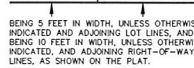


**Case File No. 18-0001**  
**Springbrook 2nd Addition**

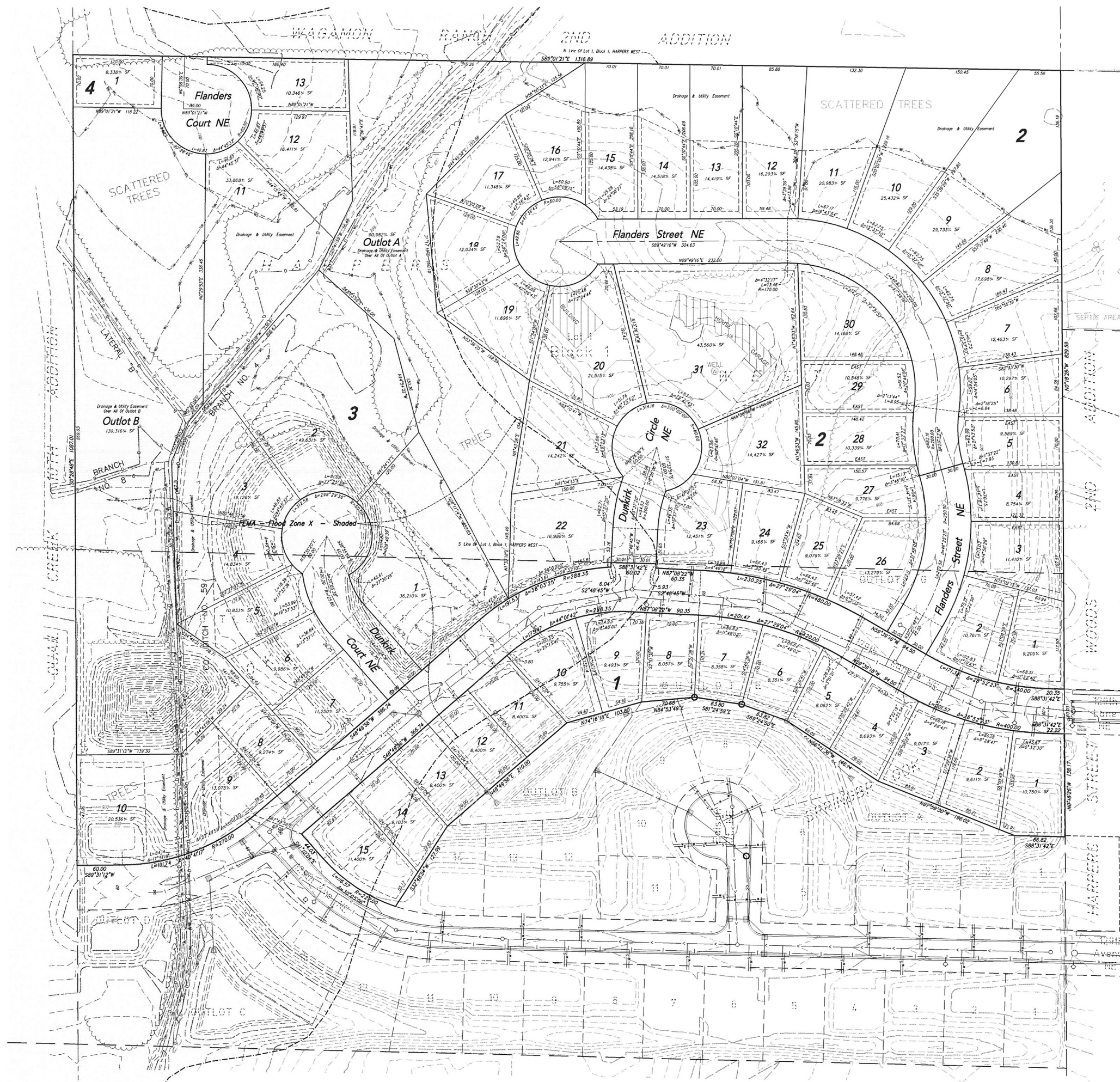
Blaine Planning Department / 10801 Town Square Dr NE / Blaine, MN 55449 / (763) 785-6180







— STORM SEWER  
 — SANITARY SEWER  
 — WATERMAIN  
 — CHAIN LINK FENCE  
 — CONCRETE CURB  
 — CONCRETE  
 872  
 — CONTOUR  
 — WET LAND  
 — EDGE OF DITCH

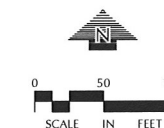
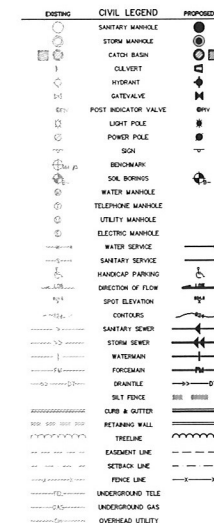


C0-1	COVER SHEET
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C3-1	OVERALL GRADING PLAN
C3-2	PHASE 2 GRADING PLAN
C3-3	PHASE 2 SWPPP
C3-4	PHASE 2 SWPPP NOTES
C3-5	FLOOD PLAIN STORAGE PLAN
C4-1	S&W PLAN
C5-1	STORM SEWER PLAN
C6-1	DETAILS
L1-1	LANDSCAPE PLAN

**C1-3**







CALL BEFORE YOU DIG!

**Gopher State One Call**

TWIN CITY AREA: 651-454-0002  
TOLL FREE: 1-800-252-1166

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SPRINGBROOK  
PHASE 2

BLANE, MN

CAPSTONE HOMES

14015 SUNFISH LAKE BLVD. NW,  
SUITE 400  
RAMSEY, MN 55303

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CIVIL ENGINEERING  
LAND SURVEYING  
LANDSCAPE ARCHITECTURE  
ENVIRONMENTAL

7200 Hemlock Lane, Suite 300  
Maple Grove, MN 55369  
763.424.5505  
www.loucksinc.com

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01/09/18 CITY/WATERSHED

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NOT FOR CONSTRUCTION

License No. 24440

Date XX/XX/XX

QUALITY CONTROL

Locks Project No. 14155B

Project Lead MUS

Drawn By SRT

Checked By MUS

Review Date 01/09/18

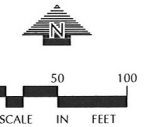
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C3-4 PHASE 2 SWPPP NOTES  
C3-5 FLOOD PLAIN STORAGE PLAN  
C4-1 SANITARY SEWER & WATERMAIN PLAN  
C4-1 DETAILS  
L1-1 LANDSCAPE PLAN

SANITARY  
SEWER &  
WATERMAIN  
PLAN

C4-1

EXISTING	CIVIL LEGEND	PROPOSED
	SANITARY MANHOLE	
	STORM MANHOLE	
	CATCH BASIN	
	CULVERT	
	INLET VALVE	
	POST INDICATOR VALVE	
	LIGHT POLE	
	POWER POLE	
	SIGN	
	BENCHMARK	
	SOIL BORING	
	WATER MANHOLE	
	UTILITY MANHOLE	
	ELECTRIC MANHOLE	
	WATER SERVICE	
	SANITARY SERVICE	
	HANDICAP PARKING	
	DIRECTION OF FLOW	
	SPOT ELEVATION	
	CONTOURS	
	SANITARY SEWER	
	STORM SEWER	
	WATERMAIN	
	FIREMAIN	
	DRAINAGE	
	SILT FENCE	
	CURB & GUTTER	
	RETAINING WALL	
	TIE LINE	
	EASEMENT LINE	
	SETBACK LINE	
	FENCE LINE	
	UNDERGROUND TILE	
	UNDERGROUND GAS	
	OVERHEAD UTILITY	



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SPRINGBROOK  
PHASE 2

BLAINE, MN  
CAPSTONE HOMES  
14015 SUNSHINE LAKE BLVD. NW,  
SUITE 400  
RANNEY, MN 55397

LOUCKS  
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NOT FOR CONSTRUCTION  
Date: 01/09/18 License No. 24440  
Signature: [Signature]

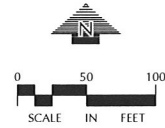
QUALITY CONTROL

Loucks Project No. 14155B  
Project Lead: MJS  
Drawn By: SRT  
Checked By: MJS  
Review Date: 01/09/18

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- C2-1 OVERALL SITE PLAN
- C2-2 PHASE 2 SITE PLAN
- C3-1 OVERALL GRADING PLAN
- C3-2 PHASE 2 GRADING PLAN
- C3-3 PHASE 2 SWPPP NOTES
- C3-4 PHASE 2 SWPPP NOTES
- C3-5 FLOOD PLAIN STORAGE PLAN
- C4-1 FLOOD PLAIN STORAGE PLAN
- C5-1 STORM SEWER PLAN
- C5-1 DETAILS
- L1-1 LANDSCAPE PLAN

EXISTING	CIVIL LEGEND	PROPOSED
	SANITARY MANHOLE	
	STORM MANHOLE	
	CATCH BASIN	
	CULVERT	
	INVERT	
	GATE VALVE	
	POST INDICATOR VALVE	
	LIGHT POLE	
	POWER POLE	
	SIGN	
	SOL. BORING	
	WATER MANHOLE	
	TELEPHONE MANHOLE	
	UTILITY MANHOLE	
	ELECTRIC MANHOLE	
	WATER SERVICE	
	SANITARY SERVICE	
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	DIRECTION OF FLOW	
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	STORM SEWER	
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	SALT FENCE	
	CURB & GUTTER	
	RETAINING WALL	
	TREE LINE	
	EASEMENT LINE	
	SETBACK LINE	
	FENCE LINE	
	UNDERGROUND TELE.	
	UNDERGROUND GAS	
	OVERHEAD UTILITY	



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DURING CONSTRUCTION AT NO COST TO THE OWNER.

STORM SEWER  
PLAN

C5-1





SYMBOL	QUANTITY
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\_\_\_\_\_

90

THE CITY REQUIRES 3 TREES TO BE PLANTED ON EACH LOT WITH ONE IN THE FRONT YARD, ONE IN THE BOULEVARD, AND ONE IN THE REAR YARD. DUE TO THE VARIATIONS OF BUILDING FOOTPRINTS AND DRIVEWAY LOCATIONS, THE FINAL TREE LOCATION SHOULD BE FIELD FIT. THE HOMEOWNER/BUILDER CAN SELECT FROM THE TREE VARIETIES BELOW.

COMMON NAME	SCIENTIFIC NAME	SIZE	CONT	COMMENTS
RIVER BIRCH	<i>Betula nigra</i>	8' HGT	B&B	CLUMP
WHITE BIRCH	<i>Betula papyrifera</i>	8' HGT	B&B	CLUMP
COMMON HACKBERRY	<i>Celtis occidentalis</i>	2.5' CAL	B&B	SINGLE STE
SKYLINE HONEYLOCUST	<i>Gleditsia triacanthos</i> var. <i>inermis</i> 'Skyline'	2.5' CAL	B&B	SINGLE STE
KENTUCKY COFFEE TREE	<i>Gymnocladus dioica</i>	2.5' CAL	B&B	SINGLE STE
AMERICAN LINDEN	<i>Tilia americana</i>	2.5' CAL	B&B	SINGLE STE
GREENSPINE LINDEN	<i>Tilia cordata</i> 'Greenspire'	2.5' CAL	B&B	SINGLE STE
SIENNA GLAZ MAPLE	<i>Acer x freemanii</i> 'Sienna Glen'	2.5' CAL	B&B	SINGLE STE
AUTUMN BLUE MAPLE	<i>Acer x freemanii</i> 'Jefferson'	2.5' CAL	B&B	SINGLE STE
NORWAY MAPLE	<i>Acer platanoides</i>	2.5' CAL	B&B	SINGLE STE
RED MAPLE	<i>Acer rubrum</i>	2.5' CAL	B&B	SINGLE STE
SUGAR MAPLE	<i>Acer saccharum</i>	2.5' CAL	B&B	SINGLE STE
BICOLOR OAK	<i>Quercus bicolor</i>	2.5' CAL	B&B	SINGLE STE
VALLEY FORGE ELM	<i>Ulmus americana</i> 'Valley Forge'	2.5' CAL	B&B	SINGLE STE

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## SUBMITTAL/REVISIONS

01/09/18 CITY/WATERSHE

## PROFESSIONAL SIGNATURE

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NOTES  
CONSTRUCTION

License No. \_\_\_\_\_ 4830  
Date \_\_\_\_\_

## QUALITY CONTROL

Loucks Project No.	1415
Project Lead	M
Drawn By	T
Checked By	T
Review Date	01/09/

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C3-3	PHASE 2 SWPPP
C3-4	PHASE 2 SWPPP NOT
C3-5	FLOOD PLAIN STORAGE PLAN
C4-1	S&W PLAN
C5-1	STORM SEWER PLAN
C8-1	DETAIL
L1-1	LANDSCAPE PLAN



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**SURVEY LEGEND - EXISTING CONDITIONS**

○ CATCH BASIN	— STORM SEWER
○ STORM MANHOLE	— SANITARY SEWER
○ WATER MANHOLE	— WATERMAIN
○ HYDRANT	— UNDERGROUND ELECTRIC
⊕ GATE VALVE	— UNDERGROUND GAS
⊕ TELEPHONE PEDESTAL	— UNDERGROUND TELEPHONE
○ POWER POLE	— OVERHEAD UTILITY
○ LIGHT POLE	— CHAIN LINK FENCE
— SIGN	— CONCRETE CURB
• SPOT ELEVATION	— CONCRETE
	— CONTOUR

**WETLAND PROTECTION / RESTORATION NOTES**

- ORGANIC SOIL SALVAGE AND PLACEMENT:** THE GRADING CONTRACTOR SHALL SALVAGE THE UPPER 18 INCHES OF ORGANIC SOIL FROM WETLAND AREAS THAT WILL BE FILLED. ORGANIC SOIL THAT IS BURIED BELOW THE UPPER 18 INCHES MAY NOT BE FERTILE AND THEREFORE SHALL NOT CONTAIN SEED FOR WETLAND MITIGATION. AFTER EXCAVATING THE NEW WETLAND AREAS, THIS ORGANIC SOIL SHALL BE SPREAD OVER ALL AREAS DISTURBED BY CONSTRUCTION TO THE MAXIMUM DEPTH POSSIBLE GIVEN THE VOLUME OF ORGANIC SOIL AVAILABLE, BUT SHALL BE A MINIMUM OF 12 INCHES IN DEPTH. WHEN PLACING THE ORGANIC SOIL, CARE SHALL BE GIVEN TO AVOIDING EXCESSIVE COMPACTION OF THE SOIL.
- WETLAND EXCAVATION:** THE WETLANDS SHALL BE EXCAVATED TO THE SHAPE AND DEPTHS SHOWN ON THE PLANS, PLUS AN ADDITIONAL 12 INCHES TO ACCEPT THE ORGANIC SOILS. THE GRADING CONTRACTOR SHALL GRADE THE WETLAND WITH IRREGULAR AND UNDULATING BOTTOM AND SIDE SLOPES VARYING FROM 10:1 IN SHALLOW AREAS TO A MAXIMUM 3:1 IN OPEN WATER CONDITIONS.
- PROTECTION OF WETLANDS:** EXTREME CARE SHALL BE EXERCISED TO PREVENT DISTURBANCE OF OTHER WETLAND AREAS ON THE SITE WHICH ARE OUTSIDE OF THE CONSTRUCTION LIMITS.

**WETLAND TABULATIONS**

— EXISTING WETLAND
— WETLAND
— DITCH
USACE WETLAND EXTENT BASIS FOR FILL/WETLAND BANK CREDIT PURCHASE 685 SF

**NOTE:**  
WETLAND BANKING IS PLANNED TO BE USED FOR ALL WETLAND MITIGATION.

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01/09/18	CITY/WATERSHED
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Loucks Project No. 141558  
Project Lead MJS  
Drawn By SRT  
Checked By MJS  
Review Date 01/09/18

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# Two Story Homes

Water Stone



**Offering:**  
2,270 – 4,731 SQ FT  
3 Car Garage

White Stone

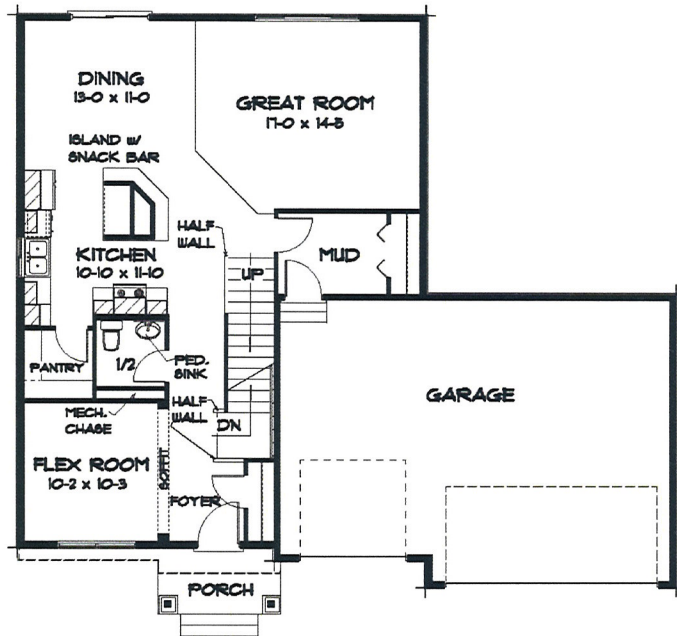


  
**SPRINGBROOK**  
2ND ADDITION

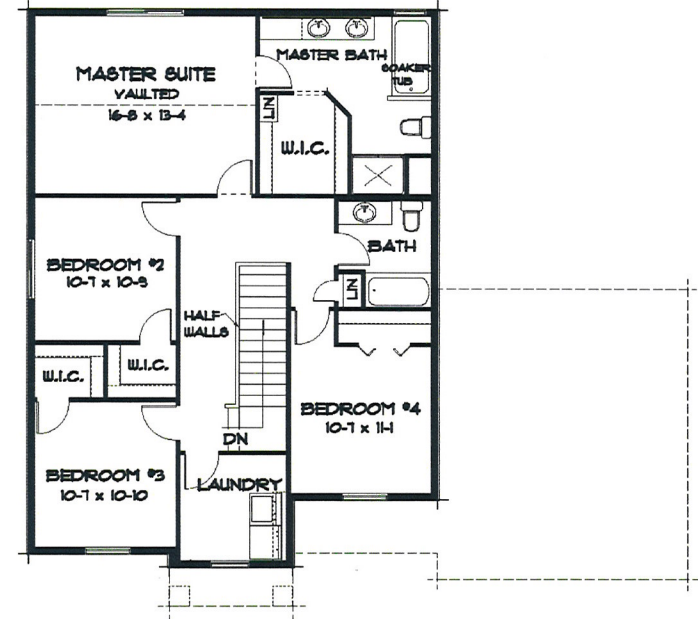
# Two Story Homes

## White Stone Floor Plan

### Main Floor



### Second Floor



**SPRINGBROOK**  
2ND ADDITION



# Multi-Level Homes



Primrose II

**Offering:**  
1,600 – 3,500 SQ FT  
3 Car Garage

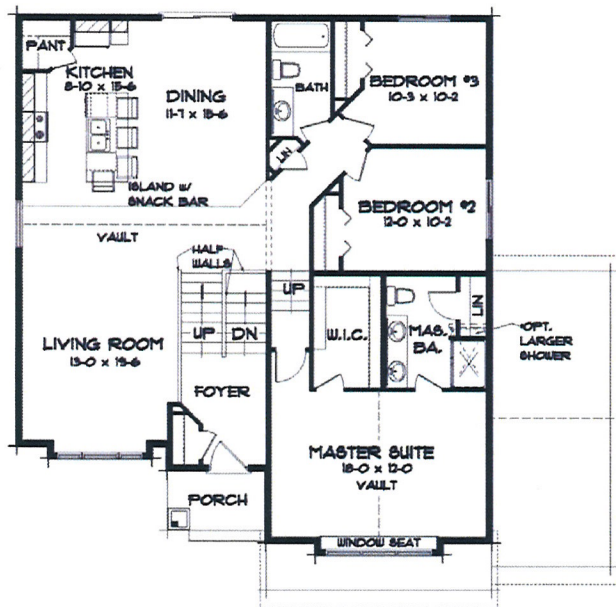
  
**SPRINGBROOK**  
2ND ADDITION



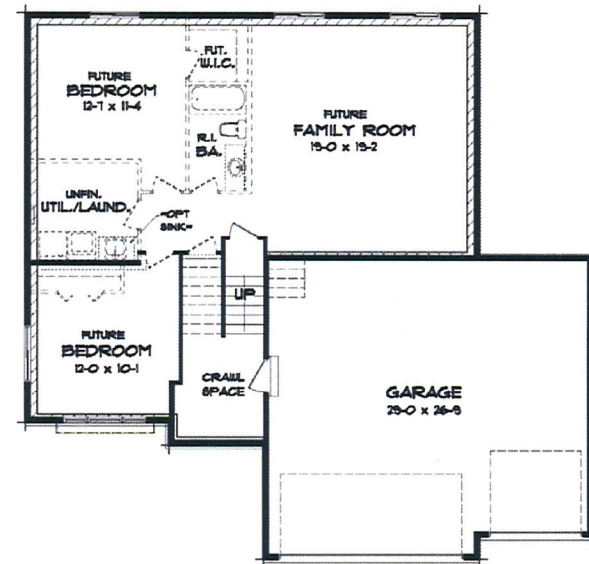
# Multi-Level Homes

## Primrose II Floor Plan

### Main Floor



### Lower Level





# Split Entry Homes



**SPRINGBROOK**  
2ND ADDITION

Cheyenne III

**Offering:**

1,600- 2,863 SQ FT

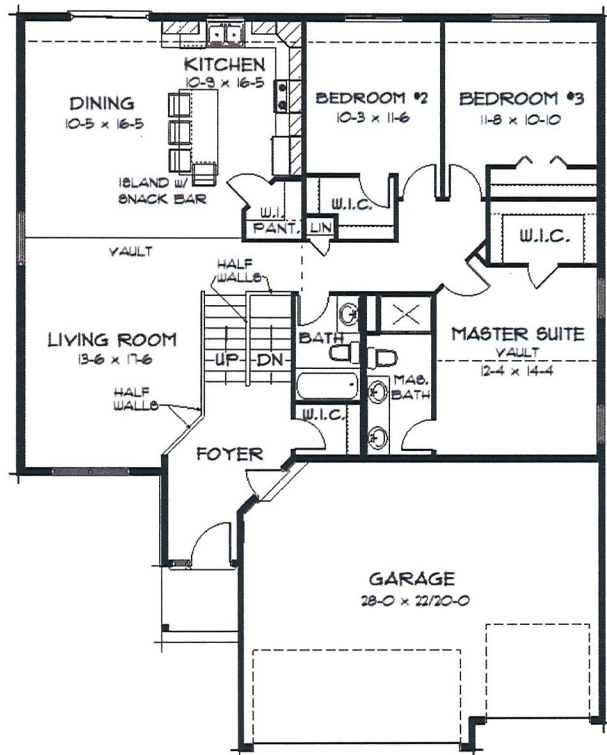
3 Car Garage



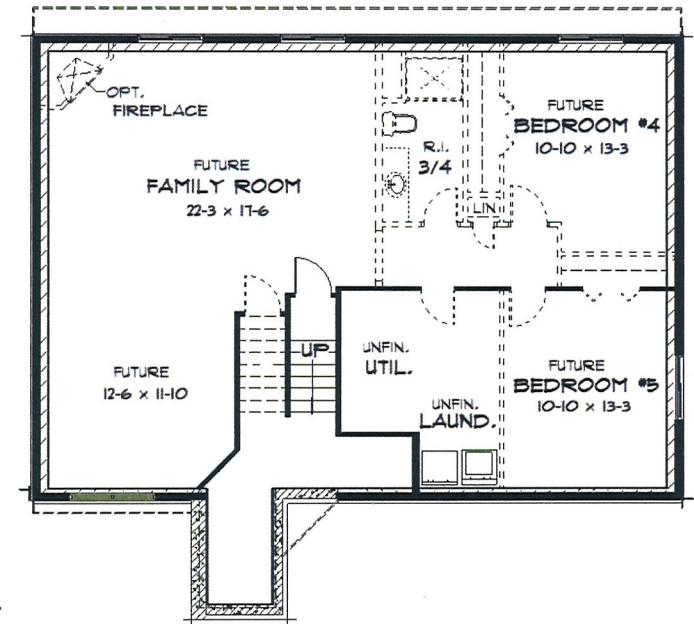
# Split-Entry Homes

## Cheyenne III Floor Plan

### Main Floor



### Lower Level

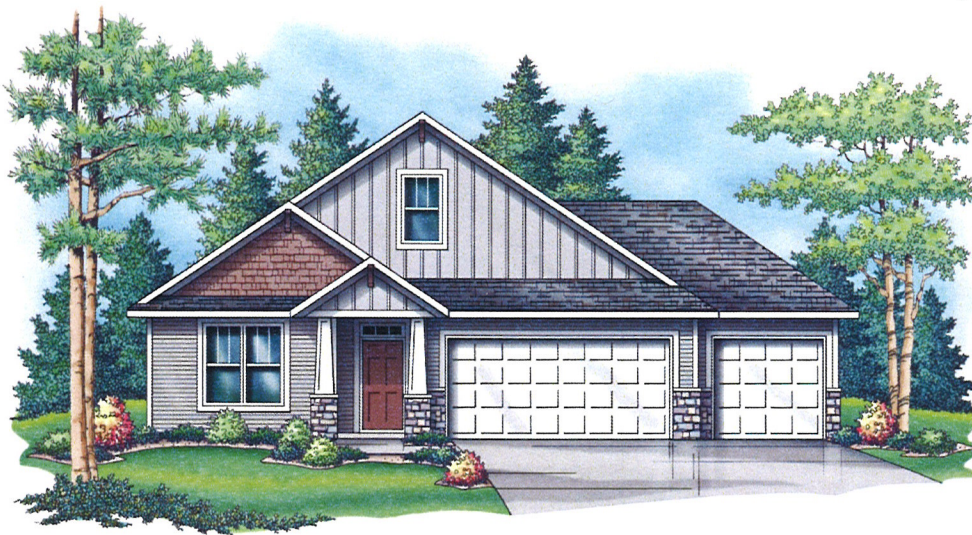


**SPRINGBROOK**  
2ND ADDITION

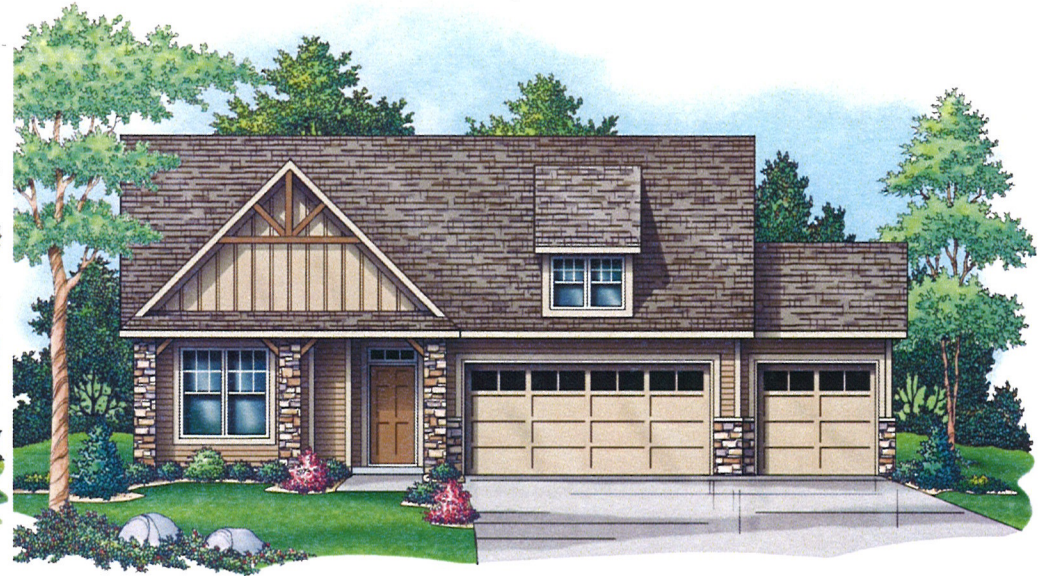


# Rambler Homes

Hemlock II



Maple II



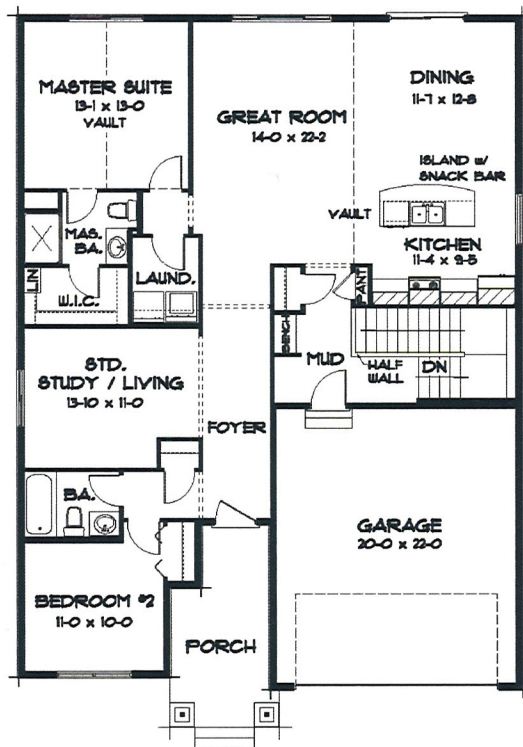
**Offering:**  
1,550- 3,300 SQ FT  
3 Car Garage

  
**SPRINGBROOK**  
2ND ADDITION

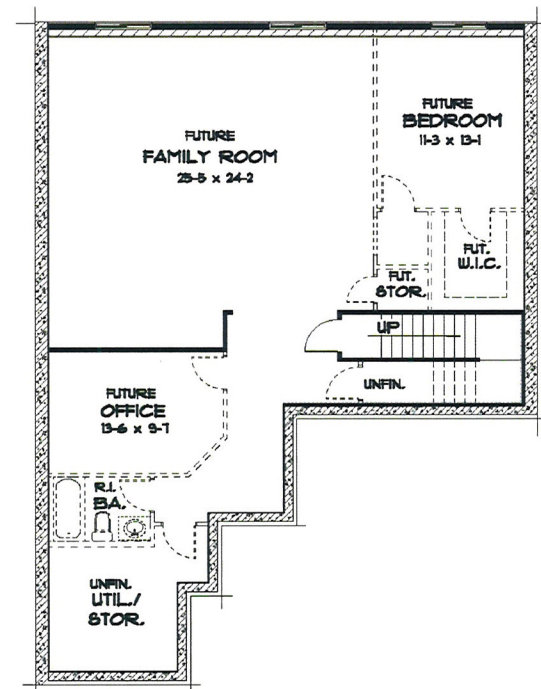
# Rambler Homes

## Maple II Floor Plan

### Main Floor



### Lower Level



**SPRINGBROOK**  
2ND ADDITION