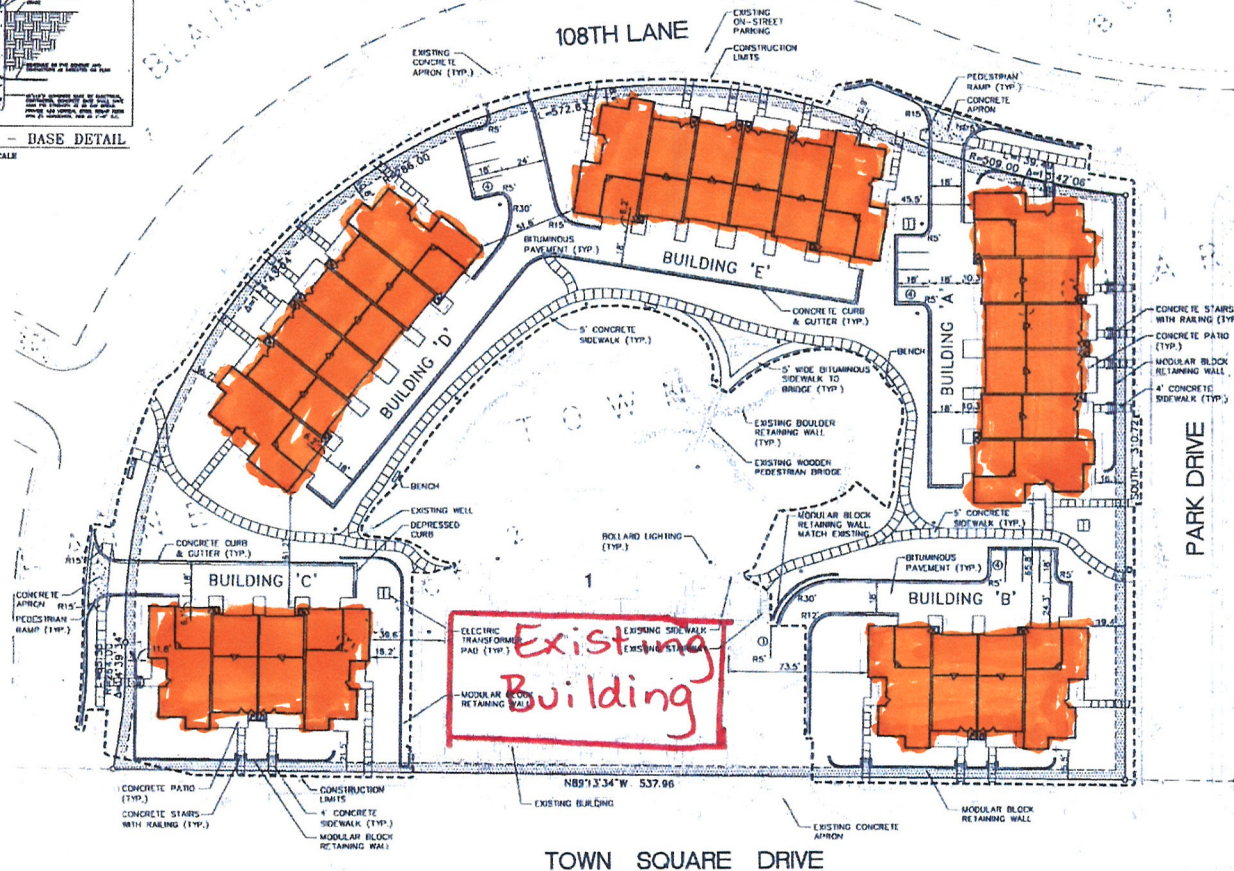


Existing Townhome



LIGHT BOLLARD - BASE DETAIL

N.P.C. SCALE



1. PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE TO MAKE SURE THAT ALL REQUIRED PERMITS AND APPROVED CONSTRUCTION METHODS HAVE BEEN OBTAINED. THE CONTRACTOR SHALL REMAIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY UNDERSTOOD ALL PLANS AND ALL REQUIREMENTS AND STANDARDS OF ALL OF THE PERMITTING AGENCIES.
2. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS, ALL CITY ORDINANCES, AND REQUIREMENTS AND STANDARDS OF THE LOCAL, STATE AND FEDERAL AUTHORITIES.
3. CONTRACTOR IS RESPONSIBLE FOR DEMOLITION & REMOVAL OF ALL EXISTING STRUCTURES WHICH INTERFERE WITH NEW WORK AS SHOWN.
4. ALL EXISTING CURB AND CURB & GUTTER SHALL BE REACHED TO EXISTING FINISH ELEVATION. EXISTING SIDEWALKS SHALL BE REACHED TO EXISTING FINISH ELEVATION.
5. ALL DIMENSIONS, GRADES, EXISTING AND PROPOSED INFORMATION SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL INFORMATION. THE CONTRACTOR MANAGER IF ANY DISCREPANCIES EXIST PRIOR TO CONSTRUCTION WITH CONSTRUCTION OF THE PROJECT. THERE SHALL BE NO CHARGE CHARGES. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR WORK HAVING TO BE RETRO DUE TO DISCREPANCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE NOTIFICATION HAS NOT BEEN OBTAIN.
6. ALL DIMENSIONS SHOWN ARE TO FACE OF CURB, CENTER OF CURB OR EDGE OF SIDEWALK. EXISTENCE PLANS SHALL BE USED.
7. ALL CONCRETE STRUCTURES ADJACENT TO BUILDING SHALL BE SEPARATED BY A 1/2" EXPANSION JOINT.
8. PROTECT EXISTING CURBWAYS, SIDEWALKS DURING ALL PHASES OF CONSTRUCTION. CONTRACTOR SHALL MAINTAIN ANY CRACKED OR BROWN PAVEMENT CAUSED BY SITE CONSTRUCTION.
9. CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL & DISPOSAL OF ALL EXISTING MATERIALS. EXISTING MATERIALS SHALL BE REMOVED OR JACK HAMMERED FOR STRAIGHT EDGES. TACKL SHALL BE USED TO MAINTAIN EDGE PRIOR TO PAVERING. NAKED EXISTING EDGES.
10. CONTRACTOR SHALL PROTECT ADJACENT PROPERTIES & STRUCTURES. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGES TO ADJACENT PROPERTIES & STRUCTURES THAT OCCUR AS A RESULT OF THESE ACTIVITIES. CONTRACTOR SHALL NOT BE RESPONSIBLE FOR ANY DAMAGE TO ADJACENT BUILDINGS.
11. CONTRACTOR SHALL MAINTAIN ACCESS TO PRIVATE PROPERTY. CONTRACTOR SHALL MAINTAIN ACCESS TO PUBLIC STREETS AT LEAST ONCE A WEEK, ONCE A DAY IF NEEDED.
12. CONTRACTOR SHALL BE HELD FULLY RESPONSIBLE TO PREVENT AND ELIMINATE ANY DUST IRRADIANCE OCCURRED BY AND DURING CONSTRUCTION UNTIL THE PROJECT HAS BEEN COMPLETED AND DUST CONTROL MEASURES HAVE BEEN IMPLEMENTED. ALL INCLUDING: WEEPING, WATER SPRINKLING, CALCULON CHARGES APPLICATIONS, TACKLING WITH BRUSHES, WATER SPRINKLING, AND OTHER MEASURES, BRUSH WALL SPREADING AND MAINTAIN DUST-FREE CONDITIONS ON THE

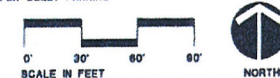
1. ALL DIMENSIONS ARE TO FACE OF BUILDING AND/OR FACE OF CURB.
2. REFER TO ARCHITECTURAL DIMENSIONS FOR CONCRETE STOPS.
3. ADJUST TO PROPOSED FINISH GRADES AND ELEVATIONS.
4. CONTIGUOUS CONCRETE CURB & DUTTER WHICH CHANGES TYPE SHALL HAVE A FIVE FOOT TRANSITION.
5. ALL CONCRETE CURB AND DUTTER ADJACENT TO CONCRETE WALK OR DRIVE SHALL BE 1/2" THICKER THAN ADJACENT DRIVE OR WALK.
6. ALL EXISTING CURB CUTS TO BE REPLACED WITH CONCRETE CURB AND DUTTER EQUIVALENT TO THAT WHICH CURRENTLY EXISTS.
7. ALL CURB AND DUTTER AND SIDEWALK BERM RISE TO BE PER CITY STANDARDS.
8. STRIPING SHALL BE 4 INCH WIDE.
9. ALL WORK WITHIN THE R.O.W. SHALL COMPLY WITH THE CITY ENGINEERING DESIGN STANDARDS.
10. CURB AND DUTTER SHALL BE 18" HIGH CURB UNLESS NOTED OTHERWISE, PER CITY STANDARDS.
11. CONCRETE APPROXS TO BE INSTALLED FOR ALL ACCESS DRIVES TO PUBLIC UTILITY STANDARDS.
12. ALL DIMENSIONS REFER TO DESIGN OF THE PROJECT (TYPE "P") UNLESS OTHERWISE NOTED.
13. CONTRACTOR SHALL FIELD VERIFY THE LOCATIONS AND ELEVATIONS OF EXISTING CURB AND DUTTER. FEATURES, SUCH AS EXISTING CURB GRADUOS AT THE PROPOSED DRIVEWAYS, PRIOR TO THE START OF THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ENGINEER OF ANY DISCREPANCIES OF VARIATIONS FROM THE PLANS.
14. SEE ARCHITECTURAL PLANS INTERIOR BUILDING DIMENSIONS.
15. PROVIDE AASHTO COMPLIANT HANDICAPPED RAUMPS W/ "TRIMMATED DOWN"

TOTAL LOT AREA:	170,263	SQ. FT.
IMPERVIOUS AREA:	100,751	SQ. FT.
PERVIOUS AREA:	69,512	SQ. FT.
% IMPERVIOUS:		59.17%

EXISTING DWELLING UNITS	12
PROPOSED DWELLING UNITS	26
TOTAL DWELLING UNITS	38

REQUIRED: 2 SPACES/UNIT (38 UNITS)	76 SPACES
EXISTING UNDERGROUND PARKING	24 SPACES
PROPOSED ENCLOSED PARKING	52 SPACES
SURFACE PARKING	13 SPACES
TOTAL PARKING	89 SPACES

- * 31 SUPPLEMENTAL ON-STREET PARKING SPACES
FOR GUEST PARKING



 PROPOSED 8612 CURB AND GUTTER
 EXISTING CURB AND GUTTER
 5' UTILITY EASEMENT
 CONCRETE PAVEMENT
 CONSTRUCTION LIMITS
 EXISTING LIGHT FIXTURE
 PROPOSED BOLLARD LIGHTING

SITE PLAN

sherman
ASSOCIATES
233 Park Ave. South, Suite 201
Minneapolis, Minnesota 55415
Phone 612.332.8000
Fax 612.332.8110

ALLIANT
REINFORCEMENT, INC.

255 PARK AVE. SUITE, NORTH 2000
MINNEAPOLIS, MN 55405
PHONE 612 29 1500
FAX 612 29 1500

having custody that this plan, specifically, or support was imposed by me or under my direct supervision and that I am a duly Licensed PROFESSIONAL ENGINEER under the laws of the State of MINNESOTA

DATE: 10/2/2010
 OFFICE: 10/2/2010
 SIGNATURE: [Signature]
 LICENSE NUMBER: [Blank]

BLAINE TOWN SQUARE
TOWNHOMES
TOWN SQUARE DRIVE & 109TH AVENUE

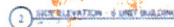
REVISIONS

DESIGNED BY	MR
DRAWN BY	DE
CHECKED BY	CW
DATE ISSUED	8-8-07
SCALE	1" = 30'
JOB NO.	020043

C-2

SHEET 3 of 10

Newly Designed Townhome



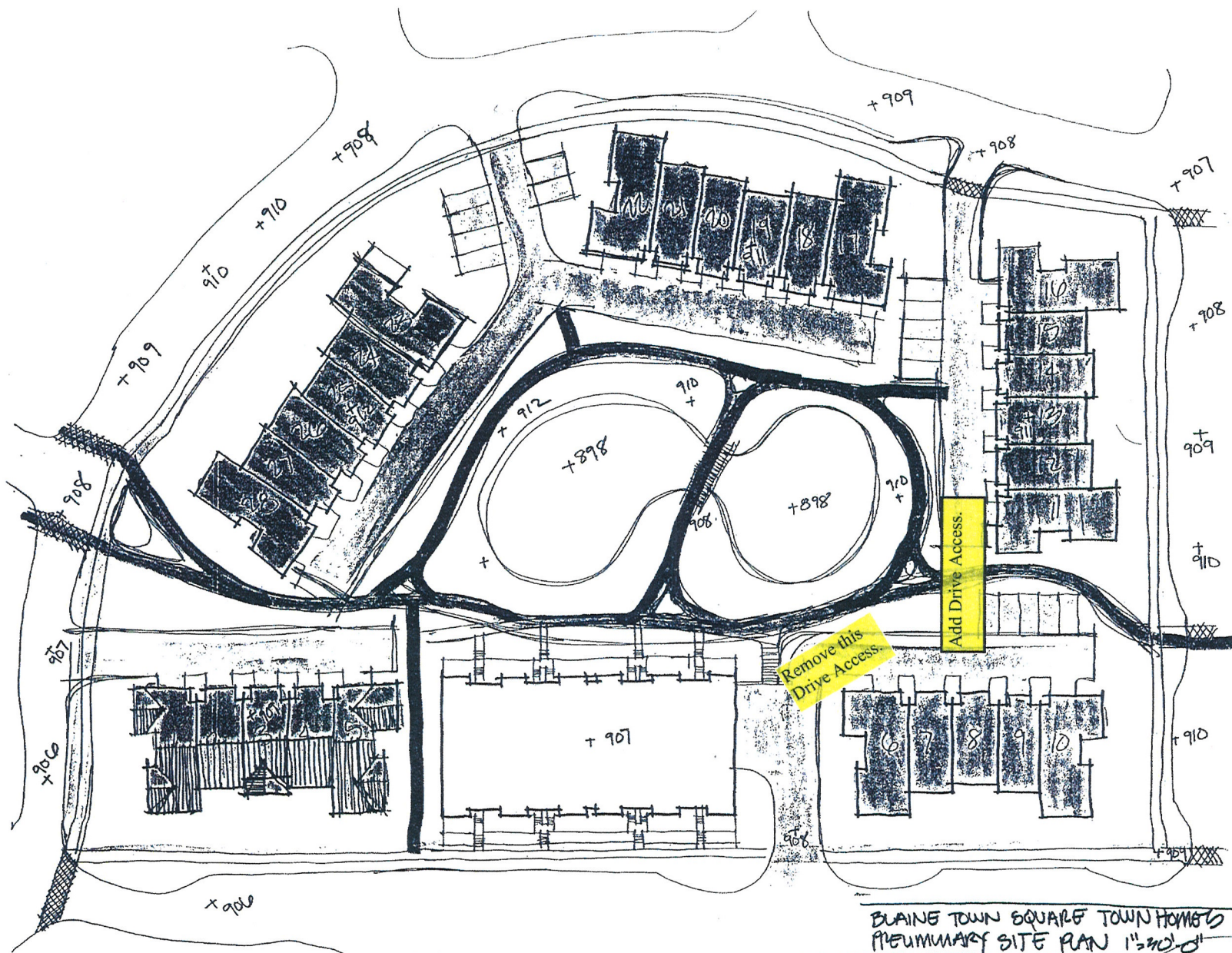
This architectural drawing shows the front elevation of a building with a complex roofline. The building features a central section with a gabled roof and two side wings with lower, hipped roofs. The facade is composed of various materials, including brickwork on the lower levels and horizontal siding or panels on the upper levels. Numerous windows of different sizes and styles are distributed across the facade. Ten numbered callouts (1-10) are placed around the drawing to identify specific architectural features: 1 points to a chimney on the left roof; 2 points to a dormer window on the central gable; 3 points to a small square window above the central entrance; 4 points to the main roof surface; 5 points to a large window on the left wing; 6 points to a small square window on the right wing; 7 points to a large window on the right wing; 8 points to a chimney on the right roof; 9 points to the central entrance area; and 10 points to a small square window on the far right wing.

3. REAR ELEVATION - 6 UNIT BUILDING

ALL WARRANTIES AND CONDITIONS MUST BE OBTAINED AND VERIFIED BY ONE OF THE CONTRACTOR AND SUB-CONTRACTORS. THE PUBLISHERS SHALL BE NOTIFIED IN WRITING OF ANY DISCREPANCY PRIOR TO PROCEEDING WITH THE SALE.

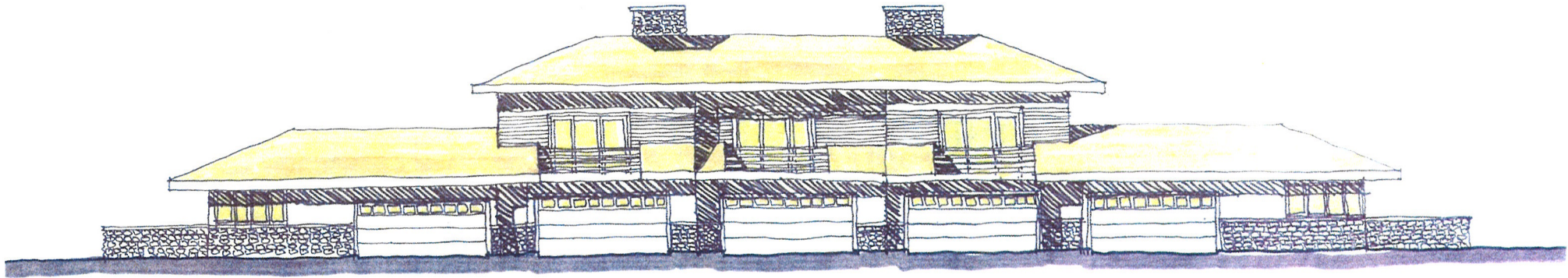
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2018 - 28-Unit Townhome Concept

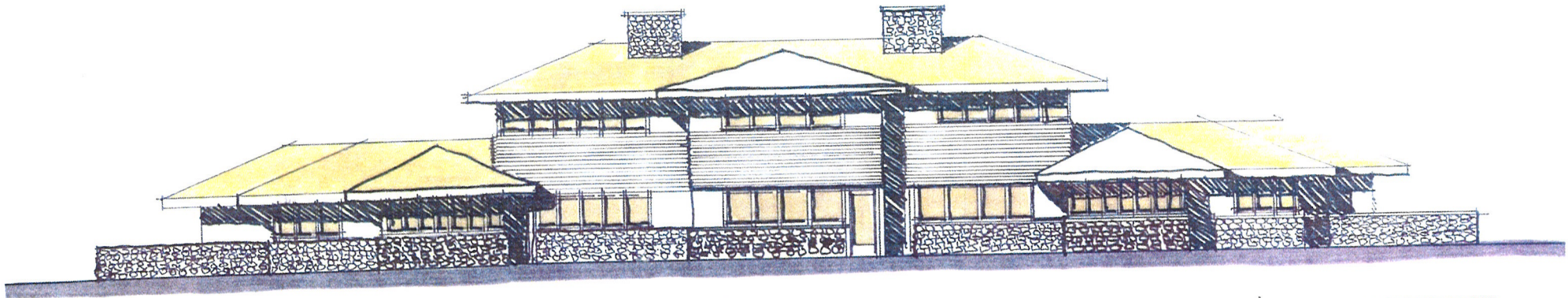


BLAINE TOWN SQUARE TOWN HOMES
PRELIMINARY SITE PLAN 1"=20'-0"

4
NORTH



ELEVATION - POND SIDE
BUNT BUILDING



ELEVATION 1/8"=1'-0"
SUNIT BUILDING

2018 Concept