not finding any working fire extinguishers we were told by the worker whom started the fire. This site had at least 50 cars parked outside of it.

We have concern that our property values are affected by these conditional use permits and should not be granted.

The area is zoned as Light Industrial, not "Light Junk Yard" of which most of these conditional use permits for vehicle repair or autobody have become and the City has a tough time of keeping these places in check.

Sincerely,  
Jim Shull  
Owner / President