

BORDER FOODS

5425 Boone Ave. North
New Hope, MN 55428

January 24, 2018

Border Foods Application Narrative for City of Blaine Staff, Planning Commission and City Council for Development of a Vacant Parcel in Central Avenue Acres Third Addition, Blaine, MN 55301

Border Foods is a franchisee of Taco Bell Corp. and has been operating Taco Bell restaurants since 1996. Our principals are Lee and Jeff Engler who have been operating restaurants in Minnesota since 1980 beginning with Los Primos Restaurant in Southdale. Since 2009, our company has completed numerous ground up restaurants throughout the metro and in greater Minnesota.

Border Foods is proposing to develop a vacant parcel located in Central Avenue Acres Third Addition into a Taco Bell restaurant with a drive thru window. The parcel is zoned Community Commercial District and the proposal is a permitted use within that zoning classification.

The site plan proposes a rectangular building that is 4,007 sq. ft., has 42 parking stalls available and an 8 car drive thru stack. The parcel is accessible via a private road and has one ingress/egress.

The exterior building materials are a combination of EFIS, bronze storefront, a corner tower of rust wall panels, and awnings. The front and side entry have a metal slat wall which is backlit. The colors of the building are a white and gray, with purple behind the slat wall. The slat wall is backlit at night.

High parapet walls extend across the front of the building providing for varying heights and also screen the mechanicals on the roof. An internal trash room within the building footprint has been incorporated into the design which eliminates the need for an exterior trash corral.

Landscaping provides a combination of maple and honey locust trees, evergreens, ornamental trees, shrubs and perennial grasses and daylilies for seasonal interest and color.

Food deliveries shall be made two times per week, by one truck, at off peak hours (key drops during non-operating hours, when possible) to minimize interference with operations. Our trash pickups shall occur once per day, excluding Sunday. The trash overhead door will remain accessible throughout the day because it will be designated as "no parking" and have the appropriate pavement markings to designate the area as such.

All of parking lot lighting, signage and building lighting are LED.

The proposed signage is as follows:

Monument sign at designated location along 117th at maximum height dictated by Developer's Agreement

South side building elevation combined total of 24.25 Sq. Ft. (swing bell, letters)

East side building elevation, 10.75 square feet (letters)

West elevation combined total of 24.25 Sq. Ft. (swing bell, letters)

Thank you for consideration of our project and we respectfully ask for your approval.

Sincerely,

A handwritten signature in black ink, appearing to read 'Barbara Schneider', written in a cursive style.

Barbara Schneider
VP Development





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PLANT SCHEDULE - ENTIRE SITE

SYM	QUANT	COMMON NAME	BOTANICAL NAME	SIZE	ROOT	COMMENTS
REBENS & VIGINATE TREES						
NIN	3	NORTHERN REDWOOD	<i>Sequoia sempervirens</i>	25'	B&B	STRONG LEADER, FULL FORM
SHL	8	SHORELUMBER LOGSUIT	<i>Gleditsia lucida</i>	2.5'	B&B	STRONG LEADER, FULL FORM
HEO	3	HERZOG'S ENGLISH OAK	<i>Quercus macrocarpa</i>	2.5'	B&B	STRONG LEADER, FULL FORM
BLD	7	BLACKBERRY FRUIT	<i>Rubus fruticosus</i>	15'	B&B	STRONG LEADER, FULL FORM
COMBENANT TREES						
ATS	6	ATLANTIC BIRCH	<i>Betula glandulosa</i>	1.5'	SH	
FFC	1	FRAMPTON FLOWERING CRY	<i>Malus 'Frampt'</i>	1.5'	B&B	
SHRUBS						
AC	15	ACER FRUIT	<i>Acer fruticosus</i>	24'	CONT	
GLS	19	GLADIOLUS FRUIT	<i>Gladiolus fruticosus</i>	24'	CONT	
NGB	15	NORTHERN CHERRY BUSH	<i>Prunella fruticosus</i>	24'	CONT	
PERENNIALS & GRASSES						
USD	18	STELLA'S SPIDER	<i>Stella's Spider</i>	4'	CONT	
USD	18	STELLA'S SPIDER	<i>Stella's Spider</i>	4'	CONT	

LANDSCAPE NOTES:

1. WETLANDS: SURVEYOR(S) SHALL BE HELD LIABLE FOR ANY DEFICIENCY IN THE LANDSCAPE AND/OR HYDROLOGIC OBSERVATIONS OF "OUTPOST" (SEE THE ROCK HOLE AND THE "OUTPOST" MAP) AND/OR THE "OUTPOST" (SEE THE ROCK HOLE AND THE "OUTPOST" MAP) AND/OR THE "OUTPOST" (SEE THE ROCK HOLE AND THE "OUTPOST" MAP).
2. PLANT MATERIALS SHALL CONFORM WITH THE AMERICAN ASSOCIATION OF NURSERIES STANDARDS AND SHALL BE OF "HARDY STOCK" TREES FROM DOMESTIC ORIGIN AND PROPAGATION, CONTAINING NO RESPONSIBILITY FOR MAINTAINING PLUMBNESS IN PLANTING, FOR CROWN OR CROWN/ROOT DAMAGE, OR PROPAGATION, CONTAINING NO RESPONSIBILITY FOR MAINTAINING PLUMBNESS IN PLANTING, FOR CROWN OR CROWN/ROOT DAMAGE, OR PROPAGATION, CONTAINING NO RESPONSIBILITY FOR MAINTAINING PLUMBNESS IN PLANTING, FOR CROWN OR CROWN/ROOT DAMAGE.
3. UPON RECEIPT OF ANY DEFICIENCY IN THE QUALITY OF THE LANDSCAPE AND/OR HYDROLOGIC OBSERVATIONS OF "OUTPOST" (SEE THE ROCK HOLE AND THE "OUTPOST" MAP) AND/OR THE "OUTPOST" (SEE THE ROCK HOLE AND THE "OUTPOST" MAP) AND/OR THE "OUTPOST" (SEE THE ROCK HOLE AND THE "OUTPOST" MAP).
4. CONTRACTOR SHALL BE RESPONSIBLE FOR LANDSCAPE AND/OR HYDROLOGIC OBSERVATIONS OF "OUTPOST" (SEE THE ROCK HOLE AND THE "OUTPOST" MAP) AND/OR THE "OUTPOST" (SEE THE ROCK HOLE AND THE "OUTPOST" MAP) AND/OR THE "OUTPOST" (SEE THE ROCK HOLE AND THE "OUTPOST" MAP).
5. AREAS DISTURBED BY CONSTRUCTION ACTIVITIES SHALL RECEIVE A "LEVEL AND LOTS" AS SHOWN IN THE FOLLOWING: DISTURBED AREAS TO BE RECOVERED TO THE ORIGINAL CONDITION.
6. COORDINATE LOCATION OF "VEGETATION WITH" UNDERGROUND AND/OR SURFACE UTILITIES (ELECTRIC, FIBER, GAS, WATER, AND SEWER). CONTRACTOR SHALL STATE THE LOCATION OF "VEGETATION WITH" UNDERGROUND AND/OR SURFACE UTILITIES (ELECTRIC, FIBER, GAS, WATER, AND SEWER). CONTRACTOR SHALL STATE THE LOCATION OF "VEGETATION WITH" UNDERGROUND AND/OR SURFACE UTILITIES (ELECTRIC, FIBER, GAS, WATER, AND SEWER).
7. ALL PLANT MATERIALS SHALL BE WATERED AND MAINTAINED UNTIL "ACCEPTANCE".
8. RETAIN AT LEAST 10% OF THE "VEGETATION WITH" UNDERGROUND AND/OR SURFACE UTILITIES (ELECTRIC, FIBER, GAS, WATER, AND SEWER). CONTRACTOR SHALL STATE THE LOCATION OF "VEGETATION WITH" UNDERGROUND AND/OR SURFACE UTILITIES (ELECTRIC, FIBER, GAS, WATER, AND SEWER).
9. INSURE AND MAINTAIN ALL PLANTING SURFACES FREE OF DEBRIS DURING CONSTRUCTION AND LANDSCAPE CONTRACTOR'S ACTIVITIES.
10. PROVIDE: SITE, BUDGET, BUDGET, BUDGET, AND INSTALLATION. SYSTEM SHALL BE FULLY PROGRAMMABLE SYSTEM CAPABLE OF ALTERNATE DATA WITHIN THE SYSTEM SHALL PROVIDE THE NEAR TO THE "VEGETATION WITH" UNDERGROUND AND/OR SURFACE UTILITIES (ELECTRIC, FIBER, GAS, WATER, AND SEWER). CONTRACTOR SHALL STATE THE LOCATION OF "VEGETATION WITH" UNDERGROUND AND/OR SURFACE UTILITIES (ELECTRIC, FIBER, GAS, WATER, AND SEWER).
11. CONTRACTOR SHALL SECURE APPROVAL OF "PROPOSED REGISTRATION SYSTEM" DURING PROCEEDING FROM OWNER, PRIOR TO INSTALLATION.

LANDSCAPE CALCULATIONS:

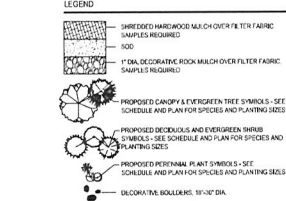
PROPOSED LANDSCAPE

1. **COVER** / 100 LF OF SITE PERMETER
911 LF / 200 = 0.1 TREES REQUIRED
SEE PLANT SCHEDULE
* 1.5 = 1.7
2. **CONIFEROUS** TREE / 200 LF OF SITE PERMETER
911 LF / 200 = 4.6 TREES REQUIRED
SEE PLANT SCHEDULE
* 1.5 = 6.8
3. **ORNAMENTAL** TREE / 200 LF OF SITE PERMETER
911 LF / 200 = 4.6 TREES REQUIRED
SEE PLANT SCHEDULE
* 1.5 = 6.8
4. **SHRUB** / 40 LF OF SITE PERMETER
911 LF / 30 = 30.4 TREES REQUIRED
SEE PLANT SCHEDULE
* 1.5 = 45.6

LANDSCAPE AREA TABLE:

Total Site Area	53,325	SF
Diversified Landscape (lawn)	2,666	SF

*City requires at least 5% of the site shall have diversified landscaping.
5.5% > 5.0%, REQUIREMENT SATISFIED

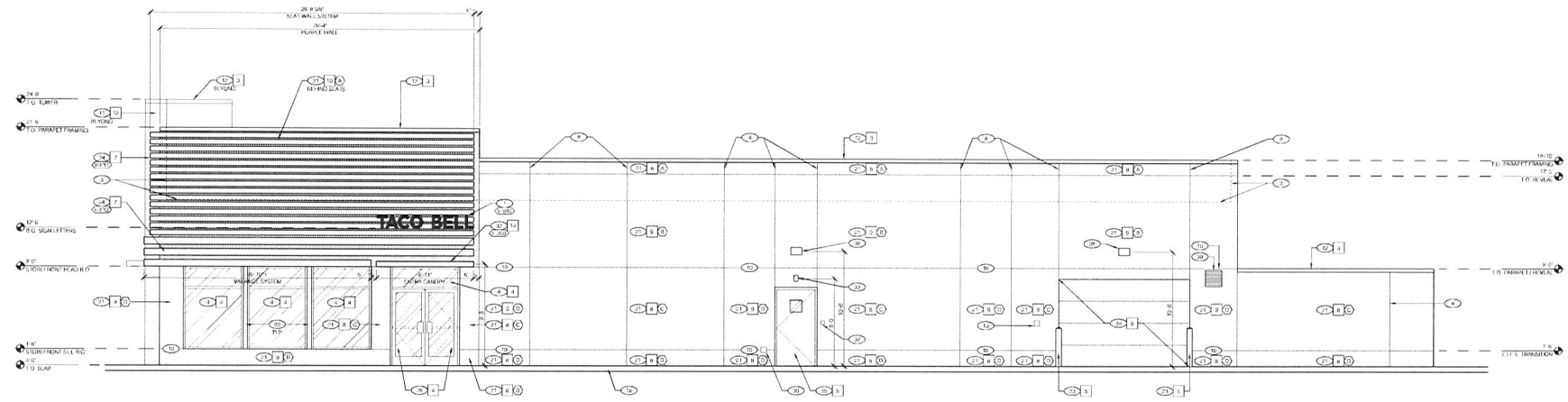


GOPHER STATE ONE CALL
WWW.GOPHERSTATEONECALL.ORG
(800) 252-1166 TOLL FREE
(651) 454-0002 LOCAL

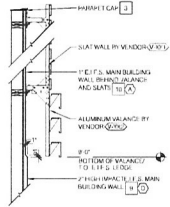




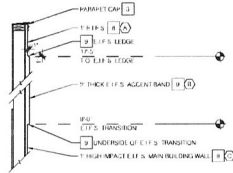
11665 ULYSSES LANE
BLAINE, MINNESOTA 55434



1 $1/4" = 1'-0"$ **WEST ELEVATION**



2	1/2" x 1/4" SLAT WALL COLOR TRANSITION
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E.I.F.S. THICKNESS COLOR TRANSITION

MODEL ASSUMPTIONS:

- 1. SUE STREET AND WINDOW TYPE IS FOR WINDOW ELEVATIONS
- 2. U.P.S TEXTURE TO BE QUARTZ PUTZ

LEADING (REFER TO SPECIFICATIONS):

- 1. SUEWAY AT ALL WALL AND FLOOR JOINTS FINISHES
- 2. SUEWAY AT ALL WINDOW AND DOOR FRAME AT HEAD AND JAMB TO NOT BE SEAL AT WINDOW
- 3. ACRYLIC ORIENT GLASS (ELECTRICALLY HEAT TINTED HURDING AND CANOPY)

CRITICAL DESIGN ISSUES:

- 1. TO BE ADDED A CLEAR OPENING WIDTH TO ENSURE COORDINATION WITH STANDARD DOORWAY
- 2. BUILDING ELEMENTS DIMENSIONS

NOTE: AND EXTENSION ISSUES ARE WITHIN THE SCOPE OF WORK COVERED BY THE BUILDING PERMIT APPLICATION. THE UNPAID CONTRACTING FIRM, IF RESPONDED FOR COORDINATING THE INSTALLATION OF THE BUILDING AND ITS ACCESSIBILITY, IS REQUIRED TO DEVELOP AND TEST CRITICAL CONNECTIONS TO FINAL APPROVAL BY THE CITY.

GENERAL NOTES

[illegible]

CANOPY AND BUILDING ACCENT SCHEDULE

[illegible]

SIGN SCHEDULE

SYMBOL	AREA	MANUFACTURER	COLOR	CONTACT INFORMATION
[1]	NOT USED			
[2]	NOT USED			
[3]	PARADE CH	FIRESTONE LINCOLN	DARK BRONZE 32	
[4]	STORMHUNT BRIDGES	IBO	CLEAR/ANODIZED ALUMINUM	
[5]	PPE COLLARED	STREET SMART	YELLOW - 1/4" THICK PLASTIC COVERS FOR SWAN COME OR COL	
[6]	NOT USED			
[7]	SEAT WALL AND WALLACE COLOR	VENOF	SWAN 1" STATUE BRONZE (EQUAL)	
[8]	MAIN BUILDING COLOR (E/F 5)	CHERRY HILL	SUNSET TANGAPE (EAPY)	
[9]	ACCENT COLOR (E/F 5)	CHERRY HILL	SUNSET TANGAPE (EAPY)	
[10]	WALL COLOR BEHIND SCREEN WALL (E/F 5)	CHERRY HILL	SUNSET TANGAPE (EAPY)	
[11]	NOT USED			
[12]	METAL PANELS	WESTERN STATES METAL ROOFING	16 ANCH 4 RAIL WALL PANELS	
[13]	NOT USED			
[14]	CANOPY CUSH	VENOF	SWAN 1" STATUE BRONZE (EQUAL)	

EXTERIOR FINISH SCHEDULE

(A) BASE THICKNESS - 1" THICK E I F S
(B) BASE THICKNESS - 2" THICK E I F S
(C) BASE THICKNESS - 1" THICK E I F S
WITH HIGH IMPACT MESH (ONLY
WHERE NOTED)
(D) BASE THICKNESS - 2" THICK E I F S
WITH HIGH IMPACT MESH (ONLY
WHERE NOTED)

E.I.F.S. SCHEDULE

- | | |
|---|--|
| 1) BUILDING HIGH BY VENDOR. REQUIRE ELECTRICAL. SEE ELECTRICAL PLANS. | 12) CONDUITE CURVE SEE CIVIL PLANS. |
| 2) DRAIN-HIGH WINDOW. (SEE SHEET A-60 AND A-61) | 13) NOT USED |
| 3) DASHED LINE INDICATES ROOF REVISION | 14) INFER METAL COVER ON WOOD STUDS TO MATCH EXISTING. SEE S-16A1 |
| 4) ALUMINUM SCREENED SYSTEM TYPICAL | 15) C.I.T.S. TYPICAL |
| 5) NOT USED | 16) NOT USED |
| 6) UNMATCHED PAINT TO MATCH WALL | 17) POLYURETH. SEE DETAIL W-101 |
| 7) NOT USED | 18) LEAKY VALANCE BUILT IN |
| 8) EXTERIOR PANEL JOINT WITH BACKER ROD AND LEAK-PROT RESISTANT FLIGHT WITH WELDED COUPLER (SEE DETAIL L-102) | 19) NOT USED |
| 9) ASHUM DOWNSIDE DRAIN LEAKAGE BAY BELOW ROOF. FIREPROOFING REFER TO GRANULATED INSULATION SYSTEM | 20) NOT USED |
| 10) 1/2" V-GROOVE. V-GROOVE REMAIN | 21) FINISHES INTERIOR RECESSED PANEL. SEAL AIR AND WEATHER TIGHT TO WALL WITH SOLANT TO MATCH LEAKAGE EXTERIOR WALL. (SEE S-1) |
| 11) DOWNHILL FROM BAL. PLANE. HIGH HIGH DRY BY FULL CATION | 22) NOT USED |
| 12) DOWNHILL FROM BAL. PLANE. HIGH HIGH DRY BY FULL CATION | 23) LATCH FRONT DOWN. REFER TO DOOR SCHEDULE ON SHEET A-60 |
| 13) DOWNHILL FROM BAL. PLANE. HIGH HIGH DRY BY FULL CATION | 24) HAZEL BUSH. LOCATION. REFER TO PLUMBING AND DETAIL T-10A2 |
| 14) C-FLYER. PLATE AND GROUND. SEE DETAIL A-60 | 25) NOT USED |
| 15) NOT USED | 26) DOWNHILL FROM BAL. PLANE. HIGH HIGH DRY BY FULL CATION |
| 16) G-1. SEE DETAIL. NOT USED | 27) EMERGENCY LIGHT. LOCATED WITH BATTERY BACK UP. SEE ELECTRICAL DRAWINGS |
| 17) WALL SHALL BE FINISHED PRIOR TO INSTALLATION OF DOWNHILL CLEAR | |
| 18) DOWNHILL FROM BAL. PLANE. HIGH HIGH DRY BY FULL CATION | |

EXTERIOR ELEVATION KEY NOTES

- [illegible]

PRELIMINARY -
NOT FOR
CONSTRUCTION

EXTERIOR ELEVATIONS

A300

1/4" = 1' 0" NORTH ELEVATION

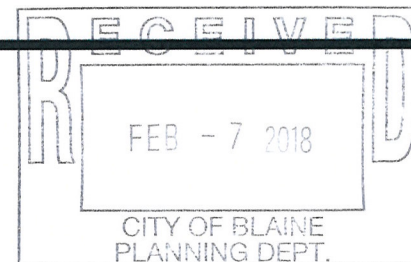


Perspective 1

01.26.2018

finn daniels
ARCHITECTS

Blaine
11665 Ulysses Lane
Blaine, Minnesota





Perspective 2

01.26.2018

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Blaine
11665 Ulysses Lane
Blaine, Minnesota





Perspective 3

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Perspective 4

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Perspective 5

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Perspective 6

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Blaine, Minnesota

