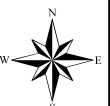


Case File No. 19-0006
Aspen Village Townhomes 2nd Addition

Blaine Planning Department / 10801 Town Square Dr NE / Blaine, MN 55449 / (763) 785-6180



PRELIMINARY PLAT OF:

ASPEN VILLAGE TOWNHOMES 2ND ADDITION

DEVELOPER:
ASPEN GARDEN HOLDINGS, LLC
10021 COLORADO LANE N.
BROOKLYN PARK, MN 55455
(651) 775-4276

ENGINEER:
PLOWE ENGINEERING
6776 LAKE DRIVE NE, SUITE 110
LINO LAKES, MN 55014
(651) 361-8200

ARCHITECT:
ARCHITECTURAL OVERFLOW, LLC
1000 COUNTY ROAD E WEST, SUITE T
SHOREVIEW, MN 55126
(952) 960-8212

EXISTING PROPERTY DESCRIPTION:

Lots 1, 2, 3, 16, 17, 18 and 19, Block 1, ASPEN VILLAGE TOWNHOMES, Anoka County, Minnesota.

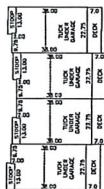
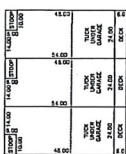
NOTES:

- Bearings shown are on Anoka County datum.
- Total site area = 127,145 sq. ft. (2.92 acres)
- Underground utilities shown hereon per locate markings by utility operators in reference to Gopher State One Call Ticket No. 151632245.
- Benchmark: Anoka County Benchmark No. 3012. Elevation = 906.88 ft. (NAVD 88 datum)
- Proposed site plan by Architectural Overflow, LLC.
- Proposed civil plan by Plowe Engineering.

TYPICAL UNITS

3 UNIT BUILDING

4 UNIT BUILDING



PROPOSED AREAS:

LOT	BLOCK	AREA (SF)
1	1	2,030
2	1	1,580
3	1	2,030
4	1	2,030
5	1	1,580
6	1	2,030
7	1	115,665

VICINITY MAP

PART OF SEC. 36, TWP. 31, RING. 23



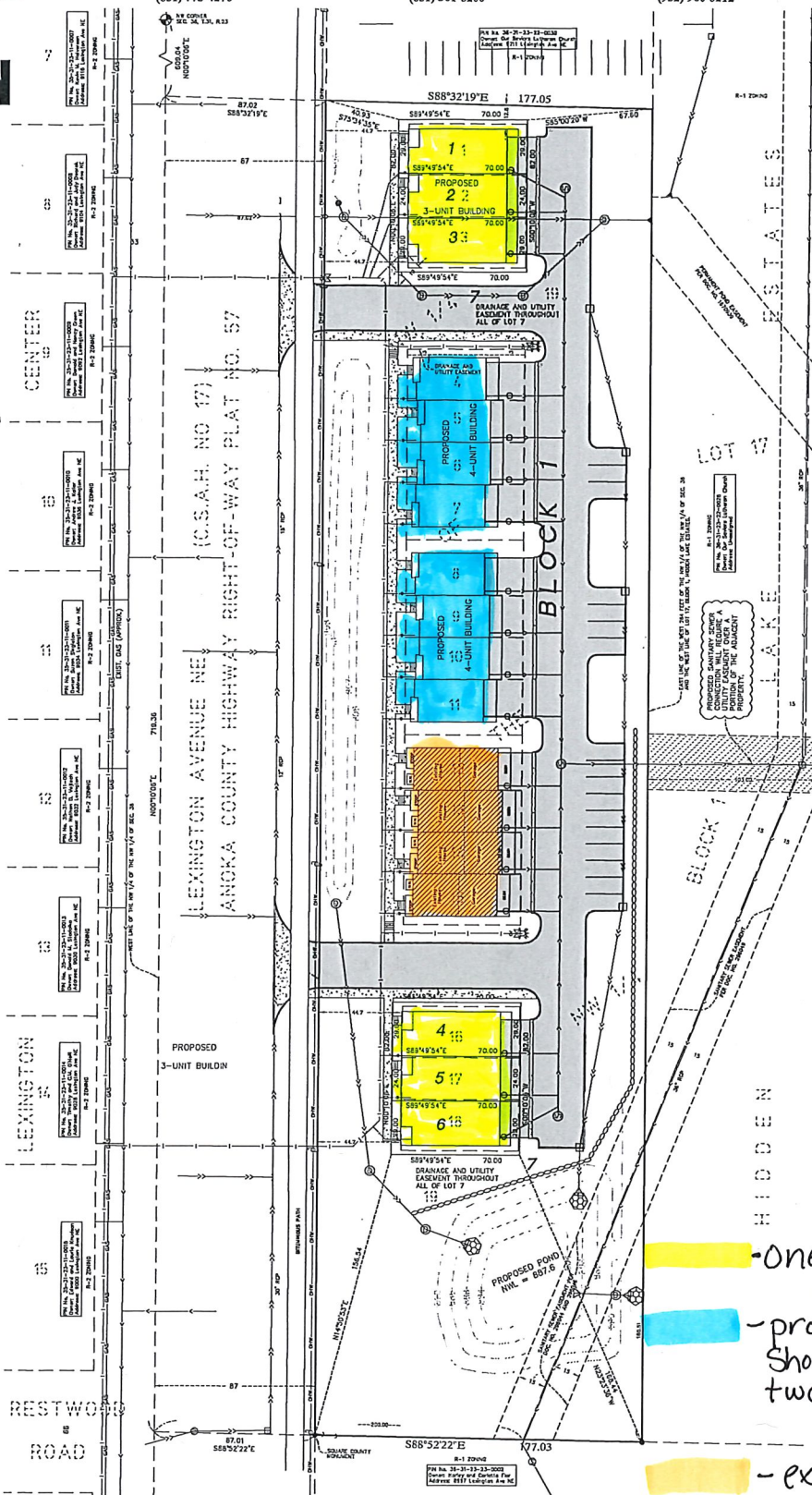
ANOKA COUNTY, MINNESOTA
(NO SCALE)

I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Registered Land Surveyor under the laws of the State of Minnesota.

ASON E. RUD

Date: 2/6/2019 License No. 41578

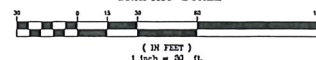
E. G. RUD & SONS, INC.
Professional Land Surveyors
6776 Lake Drive NE, Suite 110
Lino Lakes, MN 55014
Tel. (651) 361-8200 Fax (651) 361-8701



LEGEND

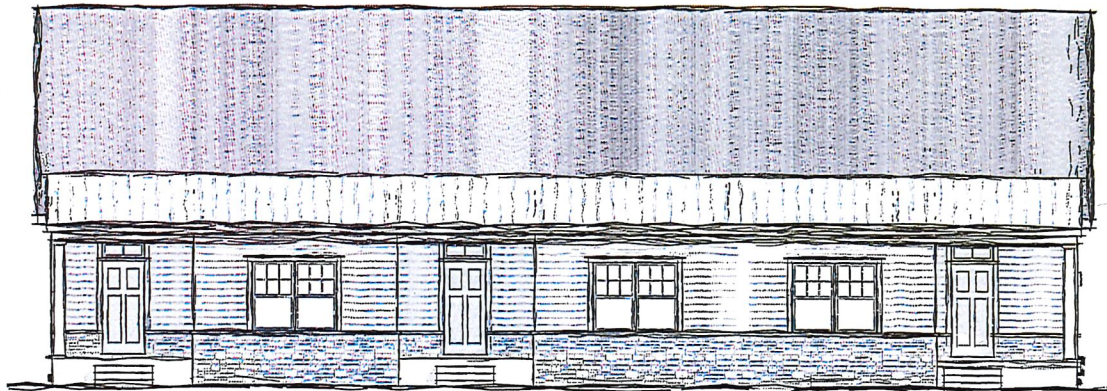
- DENOTES IRON MONUMENT FOUND AS LABELED
- DENOTES IRON MONUMENT SET, MARKED RLS# 41578
- DENOTES STORM SEWER APRON
- DENOTES CATCH BASIN
- DENOTES STORM SEWER
- DENOTES SANITARY SEWER
- DENOTES GUY WIRE
- DENOTES POWER POLE AND OVERHEAD WRES
- DENOTES SIGN
- DENOTES BITUMINOUS SURFACE
- DENOTES PROPOSED UTILITY EASEMENT
- DENOTES ADJACENT PARCEL OWNER INFORMATION (PER ANOKA COUNTY TAX INFORMATION)

GRAPHIC SCALE



DRAWN BY: BAB	JOB NO: 15087	DATE: 2/6/19
CHECK BY: JER	SCANNED	
1		
2		
3		
NO.	DATE	DESCRIPTION
BY		

- one level units
- proposed shorter two-level units
- existing units (two-level)



Aspen Village Townhomes Blaine, MN

IMPORTANT GENERAL NOTES:

THESE PLANS ARE PROVIDED FOR GENERAL DESIGN & CONSTRUCTION PURPOSES ONLY. THE ARCHITECT DOES NOT WARRANT ANY MATERIAL, DESIGN DETAILS, COSTS, CONSTRUCTION METHODS, EQUIPMENT, HARDWARE, ETC., WHETHER IMPLIED OR EXPLICITLY NOTED ON THE DRAWINGS.

THE INFORMATION CONTAINED IN THIS PLAN IS INTENDED TO SHOW DESIGN INTENT ONLY, AND BASIC FRAMING. IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO USE STANDARD INDUSTRY APPROVED CONSTRUCTION PRACTICES THAT WILL INSURE A SAFE, STRUCTURALLY SOUND AND WATERPROOF HOME.

THIS HOME WILL BE BUILT TO COMPLY WITH OR EXCEED THE LATEST EDITION OF THE INTERNATIONAL BUILDING CODE(S) AND/OR THE LOCALLY APPROVED BUILDING CODE. ALL CODES SHALL HAVE PREFERENCE OVER ANYTHING SHOWN, DESCRIBED, OR IMPLIED ON THIS PLAN WHERE SAME ARE AT VARIANCE.

1. OWNER'S RESPONSIBILITY:
PRIOR TO CONSTRUCTION THE OWNER WILL DETERMINE THAT THIS PLAN MEETS THE OWNER'S NEEDS AND DESIGN EXPECTATIONS-ANY DESIGN QUESTIONS SHOULD BE DIRECTED TO THE ARCHITECT/DESIGNER FOR CLARIFICATION OR CORRECTION.

2. DIMENSIONS & ERRORS:
THE GENERAL CONTRACTOR AND OWNER WILL BECOME FAMILIAR WITH ALL DESIGN ASPECTS OF THESE PLANS. ANY QUESTIONS WILL BE CLARIFIED BY THE ARCHITECT/DESIGNER PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND IS RESPONSIBLE FOR ERRORS NOT REPORTED. DO NOT SCALE DRAWINGS.

3. MODIFICATIONS:
ANY CHANGES TO THE PLAN ARE TO BE MADE BY A QUALIFIED PROFESSIONAL ARCHITECT, ENGINEER, OR RESIDENTIAL DESIGNER. THE ORIGINAL DESIGNER WILL NOT BE RESPONSIBLE FOR MODIFICATIONS MADE TO THIS PLAN.

4. CHANGE ORDERS:
ALL CHANGES TO THE CONSTRUCTION AND DESIGN OF THIS PLAN WILL BE DONE WITH WRITTEN CHANGE ORDERS ISSUED BY THE OWNER AND GENERAL CONTRACTOR. THE CONTRACTOR WILL BE RESPONSIBLE FOR ANY COSTS TO ADJUST CHANGES MADE TO THE CONSTRUCTION THAT ARE NOT APPROVED BY A WRITTEN CHANGE ORDER.

5. DETAILS:
ALL IMPORTANT DESIGN DETAILS SUCH AS CORNICE, DORMERS AND PORCHES, ETC., SHALL BE FOLLOWED AS SHOWN ON THE PLANS. ANY DESIGN CHANGES WILL BE ACCOMPANIED WITH SUBSTITUTE DRAWINGS PROVIDED BY THE CONTRACTOR FOR THE OWNER'S APPROVAL. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL EXPENSES TO ADJUST UNAUTHORIZED CHANGES TO THE ORIGINAL DESIGN DETAIL.

6. FLOOR ELEVATIONS:
PRIOR TO CONSTRUCTION, THE GENERAL CONTRACTOR WILL STAKE OUT ON THE LOT - THE HOUSE, DRIVEWAY, AND FIRST FLOOR AND GARAGE FLOOR ELEVATIONS FOR THE OWNER'S APPROVAL. THIS WILL BE ACCOMPANIED WITH SITE PLAN APPROVED IN WRITING BY THE OWNER.

7. OWNER'S APPROVAL:
ALL MATERIAL FINISH AND COLOR SELECTIONS SHALL BE APPROVED BY THE OWNER PRIOR TO CONSTRUCTION. ROOFING, EXTERIOR FINISHES (BRICK, SIDING, STUCCO, STONE, ETC.), AND WINDOW SAMPLES WILL BE PROVIDED TO THE OWNER FOR APPROVAL BEFORE ORDERING. VERIFY FIREPLACE SIZE(S) AND SPECIAL ITEMS SUCH AS SPA TUBS, ETC. BEFORE CONSTRUCTION.

8. SQUARE FOOTAGE CALCULATIONS:
THE ACTUAL SQUARE FOOTAGE IS CALCULATED AS THE HEATED, FINISHED INTERIOR SPACE. THIS DOES NOT INCLUDE PORCHES, UNFINISHED BASEMENTS, OR UNFINISHED BONUS ROOMS, VAULTED OR TWO-STORY SPACES SUCH AS GREAT ROOMS, FOYERS, AND STAIRS ARE CALCULATED ONCE-ON-CE-ON THE FIRST FLOOR ONLY.

9. JOB SITE REQUIREMENTS:
ADDRESS NUMBER REQUIRED TO BE DISPLAYED AT ALL TIMES. ALL BUILDING DEBRIS MUST BE CONTAINED. MANUFACTURER'S SPECIFICATIONS FOR ALL TRUSSES AND BEAMS REQUIRED TO BE ON SITE AT FRAMING INSPECTION.

DESIGN DATA:

NOTE: DESIGN CRITERIA IN YOUR AREA MAY VARY. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR OR LOCAL ENGINEER TO VERIFY THESE.

DESIGN LOADS:
FLOOR DEAD LOAD: = 10 PSF
FLOOR LIVE LOAD: = 40 PSF
TOTAL FLOOR LOAD: = 50 PSF
ROOF TRUSS BOTTOM CHORD DEAD LOAD = 10 PSF
SLEEPING AREAS (2ND FLOOR) LIVE LOAD = 30 PSF
ROOF DEAD LOAD = 10 PSF
ROOF LIVE LOAD: = 20 PSF
TOTAL ROOF LOAD: = 30 PSF
WALL LOAD: = 10 PSF
SEISMIC ZONE: = ZONE "A"
WIND LOAD: = 90 MPH, EXPOSURE "A"
VERIFY LIVE LOADS, SEISMIC AND HURRICANE REQUIREMENTS FOR YOUR AREA.

SOLID SAW LUMBER:
SOUTHERN PINE No. 2 OR BETTER

MICROLAM:
DIMENSION AS NOTED - GRADE 2.0E

SOIL PRESSURE:
SOIL PRESSURE MIN. ALLOW. = 2000 PSF

FILL SOILS WILL REQUIRE APPROVAL BY A LICENSED ENGINEER (P.E.)

SOIL GROUP:
SOIL GROUP PER TABLE 405.1 = SP-SM

CONCRETE:
COMPRESSIVE STRENGTH @ 28 DAYS = 5000 PSI

INSULATION:
CEILING = R-19
WALL (CM) = R-13
WALL (CM) = R-21
FLOOR OVER UNCONDITIONED SPACE = R-30 (R-20 RM)
BONUS = R-19
FOUNDATION WALL = R-10

VENTILATION:
PROVIDE ATTIC AND CRAWLSPACE VENTILATION AS REQUIRED BY LOCAL CONDITIONS AND BUILDING CODES.

DESIGN CODES:
- 2015 MINNESOTA RESIDENTIAL CODE (MRC), MN RULES CHAPTER 1309 (2012 IRC WITH MN AMENDMENTS)
- 2016 MINNESOTA RESIDENTIAL ENERGY CODE (MREC), MN CHAPTER 1322
- 2015 MINNESOTA FIRE CODE (MFC)
- 2015 MINNESOTA MECHANICAL AND FUEL GAS CODE (MMC & MFGC)
- 2015 MINNESOTA PLUMBING CODE (MPC)
- ASCE 8 MANUAL FOR CONCRETE CONSTRUCTION
- AISI 886 MANUAL FOR STEEL CONSTRUCTION
- NDS MANUAL FOR WOOD CONSTRUCTION

SHEET INDEX

A0.00	COVER SHEET
A0.01	SITE PLAN
A1.01	LOWER LEVEL FLOOR PLAN
A1.02	MAIN LEVEL FLOOR PLAN
A1.03	UPPER LEVEL FLOOR PLAN
A1.04	ROOF PLAN
A2.01	EXTERIOR ELEVATIONS
A2.02	EXTERIOR ELEVATIONS
A3.01	BUILDING SECTIONS
A3.02	CONSTRUCTION DETAILS
A3.03	CONSTRUCTION DETAILS
A4.01	DESIGN OPTIONS
A4.02	ARTWORK FLOOR PLANS
E1.01	ELECTRICAL PLAN
F1.01	FOUNDATION PLAN

SQUARE FOOTAGE PER UNIT

CONDITIONED SPACE	
MAIN LEVEL	1236 SF
FUT. LOWER LEVEL	583 SF
Grand total	1819 SF

UNCONDITIONED SPACE	
DECK	144 SF
GARAGE	502 SF
MECH.	58 SF
STOOP	60 SF
Grand total	764 SF

13/12/2018 - PRELIM SET

FOUNDATION NOTES:

1. ALL STRUCTURAL INFORMATION SHOWN FOR REFERENCE PURPOSES ONLY. GENERAL CONTRACTOR SHALL HAVE A LOCAL LICENSED STRUCTURAL ENGINEER (P.E.) REVIEW ACTUAL SITE CONDITIONS AND DESIGN ALL STRUCTURAL ELEMENTS SUCH AS: FOOTINGS, REINFORCEMENT, FOUNDATION WALLS, PIERS AND SLAB.

2. GENERAL CONTRACTOR SHALL INSPECT SITE AND EXCAVATED CONDITIONS PRIOR TO STARTING ACTUAL CONSTRUCTION. GENERAL CONTRACTOR SHALL NOTIFY THE OWNER OR P.E. OF ANY UNUSUAL CONDITIONS REGARDING SOILS, GROUND WATER, OR ANY OTHER ISSUE WHICH MAY REQUIRE ADDITIONAL OR SPECIAL ENGINEERING DESIGN.

3. GENERAL CONTRACTOR IS TO REVIEW THE PLANS, ELEVATIONS AND DETAILS FOR DESIRED ELEVATION OF FINISH FLOOR ABOVE TYPICAL GRADE. ADVISE OWNER SHOULD ANY SITE CONDITIONS REQUIRE MODIFICATIONS TO THE DESIGN INTENT INDICATED ON PLANS, SECTIONS, OR EXTERIOR ELEVATIONS, (I.E. NUMBER OF STEPS FROM FINISH GRADE TO THE FIRST FLOOR, OR NUMBER OF STEPS BETWEEN THE GARAGE FLOOR TO THE FIRST FLOOR OF THE HOUSE).

4. ALL CONCRETE WORK SHALL CONFORM TO ACI 318. ALL DETAILING, FABRICATION, ACCESSORIES AND PLACEMENT OF REINFORCING SHALL CONFORM TO THE ACI MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURES. ANCHOR BOLTS FOR SILL PLATE ATTACHMENT TO CONFORM TO ASTM A307.

5. CONCRETE SHALL DEVELOP A MINIMUM COMPRESSIVE STRENGTH OF 5000 PSI AT 28 DAYS.

6. ALL CONSTRUCTION ON FILL SOILS SHALL BE DESIGNED BY A P.E.

7. INSTALL "STEPO" 15 MIL VAPOR BELOW ALL FLOOR SLABS (WWW.STECONDUCTIVE.COM) AND 8 MIL VAPOR ON EXTERIOR OF FOUNDATION WALLS.

8. ALL PIPING PASSING THROUGH CONCRETE SHALL BE PROTECTED/SHIELDED TO ALLOW FOR EXPANSION/CONTRACTION OF PIPE. PROTECTION OF PIPES MUST BE DEVELOPED BY MORE THAN JUST TAPE.

9. P.T. SILL PLATES REQUIRED TO BE ANCHORED AT 6 FEET O.C. AND WITHIN 12" OF ENDWALLS.

10. MANUFACTURER'S SPECIFICATION FOR ALL TRUSSES AND BEAMS REQUIRED TO BE ON SITE AT FRAMING INSPECTION.

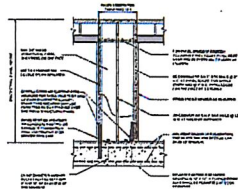


FIG. 16. 1 inch = 24.0 mm.
FIGURE 16-10-1.1
METHOD 16-10-1.1-ALTERNATE BRICKS SHALL A-1.1.

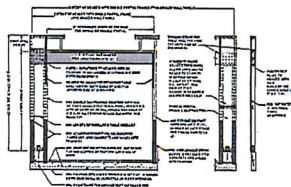
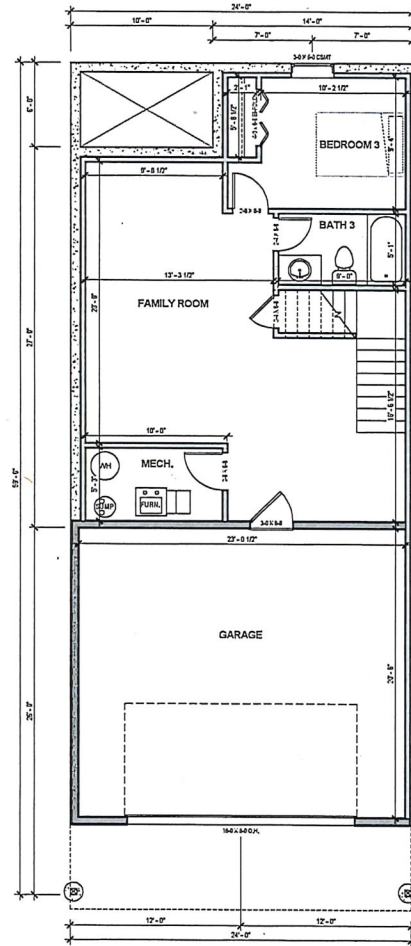


FIG. 17. 1 inch = 24.0 mm, 1 foot = 304.8 mm.
FIGURE 17-1.1.2
METHOD 17-1.1-2-PORTAL FRAME WITH HELIX-CLADDING



1 LOWER LEVEL FLOOR PLAN
A1.01 1/4\"/>



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CAPTERA HOMES

Aspen Village Townhomes
9065 Lexington, Blaine, MN
UNITS 8-10

LOWER LEVEL
FLOOR PLAN

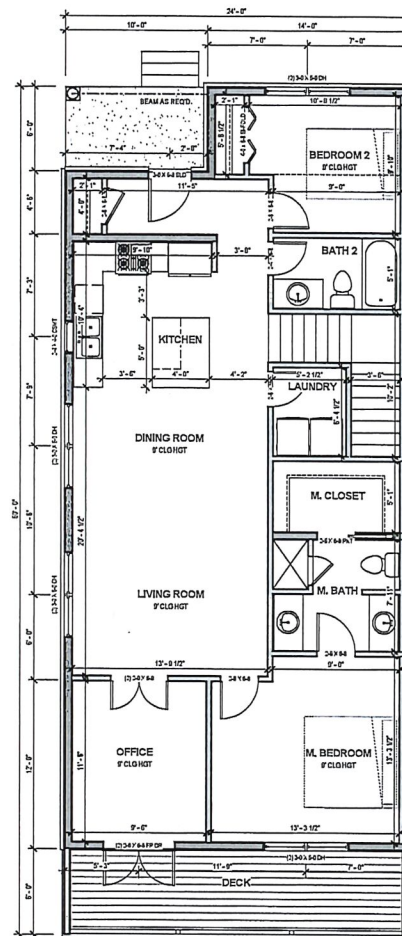
DATE 12/16/18
PROJECT 13A-001
ASPHEN VILLAGE
A1.01

13103218 - FLOOR PLAN

1. ALL WORKMANSHIP AND MATERIALS SHALL CONFORM TO THE NATIONAL DESIGN SPECIFICATIONS FOR WOOD CONSTRUCTION, AND TO THE NATIONAL FLOOR PRODUCTS ASSOCIATION (NFPA).
2. ALL STRUCTURAL INFORMATION SHOWN FOR REFERENCE ONLY. THE CONTRACTOR SHALL VERIFY THAT ALL DIMENSIONS EXCEED THE LATEST EDITION OF THE INTERNATIONAL RESIDENTIAL CODE, AS ISSUED BY THE NATIONAL FLOOR PRODUCTS ASSOCIATION (NFPA).
3. THE GENERAL CONTRACTOR SHALL HAVE A LOCAL, PROFESSIONAL ENGINEER (P.E.) REVIEW THE STRUCTURAL DESIGN AND SITE CONDITIONS, AND DESIGN ALL FRAMING ELEMENTS SUCH AS BEAMS, JOISTS, BRACKETS, RAFTERS AND RATTERS. CONSTRUCTION SHALL NOT BEGIN WITHOUT REVIEW OF A P.E. APPROVAL.
4. THE CONTRACTOR WILL REVIEW THE PLANS, ELEVATIONS AND DETAILS, AND ADVISE THE OWNER AND ARCHITECT SHOULD ANY CONDITIONS REQUIRE ADDITIONAL CHANGES. THE CONTRACTOR SHALL SHOW THE PLANS, SECTIONS OR EXTERIOR ELEVATIONS TO THE ARCHITECT FOR REVIEW.
5. IF "ENGINEERED LUMBER" OR TRUSSES WILL BE MANUFACTURED, THEY WILL BE DESIGNED AND APPROVED BY A P.E. AND USED BY THE CONTRACTOR.
6. INSTALL SOLID BRACING, OR JOIST, AT ALL OUTSIDE CORNERS.
7. PROVIDE DOUBLE JOISTS UNDER ALL NON-LOAD BEARING PARTITIONS AND PATIOS.
8. SHEATH ALL EXTERIOR WALLS WITH A MINIMUM 1/2" STRUCTURAL GRADE OR #2 PLYWOOD OR MINIMUM 1/2" OSB.
9. PROVIDE DIAGONAL OR SOLID BRACING AT # 4" O.C. MAXIMUM IN EXTERIOR WALLS. (SEE DRAWING NOTED). STUD WALLS TO #10" TALL UNDER WALLS THAT ARE PERPENDICULAR TO THE FLOOR JOISTS.
10. STRUCTURAL LUMBER SHALL BE SOUTHERN PINE #2 OR EQUAL, UNLESS OTHERWISE NOTED.
11. ALL STRUCTURAL LUMBER SHALL BE TREATED TO PROTECT FROM STEPS, PORCHES AND DOCKS. SHALL BE PRESURE TREATED TO EQUAL.
12. ALL WOOD IN CONTACT WITH CONCRETE SHALL BE PRESURE TREATED.
13. STUD WALL SUPPORT TWO FLOORS, CEILING AND ROOF LOADS SHALL BE 2 # 4 AT 16" O.C. ALL EXTERIOR WALLS TO BE 2 X 4 AT 16" O.C. MAXIMUM. (SEE DRAWING NOTED). STUD WALLS TO #10" TALL TO BE BORED SIZED AT DISCREETLY. TALLER WALLS TO BE BORED SIZED AT DISCREETLY.
14. ALL HEADERS AND BEAMS TO BE SUPPORTED BY 2X6 SIZED TO THE WIDTH OF THE BEAM OR SOLID COLUMNS AS SHOWN ON DRAWING. BEAMS AND COLUMNS TO BE CONTINUOUS TO THE FOUNDATION OR SUPPORTER SLOPE.
15. POCKET DOORS SHALL BE FULL SIZE SLIDING DOOR DOORS HUNG ON HEAVY TRACK CENTRED IN A 2x6 WALL FRAMED W/ UNBARRING IRON.
16. TYPICAL, HEADER TO BE 2X12 W/ 12" PLYWOOD W/ LUED OR NALUED, UNCL.
17. PROVIDE BATHROOM VENTILATION PER CODE.
18. PROVIDE EXTERIOR DIMENSION AREA TO FACE OF SHEATHING.
19. MAX 12 FEET FREE SURREY PER JOIST (ACHOS).
20. MAX 2.6 AIR CIRCULATION PER HOUR (ACHOS).
21. ALL EXTERIOR DOORS TO BE 20" MIN FRIERATED OR EQUIVALENT.
22. MANUFACTURERS SPECIFICATION FOR ALL TRUSSES AND BEAMS REQUIRED TO BE ON SITE AT FRAMING INSPECTION.
23. HANDRAIL CROSS SECTION DIMENSION SHALL BE GRABABLE WITH A DIAMETER OF AT LEAST 1" AND NOT GREATER THAN 2" AND HANDRAILS SHALL BE RETURNED TO THE WALL OR TERMINATE AT POSTS.
24. GUARDRAILS SHALL BE MIN. 36" HIGH WITH OPENINGS LESS THAN 4" AND GUARDRAILS SHALL HAVE OPENING LESS THAN 1/8" WITH 1/8" MIN. SPACING.



FIGURE 2: 10.6.1
METHOD A BY ALTERNATE BRACE D VELL PANEL



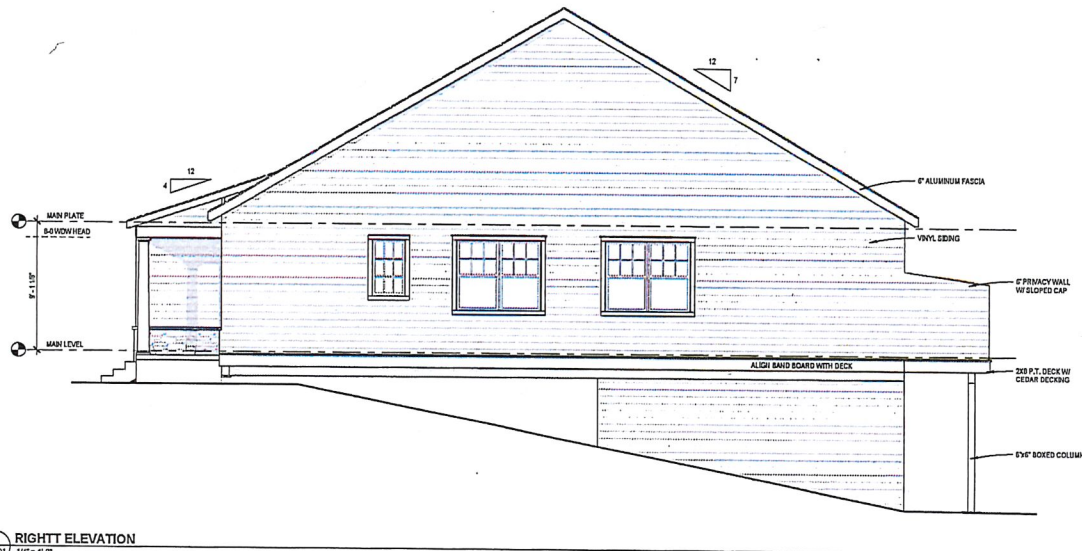
1 MAIN LEVEL FLOOR PLAN
A1.02 1/4" = 1'-0"

UNIT 09

UNIT 08



1 FRONT ELEVATION
1/4" = 1'-0"



2 RIGHT ELEVATION
1/4" = 1'-0"



1000 County Road E. Unit 200 • Shoreview, MN 55126
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CAPTERA HOMES

Aspen Village Townhomes
9065 Lexington, Blaine, MN
UNITS 8-10

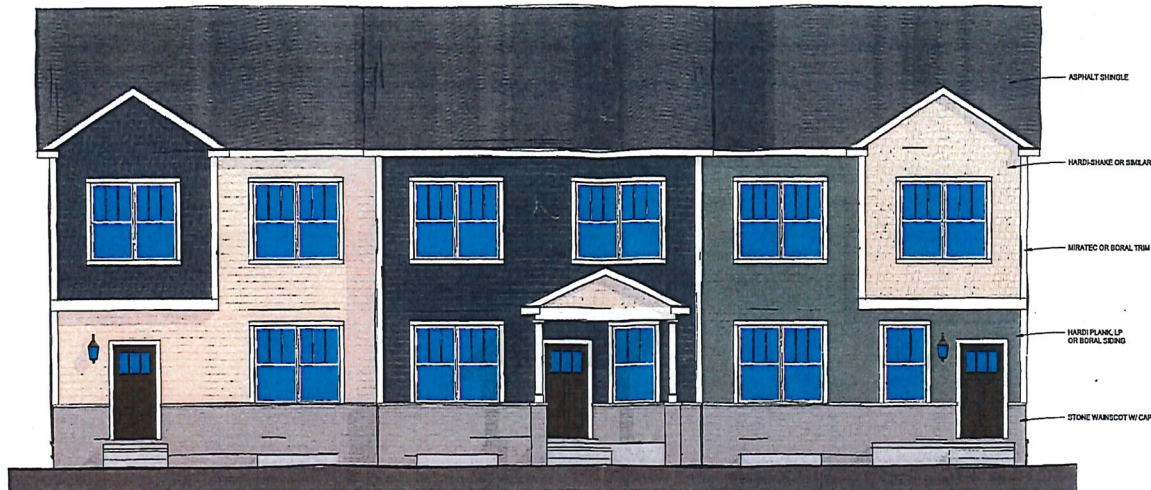
EXTERIOR ELEVATIONS

DATE: 12/16/18
PROJECT: EXTERIOR ELEVATIONS
ASPER VILLAGE

A2.01

12/16/18 - PRELIM SET

Existing 2-level 4 unit building



1 FRONT ELEVATION
1/4" = 1'-0"



2 REAR ELEVATION
1/4" = 1'-0"

Existing building



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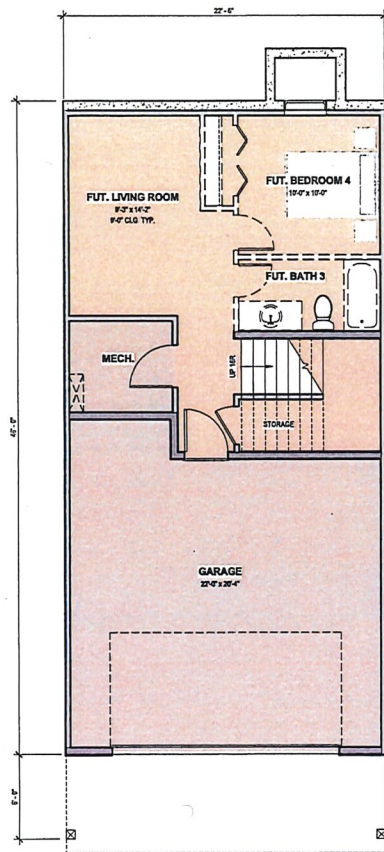
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Aspen Village Townhomes
Blaine, MN

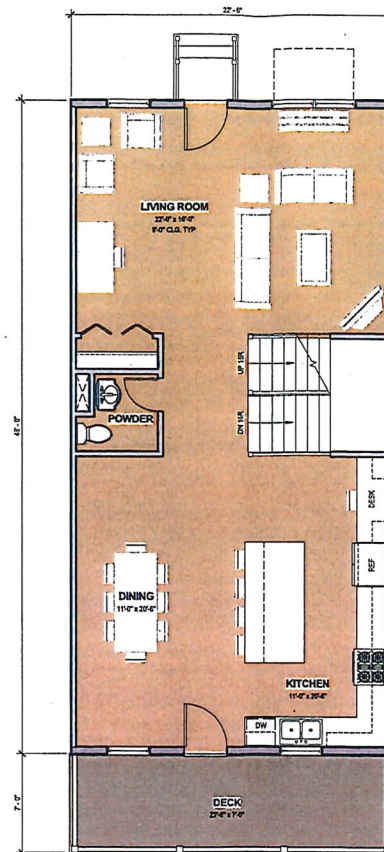
PRESENTATION
ELEVATIONS
OPTION 2

DRAWN BY
EAD
DATE
2/20/17
PROJECT NAME
ASPEN VILLAGE

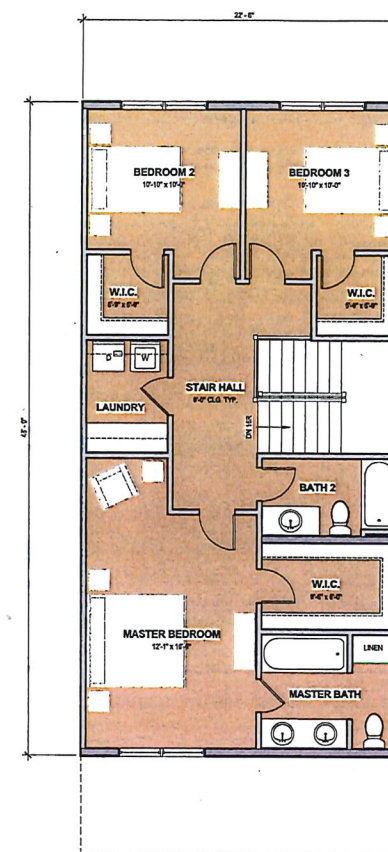
Existing building



1 LOWER LEVEL FLOOR PLAN



2 MAIN LEVEL FLOOR PLAN



3 UPPER LEVEL FLOOR PLAN

SQUARE FOOTAGE

CONDITIONED SPACE		UNCONDITIONED SPACE	
MAIN LEVEL	954 SF	DECK	158 SF
UPPER LEVEL	954 SF	GARAGE	488 SF
FUT. LOWER LEVEL	479 SF	MECH.	53 SF
Grand total	2386 SF	Grand total	698 SF



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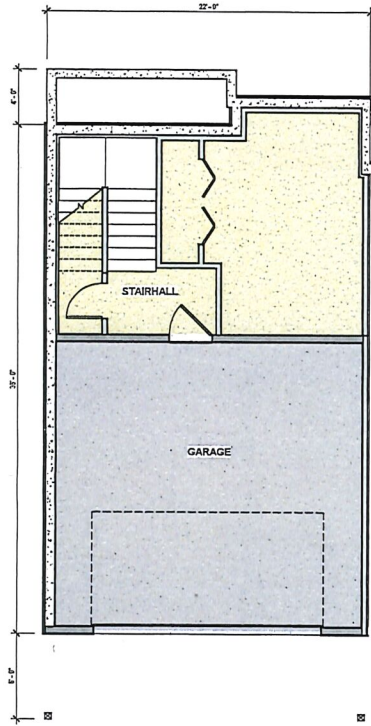
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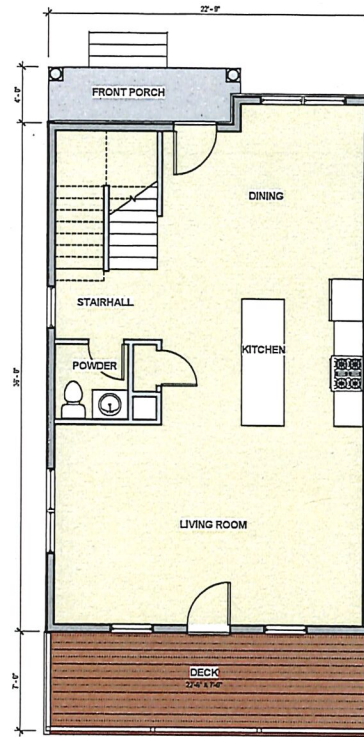
Aspen Village Townhomes
Blaine, MN

PRESENTATION FLOOR PLANS	
DRAWING BY	END
DATE	2/22/17
PROJECT NUMBER	1
ASPHEN VILLAGE	

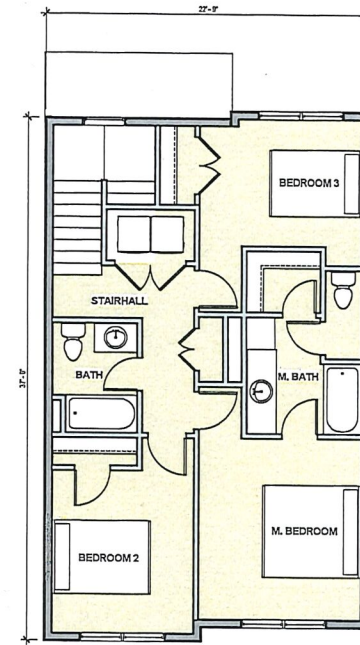
New Floor Plan for 2-level plan (shorter unit)



1 LOWER LEVEL FLOOR PLAN
A4.01 1/4" = 1'-0"



2 MAIN LEVEL FLOOR PLAN
A4.01 1/4" = 1'-0"



3 UPPER LEVEL FLOOR PLAN
A4.01 1/4" = 1'-0"



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CAPTERA HOMES

Aspen Village Townhomes
9065 Lexington, Blaine, MN
UNITS 8-11

ARTWORK FLOOR PLANS

DATE	12/06/18	BY	A4.01
PROJECT	ASPEN VILLAGE		

12/06/18 - PRELIM