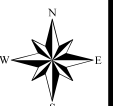


Case File No. 19-0003
Kristi Clark

Blaine Planning Department / 10801 Town Square Dr NE / Blaine, MN 55449 / (763) 785-6180



Ms. Kristi Clark
8949 Xylite Street NE
Blaine, MN 55449

CAST IRON MONUMENT
NORTHWEST CORNER OF
SECTION 34, T. 31, R. 23

LAKE AND LAND SURVEYING, INC.

1200 Centre Pointe Curve, Suite 275

Mendota Heights, Minnesota 55120

Phone: 651-776-6211

SETBACKS:
ATTACHED GARAGE: 5 FEET SIDE SETBACK HOUSE: 10 FEET
SIDE SETBACK
FRONT: 30 FEET
REAR: 25 FEET









DETACHED GARAGE: 5 FEET SIDE SETBACK AND
5 FEET REAR SETBACK



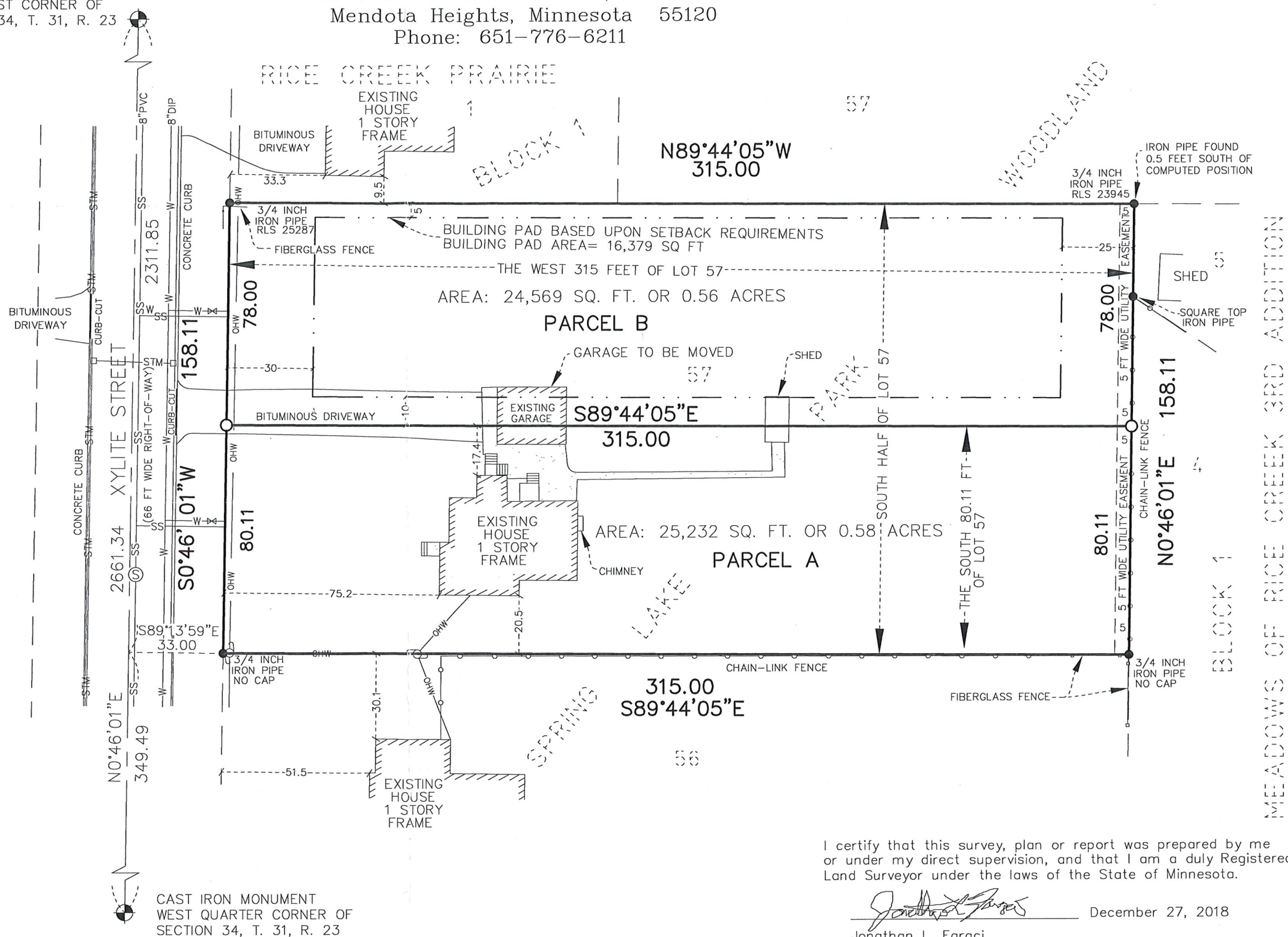
SCALE

1 inch = 40 ft.

NOTES:

-  Denotes P.L.S. Corner Monument found size, type, as noted.
-  Denotes 12" long Common Spike Monument set & capped RLS 16464 upon Lot Split approval by City.
-  Denotes Iron Monument found size, type, and RLS as noted.
-  Denotes Water Shut-off Valve
-  Denotes Overhead Utility Wires
-  Denotes Utility Pole
-  Denotes Sanitary Manhole
-  Denotes Concrete Surface

SITE ADDRESS: 8949 Xylite Street NE, Blaine, MN
BASIS OF BEARINGS: Anoka County
JOB NO: 2018.308-JK



I certify that this survey, plan or report was prepared by me or under my direct supervision, and that I am a duly Registered Land Surveyor under the laws of the State of Minnesota.

Jonathan S. Fries

December 27, 2018

Jonathan L. Faraci
Registered Land Surveyor & Registered Engineer
Minnesota Registration No. 16464

SHEET 1 OF 2 SHEETS

PROPOSED LOT SPLIT

LAKE AND LAND SURVEYING, INC.

1200 Centre Pointe Curve, Suite 275

Mendota Heights, Minnesota 55120

Phone: 651-776-6211

Current Legal Description: Certificate of Title No. 139545
(8949 Xylite Street NE)

The West 315 feet of the South half (S 1/2) of Lot Fifty-seven (57), Spring Lake Park Woodland, according to the plat thereof on file in the office of the Registrar of Titles, Anoka County, Minnesota.

Subject to an easement across the rear five (5) feet thereof for public utility purposes.

LOT AREA: 49,801 SQ. FT. OR 1.14 ACRES

Legal Description Proposed Parcel A:
(8949 Xylite Street NE)

The West 315 feet of South 80.11 feet of Lot Fifty-seven (57), Spring Lake Park Woodland, according to the plat thereof on file in the office of the Registrar of Titles, Anoka County, Minnesota.

Subject to an easement across the rear five (5) feet thereof for public utility purposes.

Legal Description Proposed Parcel B:
(89XX Xylite Street NE)

The part of the West 315 feet of the South half (S 1/2) of Lot Fifty-seven (57), lying North of the South 80.11 feet thereof, Spring Lake Park Woodland, according to the plat thereof on file in the office of the Registrar of Titles, Anoka County, Minnesota.

Subject to an easement across the rear five (5) feet thereof for public utility purposes.

I certify that this survey, plan or report was prepared by me or under my direct supervision, and that I am a duly Registered Land Surveyor under the laws of the State of Minnesota.



December 27, 2018

Jonathan L. Faraci
Registered Land Surveyor & Registered Engineer
Minnesota Registration No. 16464