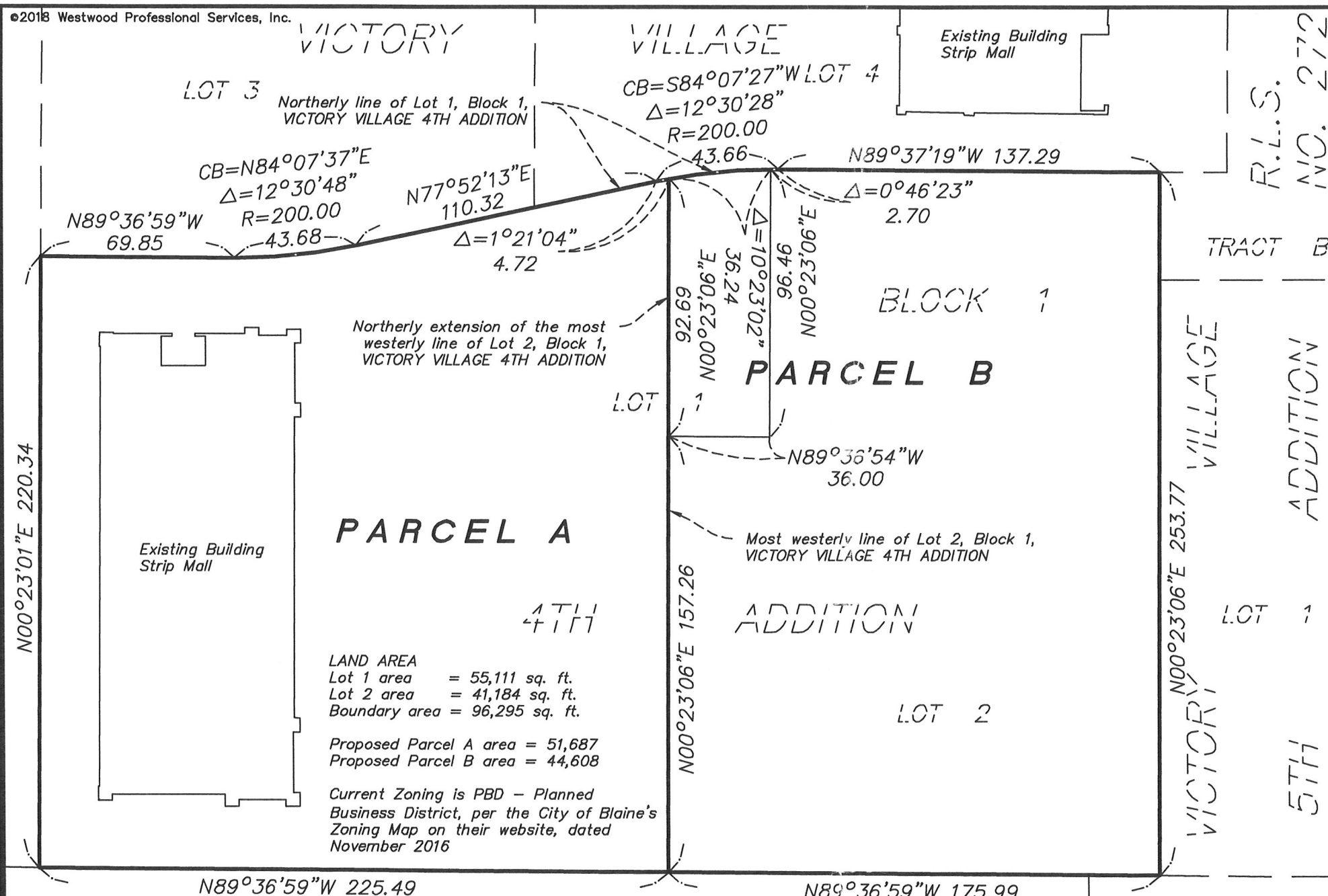


Case File No. 18-0010
Panera Bread

Blaine Planning Department / 10801 Town Square Dr NE / Blaine, MN 55449 / (763) 785-6180





Existing Property Description

Lot 1 and Lot 2, Block 1, VICTORY VILLAGE 4TH ADDITION, according to the recorded plat thereof, Anoka County, Minnesota.

Proposed Parcel A Property Description

Lot 1, Block 1, VICTORY VILLAGE 4TH ADDITION, according to the recorded plat thereof, Anoka County, Minnesota, EXCEPTING THEREFROM, that part of said Lot 1 lying easterly of the northerly extension of the most westerly line of Lot 2, said Block 1, VICTORY VILLAGE 4TH ADDITION.

Proposed Parcel B Property Description

Lot 2, Block 1, VICTORY VILLAGE 4TH ADDITION, according to the recorded plat thereof, Anoka County, Minnesota, TOGETHER WITH, that part of Lot 1, said Block 1, VICTORY VILLAGE 4TH ADDITION lying easterly of the northerly extension of the most westerly line of said Lot 2.

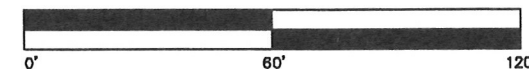
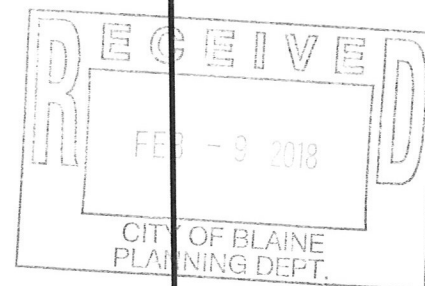
I hereby certify that this survey was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota.

Craig W. Morse

01/16/18

Craig W. Morse, R.L.S.
 License No. 23021

Date



Date: 01/16/18 Sheet: 1 OF 1
 0013669CTF01.dwg

Westwood

Phone (852) 937-6150 7699 Anagram Drive
 Fax (852) 937-6822 Eden Prairie, MN 55344
 Toll Free (888) 937-6150 westwoodps.com
 Westwood Professional Services, Inc.

Drawn: CWM
 Checked: CWM
 Design: BTW
 Record Drawing by/dtm

Prepared for:

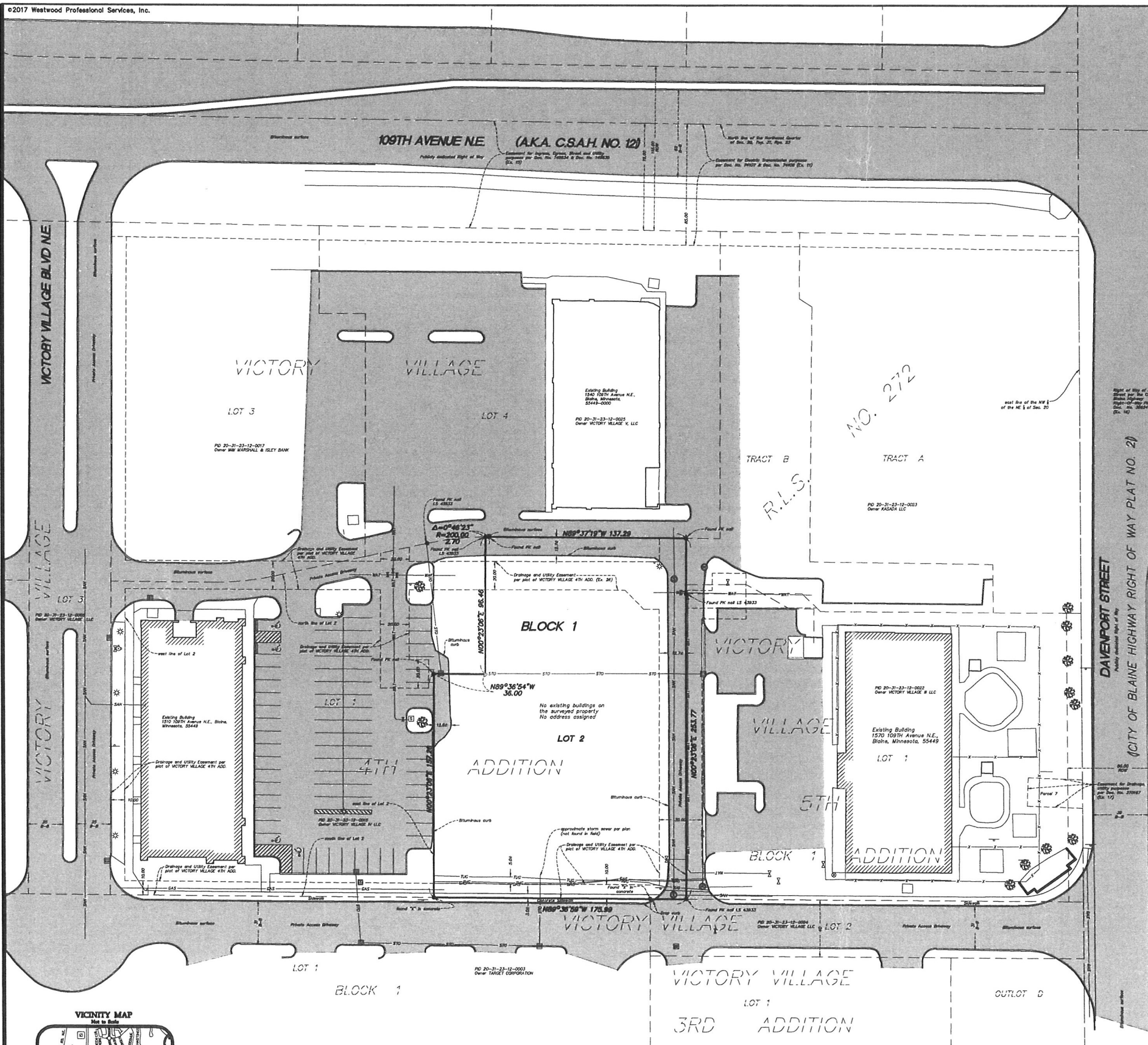
CHI Engineering Associates, Inc.

2025 Centre Pointe Boulevard
 Mendota Heights, MN

Victory Village

Blaine, Minnesota

Certificate of Survey



Legend

○ BUSH/SHRUB	⊙ STORM MANHOLE	⊙ HANDICAPPED STALL	⊙ WATER METER	⊙ SANITARY MANHOLE	—P— POWER UNDERGROUND
● CONIFEROUS TREE	□ TELEPHONE BOX	⊙ PERC TEST	⊙ CURB STOP BOX	—S— SANITARY SEWER	—C— CURE & CUTTER
● DECIDUOUS TREE	⊙ TELEPHONE MANHOLE	⊙ MONITORING WELL	⊙ WATER MANHOLE	⊙ BEEHIVE CATCH BASIN	—S— STORM SEWER
■ WETLAND	⊙ CABLE TV BOX	⊙ CATCH BASIN	⊙ WELL	⊙ CATCH BASIN	—T— TELEPHONE OVERHEAD
● STEEL/WOOD POST	⊙ HAND HOLE	⊙ GAS METER	⊙ ELECTRIC BOX	⊙ FLARED END SECTION	—T— TELEPHONE UNDERGROUND
— SIGN-TRAFFIC/OTHER	⊙ TRAFFIC LIGHT	⊙ STREET LIGHT	⊙ ELECTRIC METER	⊙ CULVERT	—W— WATERMAIN
— SIGN-TRAFFIC/OTHER	⊙ GATE VALVE	⊙ GUY WIRE	⊙ ELECTRIC MANHOLE	⊙ GAS LINE	—F— FENCE LINE
■ MAIL BOX	⊙ HYDRANT	⊙ POWER POLE	⊙ ELECTRIC TOWER	⊙ POWER OVERHEAD	—D— DECIDUOUS TREE LINE

Property Description

Property description per First American Title Insurance Company Title Commitment Number NCS-876118-MPLS

(PROPOSED—Final legal description to be prepared by a licensed land surveyor)

A portion of Lot 1, Block 1, Victory Village 4th Addition and all of Lot 2, Block 1, Victory Village 4th Addition, Anoka County, Minnesota, being parts of the following:

Parcel 1:

Lot 1, Block 1, Victory Village 4th Addition, Anoka County, Minnesota.

Torrens Property-Certificate of Title No. 114331

Parcel 2:

Lot 2, Block 1, Victory Village 4th Addition, Anoka County, Minnesota.

Torrens Property-Certificate of Title No. 132788

Parcel 3:

Appurtenant non-exclusive easements for ingress, egress, parking and utility purposes as contained in the Operation and Easement Agreement recorded as Document No. 409247 in the office of the Registrar of Titles, Anoka County, Minnesota, as amended.

Parcel 4:

Appurtenant non-exclusive easements for ingress, egress, parking and utility purposes as contained in the Outlot B Declaration of Easements, Restrictions and Covenants recorded as Document No. 486174.001 in the office of the Registrar of Titles, Anoka County, Minnesota.

Notes

- This survey was prepared using First American Title Insurance Company Title Commitment Number NCS-876118-MPLS having an effective date of October 20, 2017 at 7:30 A.M.
- Subject property appears to be classified as Zone X when scaled from Flood Insurance Rate Map Community - Parcel Number 270030336C dated December 16, 2016.
- Parcel 2, Lot 2, Block 1 contains 41,184 sq. ft. or 0.945 acres.
- No zoning information provided by client at time of survey.
- Subject property contains no parking stalls.
- The underground utilities shown have been located from field survey information and existing drawings. The surveyor makes no guarantee that the underground utilities shown comprise all such utilities in the area, either in service or abandoned. The surveyor further does not warrant that the underground utilities shown are in the exact location indicated although he does certify that they are located as accurately as possible from information available. The surveyor has not physically located the underground utilities. (Gopher State One Call Ticket No. 172782491).
- Adjoining owners shown per Anoka County parcel website.
- Westwood Professional Services, Inc. was not provided adjacent deeds.
- The bearings shown on this survey are based on the Anoka County Coordinate System.
- The following notes correspond to the numbering system of Schedule B of the above mentioned title commitment.
- Easement for public highway purposes in favor of the State of Minnesota as shown as a recital on the Certificate of Title.
- As effected by Outlot B Declaration of Easements, Restrictions and Covenants recorded as Document No. 409247, dated February 14, 2002, recorded September 16, 2002 as Document No. 406760. LIES ON SUBJECT PROPERTY, BLANKET IN NATURE, NOT GRAPHICALLY SHOWN.
- Easement for highway purposes together with incidental rights including the right of access in favor of the State of Minnesota as contained in the Final Certificate dated November 5, 1956, recorded February 18, 1957, as Document No. 24452. (As to Parcels 1 and 2) LIES ON SUBJECT PROPERTY, BLANKET IN NATURE, NOT GRAPHICALLY SHOWN.
- Limitation of access rights to Trunk Highway No. 65 (Central Avenue Northeast) as contained in the Final Certificate dated November 5, 1956, recorded February 18, 1957, as Document No. 24452 and the Final Certificate dated August 2, 1965, recorded August 27, 1965, as Document No. 52513. (As to Parcels 1 and 2) LIES ON SUBJECT PROPERTY, BLANKET IN NATURE, NOT GRAPHICALLY SHOWN.
- Easement for electric transmission purposes together with incidental rights in favor of the Rural Cooperative Power Association, a Minnesota cooperative association, as contained in the Easement dated January 2, 1962, recorded April 7, 1962, as Document No. 74125, as modified by the Partial Release of Easement dated March 30, 1972, recorded April 7, 1972, as Document No. 74130. (As to Parcels 1 and 2) DOES NOT LIE ON SUBJECT PROPERTY, LIES ON LOT 1, BLOCK 1, VICTORY VILLAGE AND LOT 1 & 3, BLOCK 1, VICTORY VILLAGE 4TH ADDITION, NOT GRAPHICALLY SHOWN.
- Easement for electric transmission purposes together with incidental rights in favor of the Rural Cooperative Power Association, a Minnesota cooperative association, as contained in the Easement dated January 2, 1962, recorded April 7, 1962, as Document No. 74125, as modified by the Partial Release of Easement dated March 30, 1972, recorded April 7, 1972, as Document No. 74130. (As to Parcels 1 and 2) DOES NOT LIE ON SUBJECT PROPERTY, LIES ON LOT 1, BLOCK 1, VICTORY VILLAGE AND LOT 1 & 3, BLOCK 1, VICTORY VILLAGE 4TH ADDITION, NOT GRAPHICALLY SHOWN.
- Easement for underground cable purposes together with incidental rights including the right of access in favor of United Power Association as contained in the Easement dated March 22, 1979, recorded March 22, 1979, as Document No. 104199. (As to Parcels 1 and 2) DOES NOT LIE ON SUBJECT PROPERTY, LIES ON LOT 1, BLOCK 1, VICTORY VILLAGE 4TH ADDITION.
- Easement for street, utility, drainage, ingress and egress purposes in favor of the City of Blaine as contained in the Easement dated June 25, 1979, recorded August 9, 1979, as Document No. 106013. (As to Parcels 1 and 2) DOES NOT LIE ON SUBJECT PROPERTY, LIES ON LOT 1, BLOCK 1, VICTORY VILLAGE, NOT GRAPHICALLY SHOWN.
- Easement for ingress, egress, street and utility purposes in favor of the City of Blaine as contained in the Grant of Permanent Easement dated February 17, 1984, recorded March 25, 1984, as Document No. 146546, as modified by the Outlot B Declaration of Easements, Restrictions and Covenants recorded as Document No. 409247, dated February 14, 2002, recorded September 16, 2002 as Document No. 406760. (As to Parcels 1 and 2) DOES NOT LIE ON SUBJECT PROPERTY, LIES IN THE RIGHT OF WAY OF 109TH AVENUE, AS SHOWN HEREON.
- City of Blaine Highway Right-Of-Way Plat No. 2, dated August 14, 2000, recorded February 7, 2001, as Document No. 356247. (As to Parcels 1 and 2) DOES NOT LIE ON SUBJECT PROPERTY, RIGHT OF WAY OF DAVENPORT STREET, AS SHOWN HEREON.
- Easement for drainage, utility and temporary construction purposes in favor of the City of Blaine dated March 5, 2001, recorded April 23, 2001, as Document No. 370167. (As to Parcels 1 and 2) DOES NOT LIE ON SUBJECT PROPERTY, LIES ON LOT 1, BLOCK 1, VICTORY VILLAGE 4TH ADDITION, AS SHOWN HEREON.
- Rights of the United States of America and/or the State of Minnesota, the county, the municipality, and the public, in and to that part of the land which may be within ditches and easements. (As to Parcels 1 and 2) MAY OR MAY NOT LIE ON SUBJECT PROPERTY, THE SURVEYOR DOES NOT HAVE SUFFICIENT INFORMATION TO MAKE A DETERMINATION REGARDING THE EXISTENCE OF WETLANDS, HOWEVER THERE IS NO APPARENT EVIDENCE OF WETLANDS LOCATED ON THE SUBJECT PROPERTY ACCORDING TO THE U.S. FISH AND WILDLIFE SERVICE NATIONAL WETLANDS INVENTORY LOCATED AT [WWW.FWS.GOV/WETLANDS](http://www.fws.gov/wetlands), NO WETLAND DELINEATION HAS BEEN CONDUCTED IN THE PROCESS OF CONDUCTING THE SURVEY.
- Terms and conditions of Development Control by and between the City of Blaine, a Minnesota municipal corporation, and Victory Village, LLC, a Minnesota corporation, dated October 10, 2002, recorded October 14, 2002, as Document No. 409240, as amended by the Assignment of Development Control by and between the City of Blaine, a Minnesota municipal corporation, and Victory Village, LLC, a Minnesota limited liability company, and U.S. Bank National Association, a national banking association, dated October 10, 2002, recorded October 14, 2002, as Document No. 409241. (As to Parcel 2) LIES ON SUBJECT PROPERTY, BLANKET IN NATURE, NOT GRAPHICALLY SHOWN.
- Terms and conditions of the Operating and Easement Agreement between Torgal Corporation, a Minnesota corporation, and Victory Village, LLC, a Minnesota limited liability company, dated October 10, 2002, recorded October 14, 2002, as Document No. 409242. LIES ON SUBJECT PROPERTY, BLANKET IN NATURE, NOT GRAPHICALLY SHOWN.
- Amended by First Amendment to Operating and Easement Agreement dated August 23, 2018, recorded August 24, 2018 as Document No. 541397.001. (As to Parcels 1 and 2) LIES ON SUBJECT PROPERTY, BLANKET IN NATURE, NOT GRAPHICALLY SHOWN.
- Utility and drainage easements as limitations on access to Central Avenue (Trunk Highway 65), all as shown on the plot of Victory Village, recorded October 14, 2002, as Document No. 409240. (As to Parcels 1 and 2) LIES ON SUBJECT PROPERTY, NO DRAINAGE AND UTILITY EASEMENTS ON ACCESS TO CENTRAL AVENUE ON SUBJECT PROPERTY, DRAINAGE AND UTILITY EASEMENTS AND ACCESS TO CENTRAL AVENUE LIE ON ADJACENT PROPERTY.
- Terms and conditions of the Declaration of Restrictive Covenant between Victory Village, LLC and Fawcett, Inc., dated August 8, 2003, recorded August 11, 2003, as Document No. 440911. (As to Parcels 1 and 2) LIES ON SUBJECT PROPERTY, BLANKET IN NATURE, NOT GRAPHICALLY SHOWN.
- Lease in favor of Child's of Minnesota, Inc., dated April 12, 2004, recorded April 20, 2004, as Document No. 464283. (As to Parcels 1 and 2) LIES ON SUBJECT PROPERTY, BLANKET IN NATURE, NOT GRAPHICALLY SHOWN.
- Conditions contained in City of Blaine Resolution No. 04-106, recorded October 26, 2004, as Document No. 479738. (As to Parcels 1 and 2) LIES ON SUBJECT PROPERTY, BLANKET IN NATURE, NOT GRAPHICALLY SHOWN.
- Terms and conditions, including easements, as contained in the Outlot B Declaration of Easements, Restrictions and Covenants, dated January 18, 2006, recorded January 23, 2006, as Document No. 486174.001. (As to Parcels 1 and 2) LIES ON SUBJECT PROPERTY, BLANKET IN NATURE, NOT GRAPHICALLY SHOWN.
- Utility and drainage easements as shown on the plot of Victory Village 4th Addition, recorded January 23, 2006, as Document No. 486174.002. (As to Parcels 1 and 2) LIES ON SUBJECT PROPERTY, AS SHOWN HEREON.
- Terms and conditions of the Declaration of Restrictive Covenant between Victory Village, LLC and M.M. Marshall & Betsy Bank, dated January 18, 2006, recorded January 23, 2006, as Document No. 486174.003. (As to Parcels 1 and 2) LIES ON SUBJECT PROPERTY, BLANKET IN NATURE, NOT GRAPHICALLY SHOWN.
- Conditions contained in Resolution No. 08-84 by the City of Blaine, dated June 5, 2008, recorded July 7, 2008, as Document No. 485542.009. (As to Parcel 1) DOES NOT LIE ON LOT 2, BLOCK 1, VICTORY VILLAGE 4TH ADDITION, LIES ON LOT 1, BLOCK 1, VICTORY VILLAGE 4TH ADDITION, BLANKET IN NATURE, NOT GRAPHICALLY SHOWN.
- Conditions contained in the Resolution No. 11-44 by the City of Blaine, dated May 5, 2011, recorded June 13, 2011, as Document No. 504967.007. (As to Parcel 2) DOES NOT LIE ON SUBJECT PROPERTY, LIES ON LOT 4, BLOCK 1, VICTORY VILLAGE 4TH ADDITION, BLANKET IN NATURE, NOT GRAPHICALLY SHOWN.
- Conditions contained in the Resolution No. 12-075 by the City of Blaine, dated June 7, 2012, recorded June 22, 2012, as Document No. 509133.005. (As to Parcel 2) DOES NOT LIE ON SUBJECT PROPERTY, LIES ON LOT 4, BLOCK 1, VICTORY VILLAGE 4TH ADDITION, BLANKET IN NATURE, NOT GRAPHICALLY SHOWN.
- Combination Mortgage, Assignment of Rents, Security Agreement and Future Financing Statement executed by Victory Village IV, LLC to Associated Bank, National Association, dated December 18, 2008, recorded December 23, 2008, as Document No. 49837.008, securing the original amount of \$5,000,000.00, and any other amounts which may become due and payable under the terms thereof. Above Combination Mortgage, Assignment of Rents, Security Agreement and Future Financing Statement was modified by Loan Modification Agreement, dated December 16, 2011, recorded January 31, 2012, as Document No. 507034.001. NOT A SURVEY ISSUE.
- Above Combination Mortgage, Assignment of Rents, Security Agreement and Future Financing Statement was further modified by Second Loan Modification Agreement dated December 21, 2012, recorded January 9, 2013, as Document No. 512944.007.
- Amended and Restated Combination Mortgage, Assignment of Rents, Security Agreement and Future Financing Statement, executed by Victory Village IV, LLC, a Minnesota limited liability company, Victory Village IV, LLC, a Delaware limited liability company, as mortgagee, to Associated Bank, National Association, as mortgagee, dated December 15, 2014 recorded December 23, 2014 as Document No. 527504.003, in the Office of the Anoka Registrar of Titles, securing the original amount of \$1,500,000.00. (As to Parcel 2)
- Cross-Collateralization Agreement dated December 21, 2012, recorded January 9, 2013, as Document No. 512944.008, by and among Associated Bank, National Association, a national banking association, Victory Village, LLC, a Minnesota limited liability company, Victory Village IV, LLC, a Minnesota limited liability company, and Victory Village IV, LLC, a Delaware limited liability company. (As to Parcels 1 and 2) NOT A SURVEY ISSUE.
- Amended and Restated Cross-Collateralization Agreement dated May 21, 2013, recorded May 23, 2013, as Document No. 516030.005, by and among Associated Bank, National Association, a national banking association, Victory Village, LLC, a Minnesota limited liability company, Victory Village IV, LLC, a Minnesota limited liability company, Victory Village IV, LLC, a Delaware limited liability company and Victory Village IV, LLC, a Delaware limited liability company. (As to Parcel 2)
- Note: The above Document references Mortgage Document No. 496937.008 and others. Document No. 516030.005 has been memorialized only on the Certificate of Title for Parcel 2.
- Lease dated December 13, 2012, as amended on March 19, 2013, between Victory Village V, LLC, a Delaware limited liability company and Victory Village, LLC, a Minnesota limited liability company (collectively, "Landlord") and Blazin' Wings, Inc., a Minnesota corporation ("Tenant"), which is evidenced by Memorandum of Lease dated May 21, 2013, recorded August 16, 2013, as Document No. 518251.001. NOT A SURVEY ISSUE.
- Affected by First Amendment to Memorandum of Lease dated December 7, 2015, recorded December 21, 2015 as Document No. 535516.001 and the terms and conditions therein. (As to Parcels 1 and 2)

Surveyor's Certificate

To Victory Village IV, LLC, a Delaware limited liability company, Victory Village, LLC, a Minnesota limited liability company, Panera, LLC, a Delaware limited liability company and First American Title Insurance Company.

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2016 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes items 1, 2, 3, 4, 6(a), 6(b), 7(a), 7(c), 8, 9, 11, and 13 of Table A thereof. The fieldwork was completed on October 13, 2017.

Craig W. Morse
Minnesota License No. 23021
craig.morse@westwoodps.com

11/13/2017

Date

Victory
Village

ALTA/NSPS
Land Title Survey

Date 11/13/2017 Sheet 1 OF 1

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Westwood

Phone (652) 857-5180 7909 Annapolis Drive
Fax (652) 857-5222 Eden Prairie, MN 55344
Web (652) 857-5180 westwoodps.com
Westwood Professional Services, Inc.

Revisions

Drawn JAG
Checked CWM
Designed BYW
Best Drawing by Date

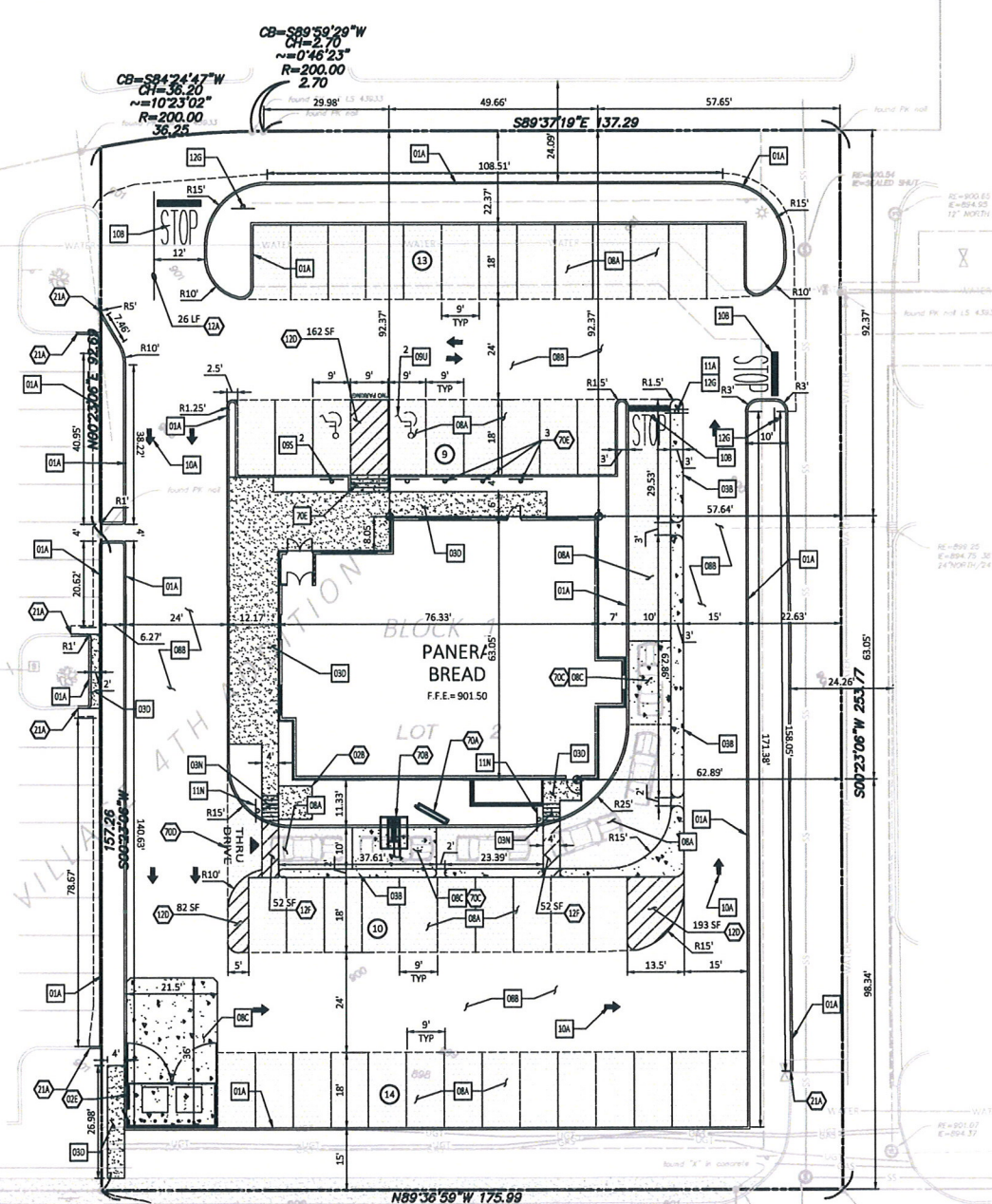
Prepared for:

CEI Engineering Associates, Inc.

2025 Centre Pointe Boulevard
Mendota Heights, MN

30439.DWG 30439-SP.dwg LAST SAVED BY: J. AUGUSTINE LOCATION: P:\30000\30439\Drawings\Design\Plan-1\30439-SP.dwg

VICTORY WILLYS

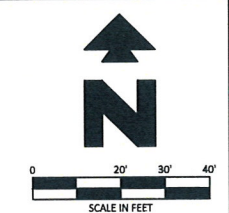


SITE BENCHMARK	
ELEVATIONS BASED ON HISTORICAL PROJECT RECORDS AND ADJACENT CONTROL POINT (GDS D.) (BENCHMARK CHANGED "T" AT THE SOUTHWEST PROPERTY CORNER, ELEVATION=900.92)	

SITE DATA TABLE	
TOTAL SITE AREA:	44,609 SF / 1.02 ACs
EXISTING SITE:	
IMPERVIOUS	6,599 SF / 0.15 ACs (14.8%)
PERVIOUS	38,010 SF / 0.87 ACs (85.2%)
PROPOSED SITE:	
IMPERVIOUS	37,285 SF / 0.85 ACs (83.6%)
PERVIOUS	7,324 SF / 0.17 ACs (16.4%)
REQUIRED PARKING:	1/100 SF (46 STALLS)
PROPOSED PARKING:	46 STALLS



NOTE:
SEE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF
PORCHES, RAMPS, VESTIBULE, SLOPED PAVING, TRUCK DOCKS, BUILDING
UTILITY ENTRANCE LOCATIONS AND PRECISE BUILDING DIMENSIONS.



EXISTING LEGEND		
FOUND MONUMENT	FILE DEPT. CONNECTION	UNDERGROUND ELECTRIC
SET 1/2" BORN PIPE	HYDRANT	UNDERGROUND CABLE TV
CABLE TV PEDESTAL	CURB STOP	UNDERGROUND FIBER OPTIC
AIR CONDITIONER	WATER WELL	UNDERGROUND TELEPHONE
ELECTRIC MANHOLE	WATER MANHOLE	OVERHEAD UTILITY
ELECTRIC METER	WATER METER	UNDERGROUND GAS
ELECTRIC PEDESTAL	POST INDICATOR VALVE	SANITARY SEWER
ELECTRIC TRANSFORMER	WATER VALVE	STORM SEWER
LIGHT POLE	ROLLARD	WATERMAIN
CITY WIRE	FLAG POLE	FENCE
POWER POLE	MAIL BOX	CURB (TYPICAL)
CAS MANHOLE	TRAFFIC SIGN	CONTOURS
CAL METER	UNKNOWN MANHOLE	
TELEPHONE MANHOLE	SOIL BORING	
SANITARY CLEANOUT	SPOT ELEVATION	
SANITARY MANHOLE	TRAFFIC SIGNAL	
CATCH BASIN	CONIFEROUS TREE	
STORM DRAIN	DECIDUOUS TREE	
FLARED END SECTION		
STORM MANHOLE		

- SITE NOTES**
- 02B TRANSFORMER PAD (PER ELEC. CO. AND/OR ARCH. PLANS).
 - 02E TRASH DUMPSTER ENCLOSURE (PER ARCH. PLANS).
 - 12A 4 INCH TRAFFIC YELLOW LANE STRIPE (SEE LENGTH INDICATED AT SYMBOL).
 - 12D 4 INCH WIDE PAINTED YELLOW STRIPES. 2.0 FOOT O.C. @ 45 DEGREES (SEE SIZE INDICATED AT SYMBOL).
 - 12F PEDESTRIAN CROSSING 4 INCH WIDE PAINTED YELLOW STRIPES. 2.0 FOOT O.C. @ 45 DEGREES (SEE SIZE INDICATED AT SYMBOL).
 - 21A TAPER CURB TO MATCH EXISTING CURB.
 - 21B TAPER CURB FROM 6 INCHES TO 0 INCHES OVER 2 FEET.
 - 70A MENU BOARD (PER ARCH. PLANS).
 - 70B MENU CANOPY (PER ARCH. PLANS).
 - 70C DETECTOR LOOP (PER ARCH. PLANS).
 - 70D DRIVE-THRU PAVEMENT MARKING (PER ARCH. PLANS).
 - 70E RAPID PICK-UP SIGN (PER ARCH. PLANS).

- SITE DETAILS**
- 01A TYPE A CONCRETE CURB AND GUTTER
 - 03B CONCRETE TRAFFIC ISLAND
 - 03D CONCRETE SIDEWALK
 - 03N WHEELCHAIR RAMP IN SIDEWALK (TYPICAL AT EACH DRIVEWAY CURB RETURN)
 - 08A STANDARD DUTY ASPHALT PAVING
 - 08B HEAVY DUTY ASPHALT PAVING
 - 08C HEAVY DUTY CONCRETE PAVING
 - 09S ACCESSIBLE / VAN ACCESSIBLE PARKING SIGN
 - 09U ACCESSIBLE PARKING SYMBOL
 - 10A TRAFFIC FLOW ARROW
 - 10B STOP BAR
 - 11A DO NOT ENTER SIGN
 - 11N PEDESTRIAN CROSSING SIGN
 - 12S STOP SIGN
 - 70E WHEELCHAIR RAMP IN SIDEWALK WITH SIDE CURB

- PROPOSED**
- PROPERTY LINE/RIGHT OF WAY LINE
 - CONCRETE CURB AND GUTTER. SEE DETAIL 01A/01B.
 - CURB INLET
 - BUILDING CONTROL POINT
 - PROPOSED PARKING SPACES
 - LIMITS OF SIDEWALKS AND CONCRETE APRONS (PER ARCH. PLANS)

- GENERAL SITE NOTES**
- A. ALL DIMENSIONS SHOWN ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
 - B. ALL CURB RETURN RADII SHALL BE 2' OR 10', AS SHOWN TYPICAL ON THIS PLAN, UNLESS OTHERWISE NOTED.
 - C. UNLESS OTHERWISE SHOWN, CALLED OUT OR SPECIFIED HEREON OR WITHIN THE SPECIFICATIONS: ALL CURB AND GUTTER ADJACENT TO ASPHALT PAVING SHALL BE INSTALLED PER DETAIL 01A. ALL CURBING ADJACENT TO CONCRETE PAVING SHALL BE INSTALLED PER DETAIL 01B. PAVEMENT SHALL BE INSTALLED IN ACCORDANCE WITH THE PAVING PLAN. ALL PARKING LOT STRIPING INCLUDING ACCESSIBLE AND VAN ACCESSIBLE SPACES SHALL BE PAINTED PER DETAILS 05B AND 09I.
 - D. ALL PARKING LOT SIGN BASE SUPPORTS SHALL BE INSTALLED PER DETAIL 12F.
 - E. ALL ACCESSIBLE PARKING STALLS SHALL HAVE SIGNAGE INSTALLED PER DETAIL 09S.
 - F. THE PAVING CONTRACTOR SHALL COORDINATE WITH THE LANDSCAPE AND IRRIGATION CONTRACTORS TO ENSURE ALL SLEEVING IS INSTALLED PRIOR TO PAVING.
 - G. ALL PAVING, SUBGRADE PREPARATION AND EARTHWORK OPERATIONS SHALL CONFORM TO THE RECOMMENDATIONS IN THE GEOTECHNICAL REPORT PROVIDED BY XXXXXXX. PROJECT NUMBER XXXXXX DATED XXXXXXXX.

30439	2/7/18	ALC	ALC	PAT	PAT
CEI PROJECT NO.	INITIAL DATE	DPOR	PM	DES	DRW

Engineering Associates, Inc.
ENGINEERS • PLANNERS • SURVEYORS
LANDSCAPE ARCHITECTS • ENVIRONMENTAL SCIENTISTS

2025 CENTRE POINTE BLVD., SUITE 210
MENDOTA HEIGHTS, MN 55120

PH: (651) 452-8960
(651) 452-1149

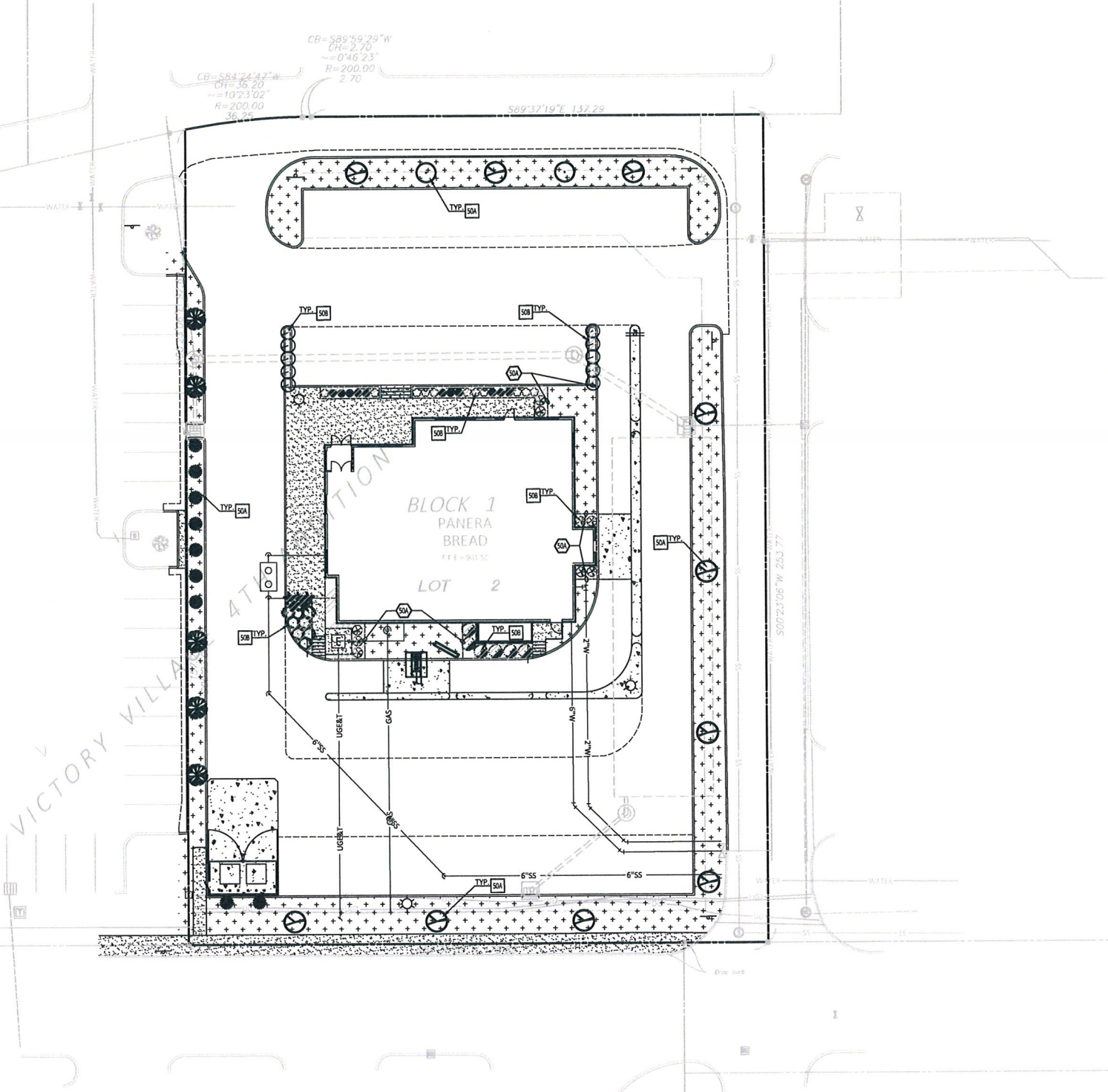
PANERA BREAD
1530 109TH AVE NE
BLAINE, MN

SITE PLAN

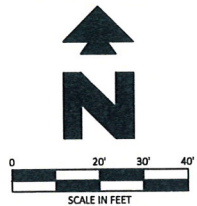
REV DATE	SHEET NO.
2/8/18	C2
REV-0	

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JOB # 30439 DRAWING: 30439-LP.dwg LAST SAVED BY: AUGUSTINE LOCATION: P:\30000\30439\01 Drawings\Design\30439-LP.dwg



SITE BENCHMARK
ELEVATIONS BASED ON HISTORICAL PROJECT RECORDS
AND KNOWN CONTROL POINT DATA
(BENCHMARK FOUND CHISELED "Y" AT THE SOUTHWEST
PROPERTY CORNER, ELEVATION 902.93)



NOTE:
SEE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF
PORCHES, RAMPS, VESTIBULE, SLOPED PAVING, TRUCK DOCKS, BUILDING
UTILITY ENTRANCE LOCATIONS AND PRECISE BUILDING DIMENSIONS.

LANDSCAPE CALCULATIONS

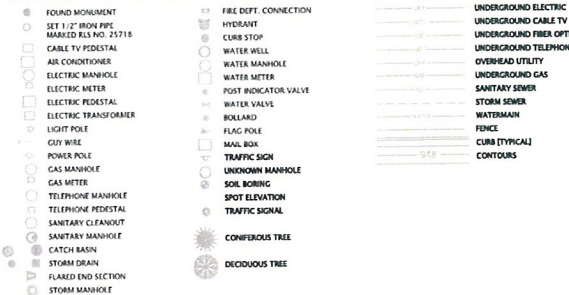
OVERSTORY DECIDUOUS SHADE TREES:
REQUIRED: 10 TREES
PROVIDED: 10 AUTUMN BLAZE MAPLE

CONFEROUS TREES:
REQUIRED: 0 TREES
PROVIDED: 9 FAT ALBERT BLUE SPRUCE





ORNAMENTAL TREES:
REQUIRED: 0 TREES
PROVIDED: 5 PRAIRIE FIRE CRABAPPLE
2 SNOWDRIFT CRABAPPLE

UNDERSTORY SHRUBS:
REQUIRED: 0 PLANTS
PROVIDED: 59 PLANTS

EXISTING LEGEND



TREE LIST

SYB	KEY	QTY	COMMON NAME/ BOTANICAL NAME	ROOT	SIZE	REMARKS
	PF	5	PRAIRIE FIRE CRABAPPLE <i>Malus x 'Prairifire'</i>	B&B	3" CAL.	PLANT AS SHOWN
	AB	10	AUTUMN BLAZE MAPLE <i>Acer x freemanii 'Jeffers'</i>	B&B	3" CAL.	PLANT AS SHOWN
	SC	2	SNOWDRIFT CRABAPPLE <i>Malus x 'Snowdrift'</i>	B&B	3" CAL.	PLANT AS SHOWN
	FA	9	FAT ALBERT BLUE SPRUCE <i>Picea pungens 'Fat Albert'</i>	B&B	6' HEIGHT	PLANT AS SHOWN
		26				

PROPOSED LEGEND



GENERAL LANDSCAPE NOTES

- LOCATE ALL UTILITIES AND SITE LIGHTING CONDUITS BEFORE LANDSCAPE CONSTRUCTION BEGINS.
- NOTIFY LANDSCAPE ARCHITECT OR DESIGNATED REPRESENTATIVE OF ANY LAYOUT DISCREPANCIES PRIOR TO ANY PLANTING.
- ALL LANDSCAPE MATERIALS SHALL BE IN COMPLIANCE WITH THE GRADES AND STANDARDS FOR NURSERY PLANTS, AND SHALL CONFORM TO Mn/DOT SPECIFICATIONS.
- ANY AREAS DISTURBED FOR ANY REASON PRIOR TO FINAL ACCEPTANCE OF THE PROJECT SHALL BE CORRECTED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- MAINTAIN 5' MIN. HORIZONTAL SEPARATION BETWEEN TREE PLANTINGS AND ALL UTILITIES.
- A FULLY DESIGNED IRRIGATION SYSTEM SHALL BE DESIGNED AND INSTALLED BY IRRIGATION CONTRACTOR. IRRIGATION DESIGNER SHALL BE RESPONSIBLE FOR SIZING AND SPECIFYING BACKFLOW PREVENTER IN ACCORDANCE WITH LOCAL CODES.
- CONFIRM HEALTH OF TREES IN THE EXISTING PARKING LOT ISLANDS, REPLACE AS NEEDED.








LANDSCAPE NOTES

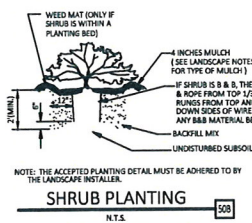
SOA STEEL EDGING.

LANDSCAPE DETAILS

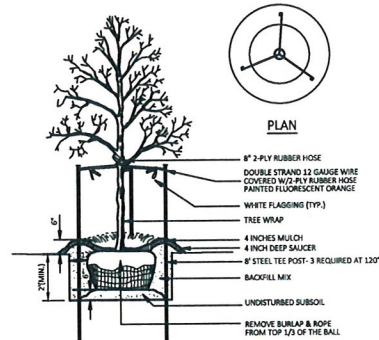
SOA TREE PLANTING
SOB SHRUB PLANTING

SHRUB LIST

SYB	KEY	QTY	COMMON NAME/ BOTANICAL NAME	ROOT	SIZE	REMARKS
	KF	5	KARL FOERSTER - REED GRASS <i>Calamagrostis x Acutiflora 'Karl Foerster'</i>	CONT.	1 GAL	PLANT AS SHOWN
	RS	11	RUSSIAN SAGE <i>Perovskia atriplicifolia</i>	CONT.	1 GAL	PLANT AS SHOWN
	LL	9	LITTLE LIME HYDRANGEA <i>Hydrangea paniculata 'Little Lime'</i>	CONT.	1 GAL	PLANT AS SHOWN
	MF	11	MISCANTHUS 'FLAME' GRASS <i>Miscanthus sinensis 'Purpurascens'</i>	CONT.	1 GAL	PLANT AS SHOWN
	BES	7	BLACK EYED SUSAN <i>Rudbeckia hirta</i>	CONT.	1 GAL	PLANT AS SHOWN
	DBB	6	DWARF BURNING BUSH <i>Eucynimus alatus 'Compactus'</i>	CONT.	1 GAL	PLANT AS SHOWN
	AJ	10	COMPACT ANDORRA JUNIPER <i>Juniperus 'Andorra Compacta'</i>	CONT.	1 GAL	PLANT AS SHOWN
		59				



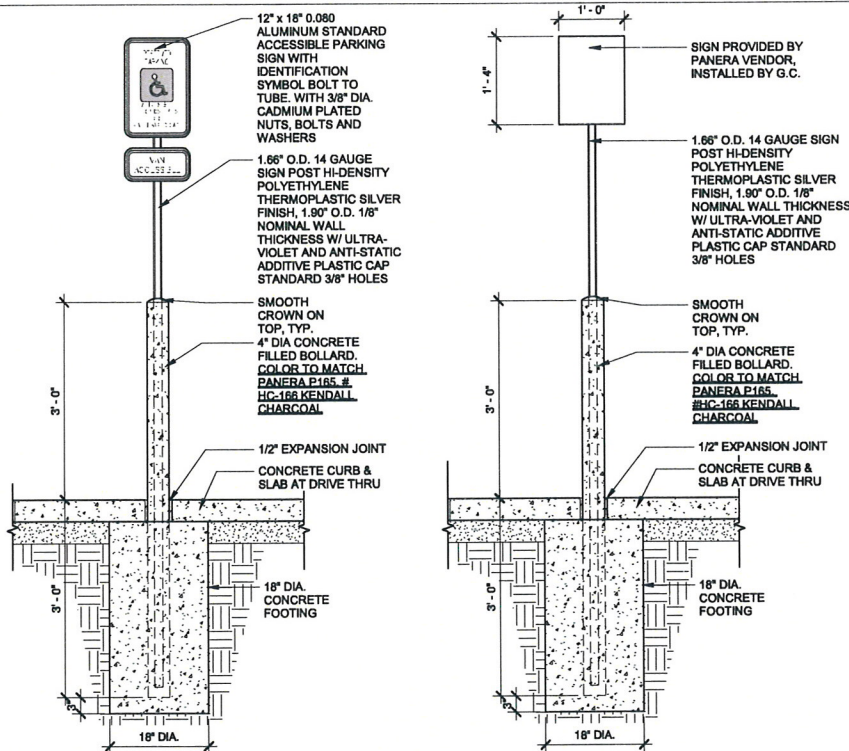
SHRUB PLANTING
N.T.S.



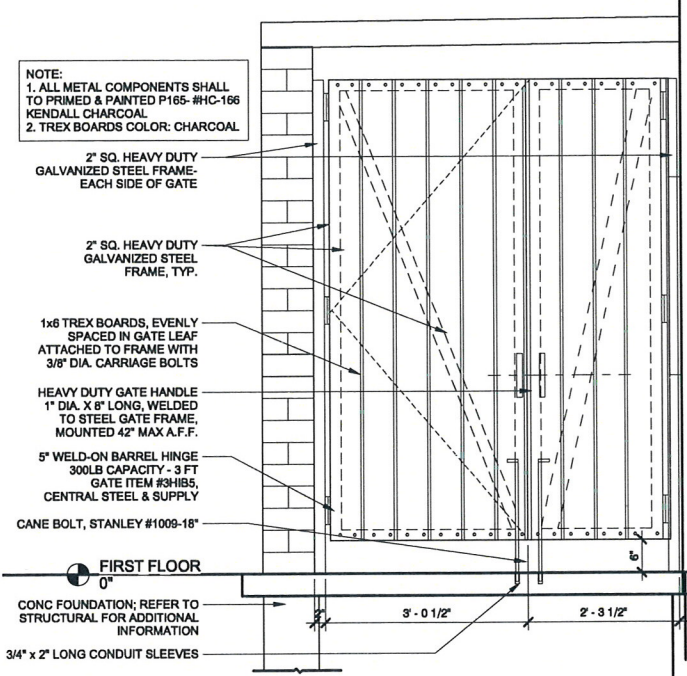
TREE PLANTING
N.T.S.

30439	2/8/18	ALC	ALC	PAT	PAT
CEI PROJECT NO.	INITIAL DATE	DPOR	PM	DES	DRW
CEI Engineering Associates, Inc. ENGINEERS • PLANNERS • SURVEYORS LANDSCAPE ARCHITECTS • ENVIRONMENTAL SCIENTISTS					
2025 CENTRE POINTE BLVD., SUITE 210 MENDOTA HEIGHTS, MN 55120					
PH: (651) 452-8960 (651) 452-1149					
PANERA BREAD 1530 100TH AVE NE BLAINE, MN					
LANDSCAPE PLAN					
REV DATE 2/8/18 REV-0		SHEET NO. L1			

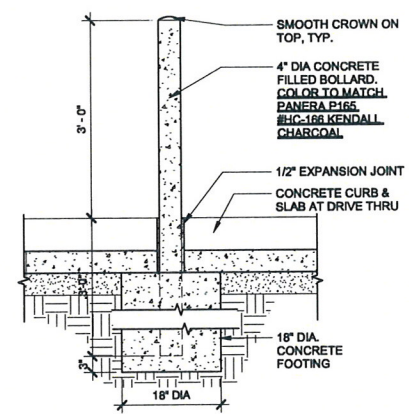
2/7/2018 12:37:34 PM



22 | DETAIL @ ACCESSIBLE SIGNAGE 3/4" = 1'-0"
18 | BOLLARD DETAIL @ SIGNAGE 3/4" = 1'-0"



23 | CART CORRAL GATE DETAIL 3/4" = 1'-0"



14 | BOLLARD DETAIL @ DRIVE THRU WDW. 3/4" = 1'-0"

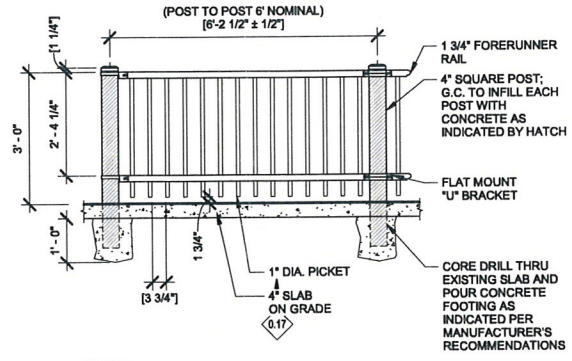
SPECIFICATIONS:
AMERISTAR FENCING
ECCHELON II PANEL MAJESTIC 2R EXT 4" GAP 3" H 6" W
1-888-333-3422

*NOTE: WHEN USING SWIVEL BRACKETS ON EITHER OR BOTH ENDS OF A PANEL INSTALLATION, CARE MUST BE TAKEN TO ENSURE THE SPACING BETWEEN POST AND ADJOINING PICKETS MEETS APPLICABLE CODES. THIS MAY REQUIRE TRIMMING ONE OR BOTH ENDS OF THE PANEL AS NEEDED.

POST NOTE: IN LOCATIONS SUBJECT TO FREEZING, WHERE POSTS ARE GROUNDED INTO CORE-DRILLED HOLES, A 1/4" DIAMETER HOLE SHOULD BE DRILLED IN THE POST APPROXIMATELY 1/2" ABOVE ELEVATION TO ALLOW FOR DRAINAGE OF BUILT-UP GROUND WATER. THE DRILLED HOLE MUST BE WIPED CLEAN AND DRY AND SPRAYED WITH AMERISTAR ZINC RICH PRIMER AND AMERISTAR COLOR MATCH FINISH.

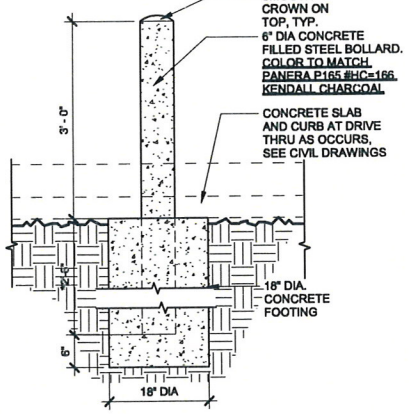
FROST LINE: FOOTER DEPTH SHOWN IS MINIMUM RECOMMENDATION. IN SOME CASES LOCAL RESTRICTIONS OF FREEZING WEATHER CONDITIONS MAY REQUIRE A GREATER DEPTH.

*PANEL RAKING: DRAWING SHOWS FENCE PANEL AT LEVEL GROUND ELEVATION. FOR INSTALLATIONS THAT MUST BE RAKED TO FOLLOW SLOPING GRADES, THE POST SPACING DIMENSION SHOWN MUST BE MEASURED ALONG THE GRADE.



15 | PATIO RAILING DETAIL (REMODEL PROJECTS) 1/2" = 1'-0"

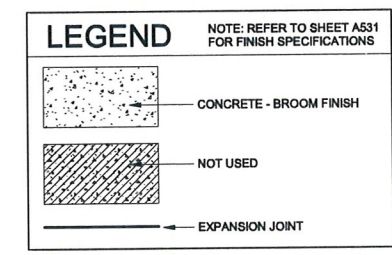
OPTION:
FENCE WITHOUT CONCRETE FILLED END POSTS
ECCHELON II PANEL MAJESTIC 2R EXT 4" GAP 3" H 6" W 2 1/2" SQUARE POST; POST TO POST 6" NOMINAL



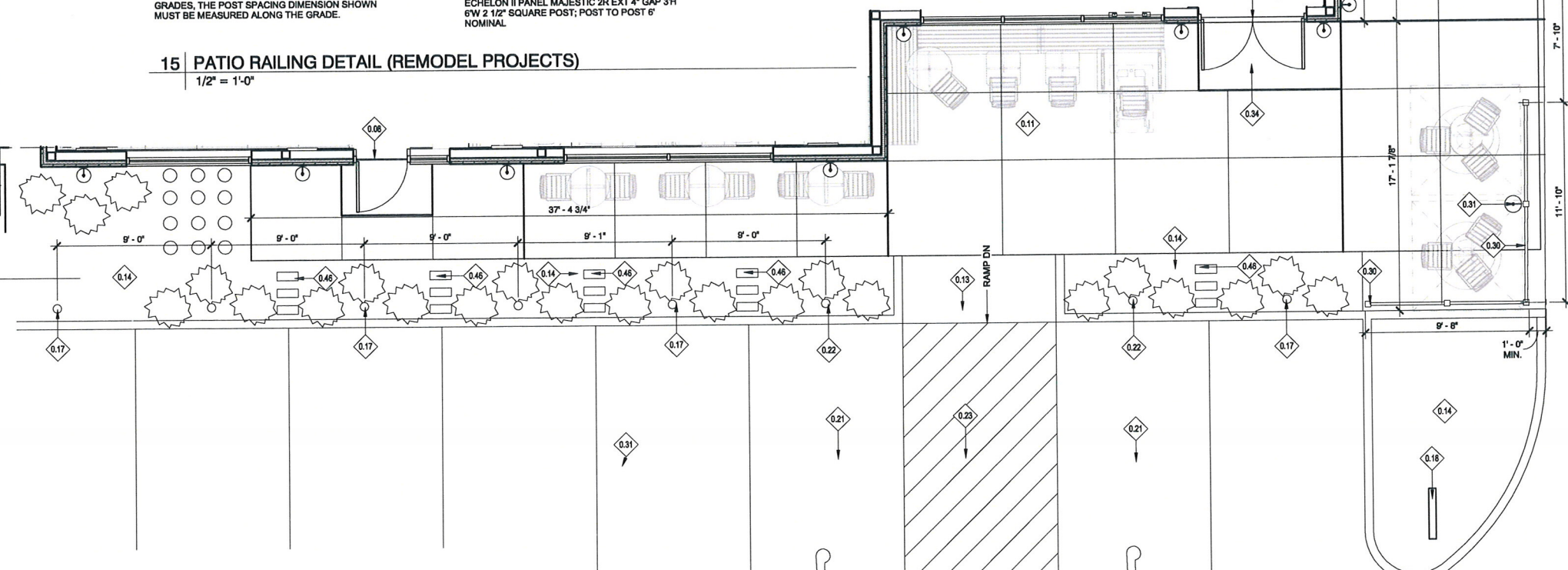
10 | BOLLARD DETAIL 3/4" = 1'-0"

KEYED NOTES

- 0.08 PRIMARY BUILDING ENTRANCE
- 0.08 SECONDARY ENTRANCE; REFER TO SHEET A611 FOR ADDITIONAL INFORMATION.
- 0.09 GC TO PROVIDE MAXIMUM THRESHOLD HEIGHT OF 1/2"
- 0.11 CONCRETE PATIO; REFER TO SHEET A014 FOR ADDITIONAL INFORMATION.
- 0.12 PROPOSED CONCRETE SIDEWALK, PROVIDE BROOM FINISH PERPENDICULAR TO BUILDING, TYPICAL. REFER TO CIVIL DRAWINGS FOR ADDITIONAL INFORMATION.
- 0.13 ACCESSIBLE RAMP; REFER TO CIVIL DRAWINGS FOR ADDITIONAL INFORMATION AND DETAILS.
- 0.14 PROPOSED LANDSCAPE AREA; REFER TO LANDSCAPE DRAWINGS FOR ADDITIONAL INFORMATION TO UTILIZE LOCAL FLORA.
- 0.17 6" CONCRETE PIPE BOLLARD, REFER TO 10/A014
- 0.18 NEW DRIVE THRU SIGNAGE; SEE SHEET A013 FOR FURTHER INFORMATION. ALSO SEE SHOP DRAWINGS.
- 0.21 PROPOSED ACCESSIBLE PARKING STALL; REFER TO CIVIL DRAWINGS FOR ADDITIONAL INFORMATION.
- 0.22 BOLLARD MOUNTED ACCESSIBLE SIGNAGE; REFER TO 22/A014 FOR FURTHER INFORMATION.
- 0.23 PROPOSED PAINTED STRIPED CROSS WALK; REFER TO CIVIL DRAWINGS FOR ADDITIONAL INFORMATION.
- 0.30 PATIO RAILING BY PANERA, COLOR: TO MATCH CHARCOAL. REFER TO 15/A014
- 0.31 PATIO SIDEWALK LIGHT BY PANERA. REFER TO REFLECTED CEILING PLAN FOR FURTHER INFORMATION.
- 0.34 PROVIDE CONCRETE STOOP AT ENTRY FOR FROST PROTECTION.
- 0.46 CONCRETE STEPPING STONES



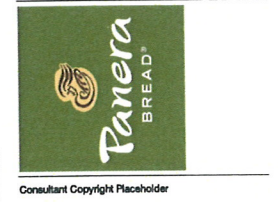
20 | SIDEWALK PLAN 1/4" = 1'-0"



Bakery-Cafe:
#6070
Project Team:
ARCVISION
INCORPORATED
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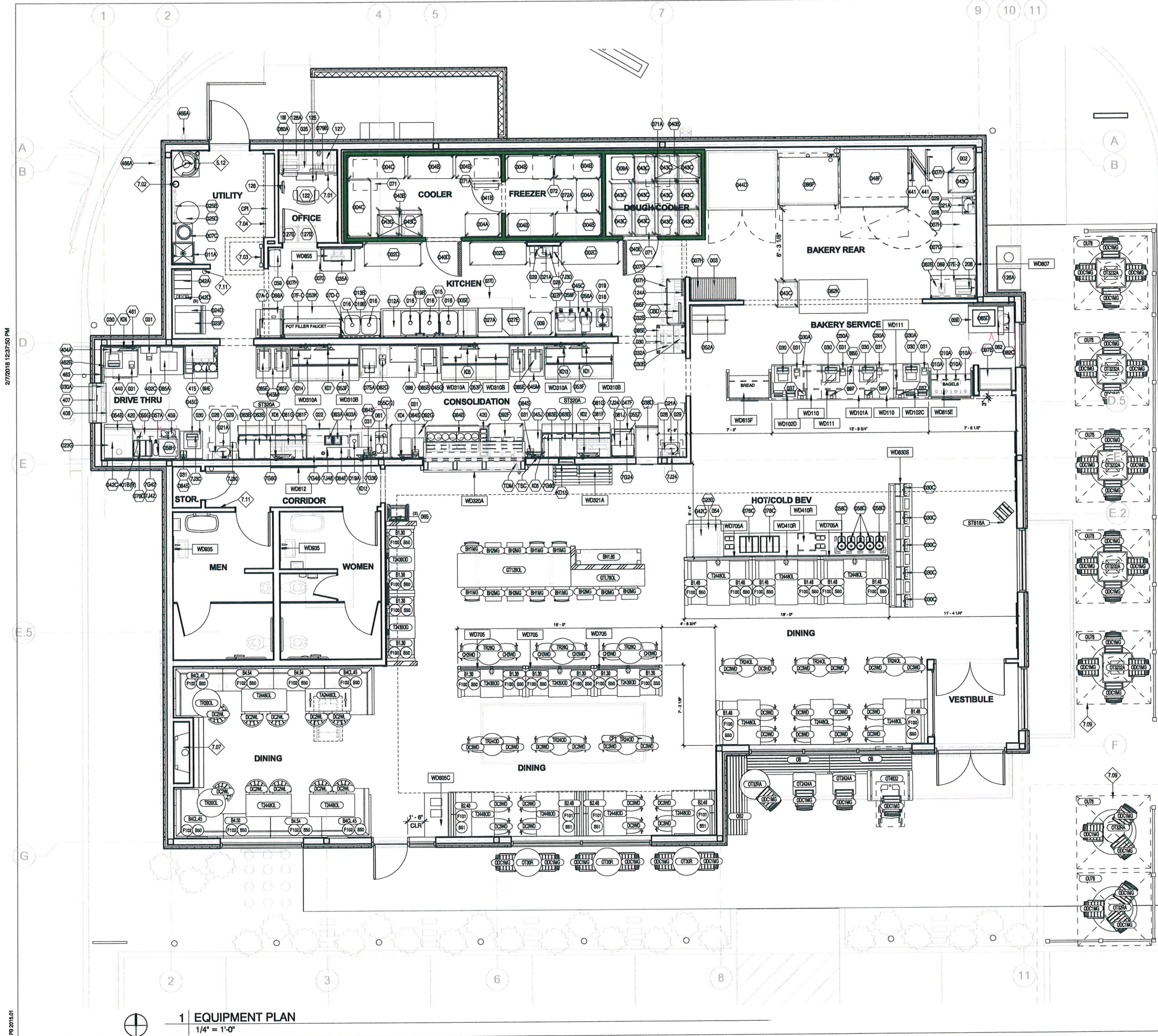
Professional Seal:
Project Title:

Bakery Cafe #6070
TBD 109TH AVENUE NE
BLAINE, MN 55449



No.	Description	Date

ENLARGED PATIO PLAN
Project Number: 170825
Sheet Number: **A014**
Drawn By: CAO, MH
Issue Date: 02.05.18
DPM: BRIAN B. DM: DAN C. CPM: KEVIN C.



GENERAL NOTES:

A. G.C. TO PROVIDE MANAGER OFFICE LAMINATE TOP, ALMOND COLOR PREFERRED; WHITE ALLOWED IF ALMOND IS NOT AVAILABLE. REFER TO ELEVATIONS FOR ADDITIONAL INFORMATION.

KEYED NOTES

- 5.12 WATER HEATER LOCATION TO BE LOCATED ON STAND. SEE DETAIL 14/A523.
- 7.01 OFFICE SAFE TO BE INSTALLED FLUSH WITH THE FRONT OF THE DESK ON THE RIGHT HAND SIDE.
- 7.02 FIRE SPRINKLER RISER LOCATION. FIRE SPRINKLER DESIGN PROVIDED BY OTHERS UNDER SEPARATE PERMIT.
- 7.03 ALUMINUM ROOF LADDER
- 7.04 CPI PANEL
- 7.07 FIREPLACE | REFER TO SHEET A316 FOR FURTHER INFORMATION
- 7.09 CLEARANCE AT EDGE OF UMBRELLA TO BE MINIMUM OF 84" AFF CLEAR
- 7.11 LOCATION OF APPROVED FIRE EXTINGUISHER RATED 2A-10BC. LOCATE WITHIN 30' TRAVEL DISTANCE FROM LIKE EXTINGUISHER.

FURNITURE:

UPHOLSTERY:	REFER TO PLAN TAGS
BOOTH TYPE:	WOOD
COMMUNITY TABLE:	PER PLAN
TABLE TOPS:	PER PLAN
TABLE BASE TYPE:	STANDARD
CHAIR TYPE:	G4 PER PLAN
STOOL HEIGHT CHAIR:	G4 PER PLAN

TABLE SERVICE:

APPLICABLE TO THIS MARKET? YES

CO2 MONITORING:

IS THIS REQUIRED? NO

CAL133:

IS THIS REQUIRED? NO

MILLWORK:

BAKERY FRONT	WD30
PANELS:	WD31
BREAD/BAGEL WALL:	WD33
CHAIR RAILCAP:	WD30
RPU UNIT FINISH:	WD33
P2.0 WALL FINISH:	WD33

DESIGN NOTES:

EQUIPMENT PLAN LEGEND:

- XXX ROOM NUMBER SYMBOL
- XXXX SIGNAGE IDENTIFICATION SYMBOL
- XXXX EQUIPMENT IDENTIFICATION SYMBOL
- STXXXX STEEL IDENTIFICATION SYMBOL
- WDXXXXX WOOD IDENTIFICATION SYMBOL
- REL RELOCATION INDICATION SYMBOL
- FURNED FURNITURE IDENTIFICATION SYMBOL
- DOOR DOOR NUMBER SYMBOL
- FABRIC FABRIC DESIGNATION SYMBOL (SEE A-4.8 SHEET)

Bakery Cafe:

#6070

Project Team:



Professional Seal:

Project Title:

Bakery Cafe #6070
TBD 109TH AVENUE NE
BLAINE, MN 55449



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No.	Description	Date

FLOOR PLAN EQUIPMENT

Project Number:

Sheet Number:

170825

Drawn By:

A703

CAO, MH

Issue Date:

02.05.18

DPM:

DM:

CPM:

BRIAN B.

DAN C.

KEVIN C.

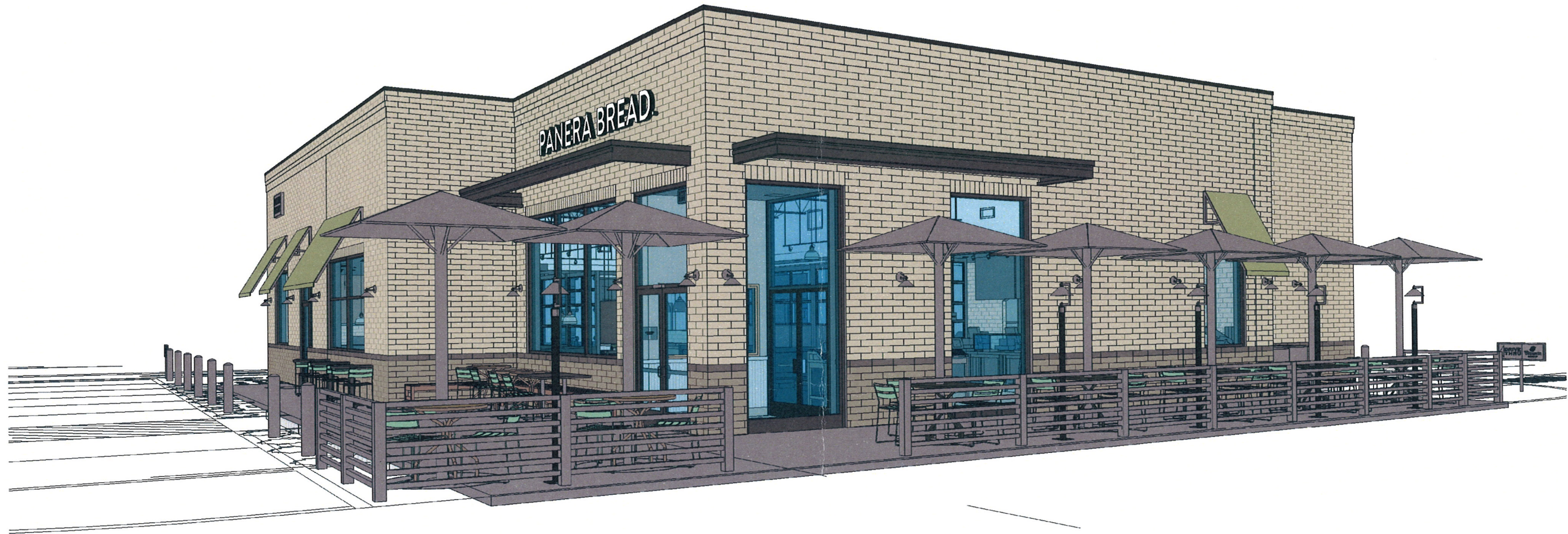
1 EQUIPMENT PLAN

1/4" = 1'-0"

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2/7/2018 12:37:42 PM



1 | PERSPECTIVE VIEW



2 | PERSPECTIVE VIEW



3 | PERSPECTIVE VIEW

Bakery-Cafe:

#6070

Project Team:

ARCVISION
INCORPORATED
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Professional Seal:

Project Title:

Bakery Cafe #6070
TBD 109TH AVENUE NE
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No.	Description	Date

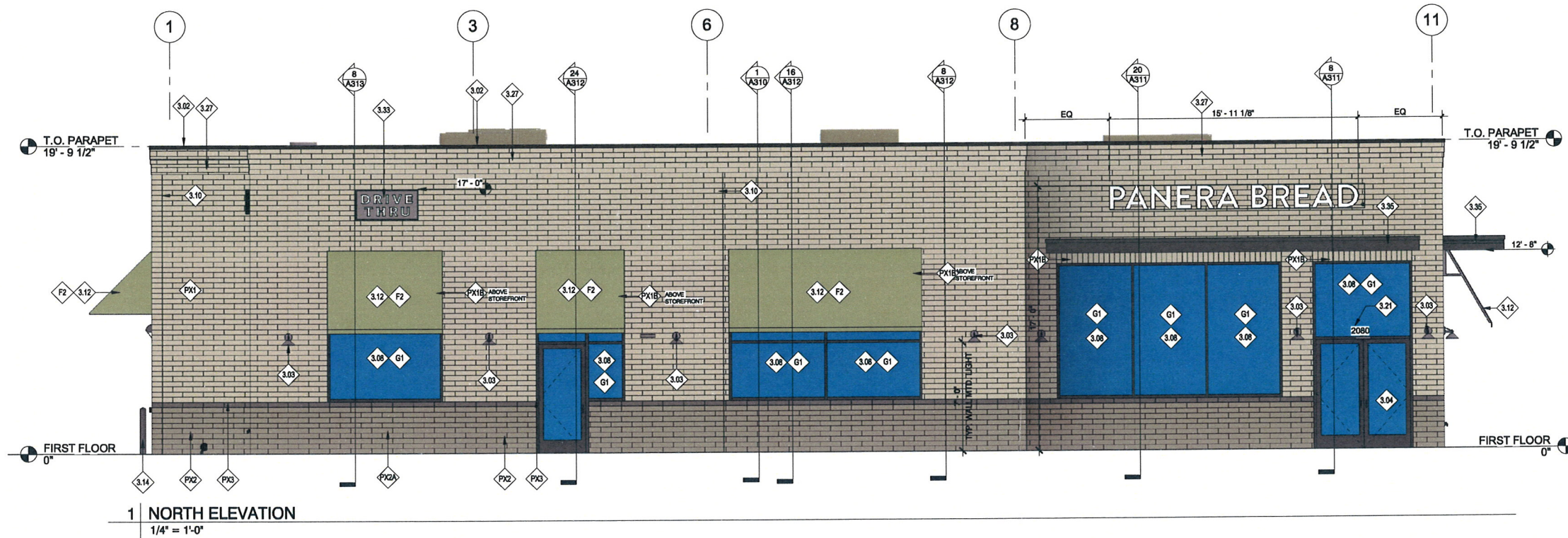
EXTERIOR
PERSPECTIVE
VIEWS

Project Number: 170825
Drawn By: ARCV, MH
Issue Date: 02.05.18
DPM: BRIAN B. DM: DAN C. CPM: KEVIN C.

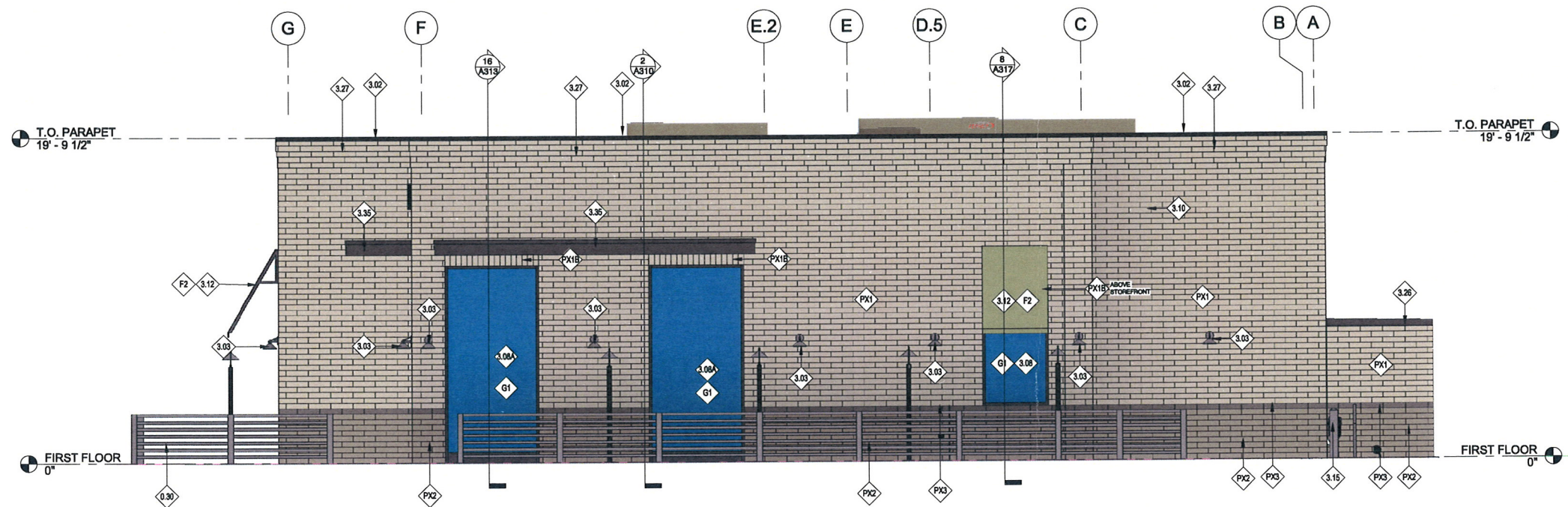
A300

2/7/2018 12:37:44 PM

PG 2015.01



1 NORTH ELEVATION
1/4" = 1'-0"



2 WEST ELEVATION
1/4" = 1'-0"

GENERAL NOTES:

A. ALL GLAZING TO BE G1 UNLESS NOTED OTHERWISE. FOR STOREFRONT / WINDOW ELEVATIONS SEE SHEET A611.

KEYED NOTES

- 0.30 PATIO RAILING BY PANERA, COLOR: TO MATCH CHARCOAL. REFER TO 15/A014
- 3.02 PRE-FINISHED METAL COPING | FINISH: TO MATCH HC-166 KENDALL CHARCOAL
- 3.03 WALL MOUNTED LIGHT FIXTURE, FIXTURES SHALL BE PROVIDED AND INSTALLED BY GC. GC TO PROVIDE POWER AS REQUIRED. REFER TO REFLECTED CEILING PLAN FOR ADDITIONAL INFORMATION.
- 3.04 MAIN ENTRANCE/EXIT | REFER TO A601 AND A611 FOR ADDITIONAL INFORMATION.
- 3.06 ALUMINUM STOREFRONT SYSTEM WITH 1" INSULATED GLAZING, COLOR: TO MATCH HC-166 KENDALL CHARCOAL. REFER TO SHEET A611 FOR FURTHER INFORMATION.
- 3.06A ALUMINUM STOREFRONT SYSTEM WITH 1 1/8" INSULATED GLAZING, COLOR: TO MATCH HC-166 KENDALL CHARCOAL. REFER TO SHEET A611 FOR FURTHER INFORMATION.
- 3.10 CONTROL JOINT(S) WHERE INDICATED | PROVIDE SEALANT TO MATCH ADJACENT WALL MATERIAL.
- 3.12 PRE-MANUFACTURED FABRIC AWNING PROVIDED AND INSTALLED BY SIGN VENDOR UNDER SEPARATE PERMIT. GC SHALL PROVIDE APPROPRIATE BLOCKING AS REQUIRED BY SIGN VENDOR. REFER TO SHOP DRAWINGS FOR ADDITIONAL INFORMATION.
- 3.14 4" DIA. CONCRETE BOLLARD | FINISH: PAINT TO MATCH P107 | REFER TO SHEET A014 FOR FURTHER INFORMATION
- 3.15 6" DIA. CONCRETE BOLLARD | FINISH: PAINT P107 | REFER TO SHEET A014 FOR FURTHER INFORMATION
- 3.21 BUILDING ADDRESS SIGN | VERIFY SIZE, LOCATION, AND STYLE WITH LOCAL FIRE DEPARTMENT
- 3.26 STANDING SEAM METAL ROOFING SYSTEM AND EDGE PIECE BY MFR., 12" SPACING. | COLOR: TO MATCH HC-166 KENDALL CHARCOAL
- 3.27 BRICK CORNICE TO BE CONSTRUCTED USING ENDUROMAX BRICK WALL SYSTEM. REFER TO DETAIL FOR FURTHER INFORMATION.
- 3.33 INTERNALLY ILLUMINATED LED DRIVE THRU SIGN BY TENANT, COLOR: BLACK CHANNEL WITH REVERSE (HALO) ILLUMINATION AND WHITE LETTERS. ALL SIGNAGE UNDER SEPARATE PERMIT. G.C. SHALL PROVIDE BLOCKING IN WALL FOR SIGN AND PROVIDE ACCESS PANEL ON BACKSIDE OF PARAPET FOR ACCESS AS REQUIRED.
- 3.35 PREFABRICATED ALUMINUM ENTRY CANOPY CONSTRUCTION. ALL EXPOSED ALUMINUM TO BE FINISHED TO MATCH HC-166 KENDALL CHARCOAL.
- F2 FABRIC AWNING | OPEN ENDED SLAB | COLOR: ASPEN FABRIC, (4' PROJECTION / 5' HEIGHT AT TYPICAL & 5' PROJECTION @ DRIVE THRU)
- G1 ALUMINUM STOREFRONT | 2" x 4 1/2" PROFILE | THERMAL BREAK | COLOR: #HC-166 KENDALL CHARCOAL | 1" CLEAR INSULATED GLAZING: PPG SOLARBAN 70XL (OR APPROVED EQUAL) | REFER TO SHEET A611 FOR ADDITIONAL INFORMATION
- PX1 PAINT SYSTEM OVER BRICK MASONRY SYSTEM | MFR: ENDURAMAX, QUIK BRIK 4"x16", RUNNING BOND | COLOR: #955 BERBER WHITE (P159)
- PX1B PAINT SYSTEM OVER BRICK MASONRY SYSTEM | MFR: ENDURAMAX, QUIK BRIK 4"x16", 8" HIGH SOLDIER COURSE | COLOR: #955 BERBER WHITE (P159)
- PX2 PAINT SYSTEM OVER BRICK MASONRY SYSTEM | MFR: ENDURAMAX, QUIK BRIK 4"x16", RUNNING BOND | COLOR: #AF-155 WEINMARANER (P161)
- PX2A PAINT SYSTEM OVER BRICK MASONRY SYSTEM | MFR: ENDURAMAX, QUIK BRIK 4"x16", STACKED COURSING | COLOR: #AF-155 WEINMARANER (P161)
- PX3 PAINT SYSTEM OVER BRICK MASONRY SYSTEM | MFR: ENDURAMAX, QUIK BRIK 4"x16", RUNNING BOND | COLOR: #HC-166 KENDALL CHARCOAL (P165)

Bakery Cafe:

#6070

Project Team:

ARCVISION
INCORPORATED
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Professional Seal:

Project Title:

Bakery Cafe #6070
TBD 109TH AVENUE NE
BLAINE, MN 55449



Consultant Copyright Placeholder

No.	Description	Date

EXTERIOR ELEVATIONS

Project Number:

Sheet Number:

170825

Drawn By:

CAO, MH

Issue Date:

02.05.18

DPM:

BRIAN B.

DM:

DAN C.

CPM:

KEVIN C.

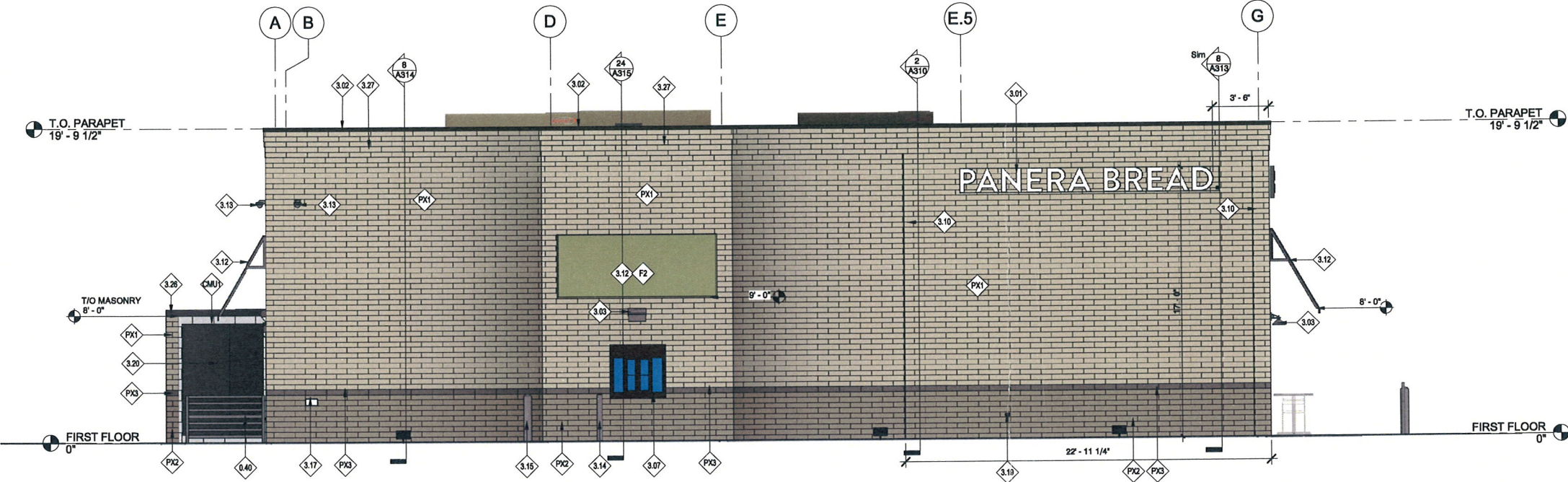
A301

GENERAL NOTES:

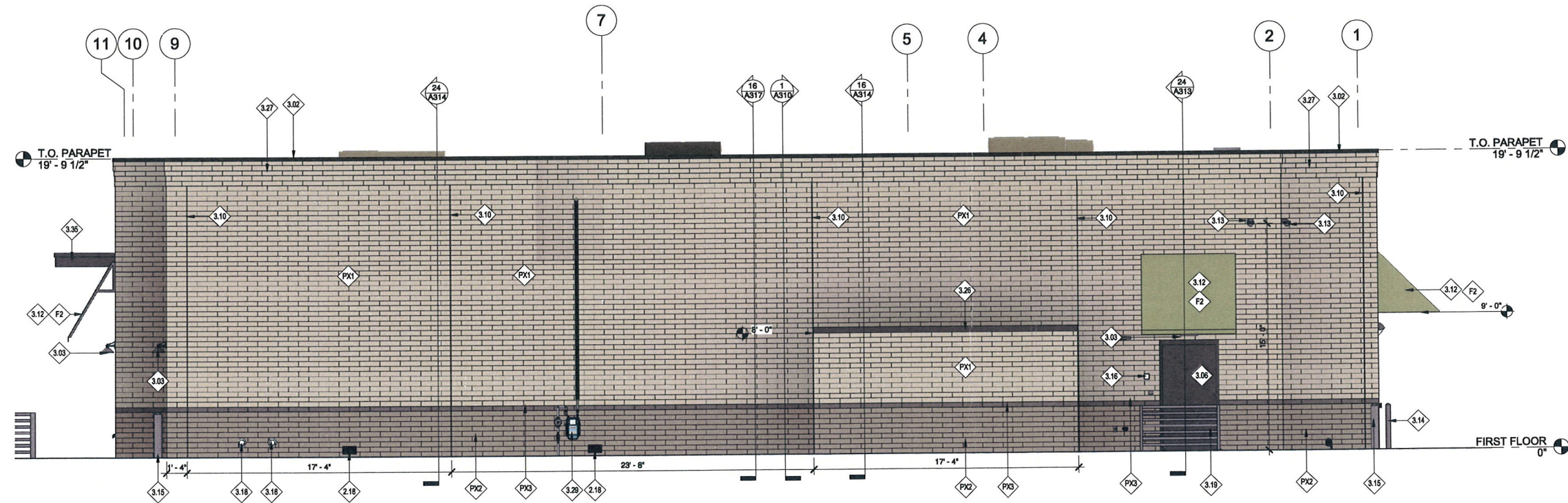
A ALL GLAZING TO BE G1 UNLESS NOTED OTHERWISE. FOR STOREFRONT / WINDOW ELEVATIONS SEE SHEET A811.

KEYED NOTES

- 0.40 STANDARD GUARDRAIL. PAINT TO MATCH MAIN BUILDING COLOR
2.18 NEW EXTERIOR GROUND LIGHT
3.01 INTERNALLY ILLUMINATED CLIP LETTERS PROVIDED AND INSTALLED BY SIGN VENDOR UNDER SEPARATE PERMIT. G.C. TO PROVIDE BLOCKING IN WALL FOR SIGN AND PROVIDE ACCESS PANEL ON BACKSIDE OF PARAPET FOR ACCESS AS REQUIRED. (UNDER SEPARATE SIGNAGE PERMIT)
3.02 PRE-FINISHED METAL COPING | FINISH: TO MATCH HC-166 KENDALL CHARCOAL
3.03 WALL MOUNTED LIGHT FIXTURE. FIXTURES SHALL BE PROVIDED AND INSTALLED BY GC. GC TO PROVIDE POWER AS REQUIRED. REFER TO REFLECTED CEILING PLAN FOR ADDITIONAL INFORMATION.
3.06 HOLLOW METAL SERVICE DOOR. REFER TO A601 FOR ADDITIONAL INFORMATION. | PAINT TO MATCH HC-166 KENDALL CHARCOAL.
3.07 DRIVE-THRU WINDOW | MFR: QUIKSERV | MODEL: FM42E | COLOR TO MATCH STOREFRONT.
3.10 CONTROL JOINT(S) WHERE INDICATED | PROVIDE SEALANT TO MATCH ADJACENT WALL MATERIAL.
3.12 PRE-MANUFACTURED FABRIC AWNING PROVIDED AND INSTALLED BY SIGN VENDOR UNDER SEPARATE PERMIT. GC SHALL PROVIDE APPROPRIATE BLOCKING AS REQUIRED BY SIGN VENDOR. REFER TO SHOP DRAWINGS FOR ADDITIONAL INFORMATION.
3.13 SECURITY CAMERA INSTALLED BY TENANT | COORDINATE ROUGH-IN LOCATION(S) AND HEIGHTS WITH PANERA CONSTRUCTION MANAGER PRIOR TO INSTALLATION.
3.14 4" DIA. CONCRETE BOLLARD | FINISH: PAINT TO MATCH P107 | REFER TO SHEET A014 FOR FURTHER INFORMATION
3.15 6" DIA. CONCRETE BOLLARD | FINISH: PAINT P107 | REFER TO SHEET A014 FOR FURTHER INFORMATION
3.16 FIRE DEPARTMENT ACCESS BOX | INSTALLED ADJACENT SERVICE DOOR. COORDINATE LOCATION WITH LOCAL FIRE DEPARTMENT.
3.17 FIRE DEPARTMENT CONNECTION (FDC) BY LANDLORD
3.18 NICKEL BRONZE NOZZLE RWI/OVERFLOW DRAIN THRU ROOF, MIN. 12" ABOVE GRADE. SEE DETAIL 24/A103. INSTALLED BY LL
3.19 HOSE BIBB | RECESSED STAINLESS STEEL BOX. REFER TO PLUMBING DRAWINGS FOR LOCATION AND ADDITIONAL INFORMATION. INSTALLED BY TENANT.
3.20 GATE ENCLOSURE AT CART CORRAL | MFR: TREX COMPOSITE PLANK | COLOR: SADDLE.
3.26 STANDING SEAM METAL ROOFING SYSTEM AND EDGE PIECE BY MFR., 12" SPACING. | COLOR: TO MATCH HC-166 KENDALL CHARCOAL.
3.27 BRICK CORNICE TO BE CONSTRUCTED USING ENDURAMAX BRICK WALL SYSTEM. REFER TO DETAIL FOR FURTHER INFORMATION.
3.29 GAS METER AND GAS PIPING, PAINT GAS PIPING TO MATCH BRICK. REFER TO PLUMBING DRAWINGS FOR FURTHER INFORMATION
3.35 PREFABRICATED ALUMINUM ENTRY CANOPY CONSTRUCTION. ALL EXPOSED ALUMINUM TO BE FINISHED TO MATCH HC-166 KENDALL CHARCOAL.
CMU1 SMOOTH FACE CONCRETE BLOCK, PAINT TO MATCH MAIN BUILDING
F2 FABRIC AWNING | OPEN ENDED SLAB | COLOR: ASPEN FABRIC, (4" PROJECTION / 5" HEIGHT AT TYPICAL & 9" PROJECTION @ DRIVE THRU)
PX1 PAINT SYSTEM OVER BRICK MASONRY SYSTEM | MFR: ENDURAMAX, QUIK BRK 4"x16", RUNNING BOND | COLOR: #955 BERBER WHITE (P158)
PX2 PAINT SYSTEM OVER BRICK MASONRY SYSTEM | MFR: ENDURAMAX, QUIK BRK 4"x16", RUNNING BOND | COLOR: #AF-155 WEINMARANER (P161)
PX3 PAINT SYSTEM OVER BRICK MASONRY SYSTEM | MFR: ENDURAMAX, QUIK BRK 4"x16", RUNNING BOND | COLOR: #HC-166 KENDALL CHARCOAL (P165)



1 EAST ELEVATION
1/4" = 1'-0"



2 SOUTH ELEVATION
1/4" = 1'-0"

Bakery-Cafe:

#6070

Project Team:

ARCVISION
INCORPORATED
SAINT LOUIS / DALLAS
ARCHITECTURE • ENGINEERING • STORE PLANNING

Professional Seal:

Project Title:

Bakery Cafe #6070
TBD 109TH AVENUE NE
BLAINE, MN 55449

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Consultant Copyright Placeholder

No.	Description	Date

EXTERIOR
ELEVATIONS

Project Number: 170825
Drawn By: CAO, MH
Issue Date: 02.05.18
DPM: BRIAN B. DM: DAN C. CPM: KEVIN C.

A302