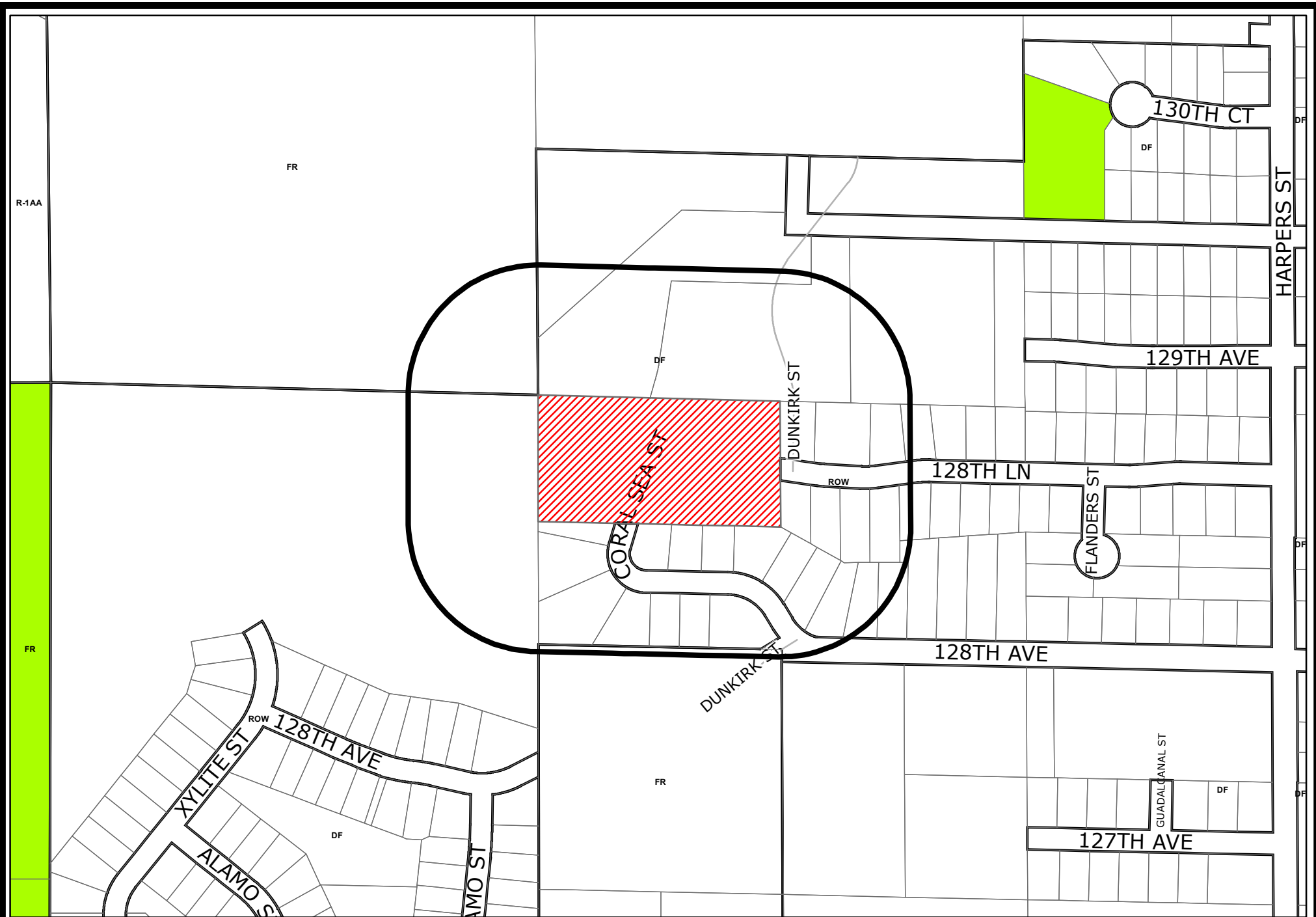
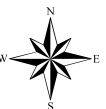


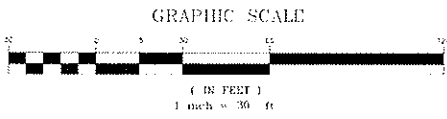


128th & Dunkirk Plat Design Discussion

Blaine Planning Department / 10801 Town Square Dr NE / Blaine, MN 55449 / (763) 785-6180



CONCEPT PLAN "A"
FIVE STAR GROUP LLC



BENCHMARK
BASIS FOR ELEVATION: NAVD 83 VIA REAL TIME GPS
MEASUREMENTS UTILIZING MINNESOTA
DEPARTMENT OF TRANSPORTATION VRS NETWORK)
BASIS FOR BEARINGS: ON ANOKA COUNTY COORDINATE SYSTEM

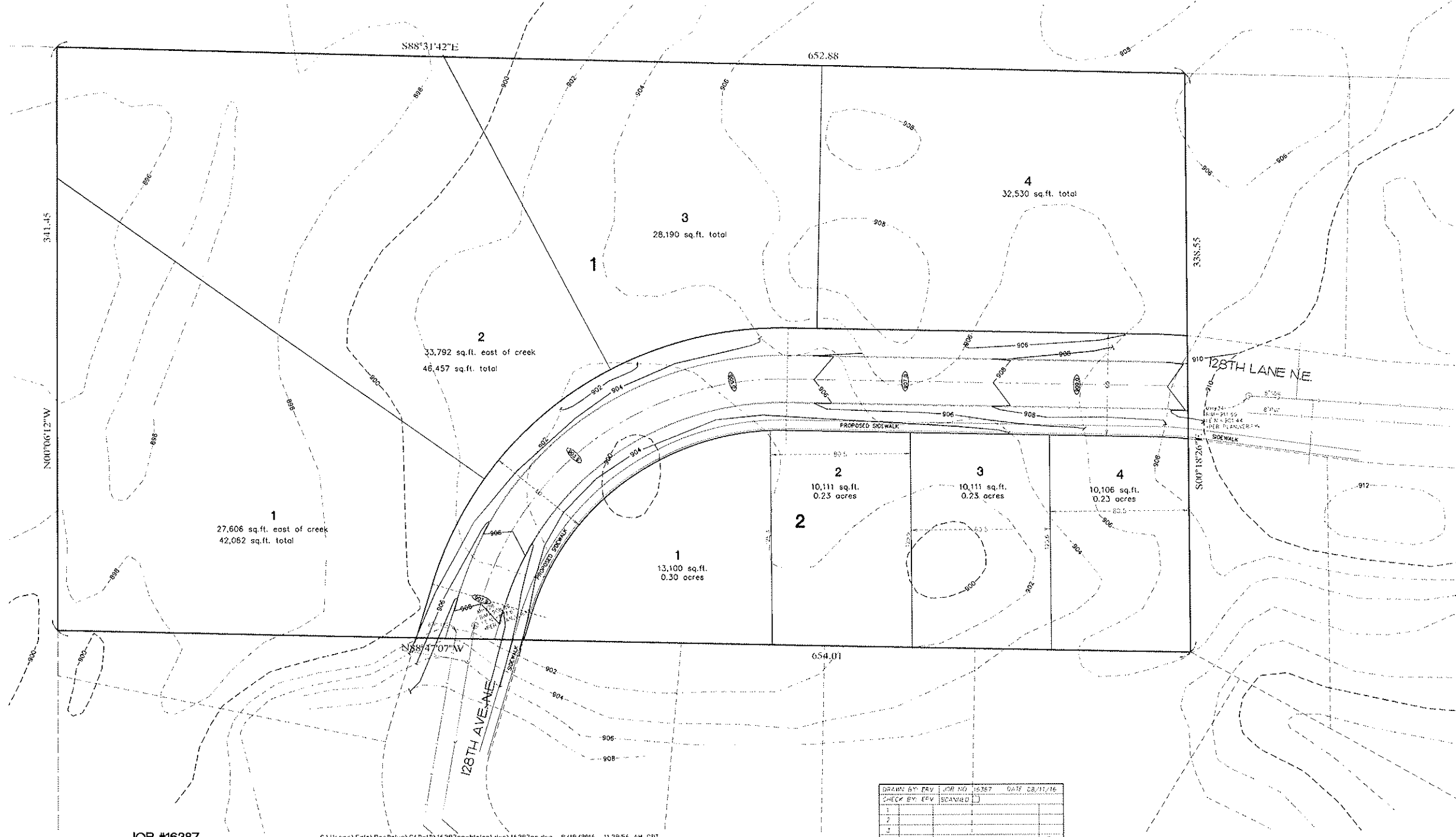
LEGAL DESCRIPTION
The Northeast Quarter of the Southwest Quarter of Section 3, Township
31, Range 23, EXCEPT the South 990.00 feet thereof and the East
660.00 feet of said Northeast Quarter of the Southwest Quarter, all in
Anoka County, Minnesota.

PROPERTY ADDRESS: #12850 DUNKIRK ST., BLAINE, MN
PROPERTY IDENTIFICATION NUMBER: 03-31-23-31-0005

DEVELOPMENT DATA:
PROPERTY ZONED "OF" DEVELOPMENT INFO. SETBACKS:
FRONT YARD = 25'
SIDE YARD (HOUSE) = 10'
SIDE YARD (GARAGE) = 5'
CORNER SIDE YARD = 20'
REAR YARD = 30'
- MINIMUM LOT SIZE = 10,000 SQ.FT. (INTERIOR LOT)
- MAXIMUM BUILDING HEIGHT = 30 FEET
- MINIMUM LOT WIDTH = 80 FEET
- DRIVEWAYS SHALL BE 3' OR GREATER FROM PROPERTY LINES
- MINIMUM LOT DEPTH = 125'

NOTES
- 2 foot Contour Interval
- All utilities shown per utility plans provided by others.
Contractor to verify all sizes and locations.
- This concept was prepared without the benefit of titlework.
Easement, appurtenances and encumbrances may exist in addition
to those shown hereon. This survey is subject to revision upon
receipt of a title insurance commitment or attorney's title opinion.

- LEGEND**
- DENOTES IRON MONUMENT FOUND
 - DENOTES IRON MONUMENT SET
 - DENOTES UTILITY POLE
 - ⊕ DENOTES FIRE HYDRANT
 - - - DENOTES EXISTING CONTOUR
 - - - DENOTES OVERHEAD WIRE
 - - - DENOTES WATERMAIN
 - - - DENOTES SANITARY SEWER
 - - - DENOTES STORM SEWER
 - - - DENOTES EXISTING FENCE
 - - - DENOTES EXISTING ELEVATION
 - ▭ DENOTES CONCRETE
 - ▨ DENOTES BITUMINOUS
 - ⊙ DENOTES SOIL BORING



I hereby certify that this survey, plan
or report was prepared by me or under
my direct supervision and that I am
a duly Registered Land Surveyor under
the laws of the State of Minnesota.

ERIC R. VICKARYOUS
Date: XXXXX 2016 Reg. No. 44125

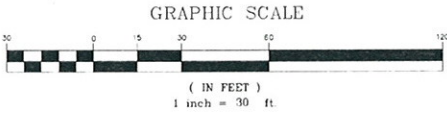
ACRE LAND SURVEYING
Serving Twin Cities Metro
area and beyond
763-458-2997 acrelandsurvey@gmail.com

JOB #16387

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DRAWN BY: ERV	JOB NO: 16387	DATE: 08/11/16
CHECK BY: ERV	SCANNED	
1		
2		
3		
4		
DATE	RECORDED	BY

CONCEPT PLAT "B"
FIVE STAR GROUP LLC



BENCHMARK
BASIS FOR ELEVATION: NAVD 88 (VIA REAL TIME GPS
MEASUREMENTS UTILIZING MINNESOTA
DEPARTMENT OF TRANSPORTATION VRS NETWORK)
BASIS FOR BEARINGS: ON ANOKA COUNTY COORDINATE SYSTEM.



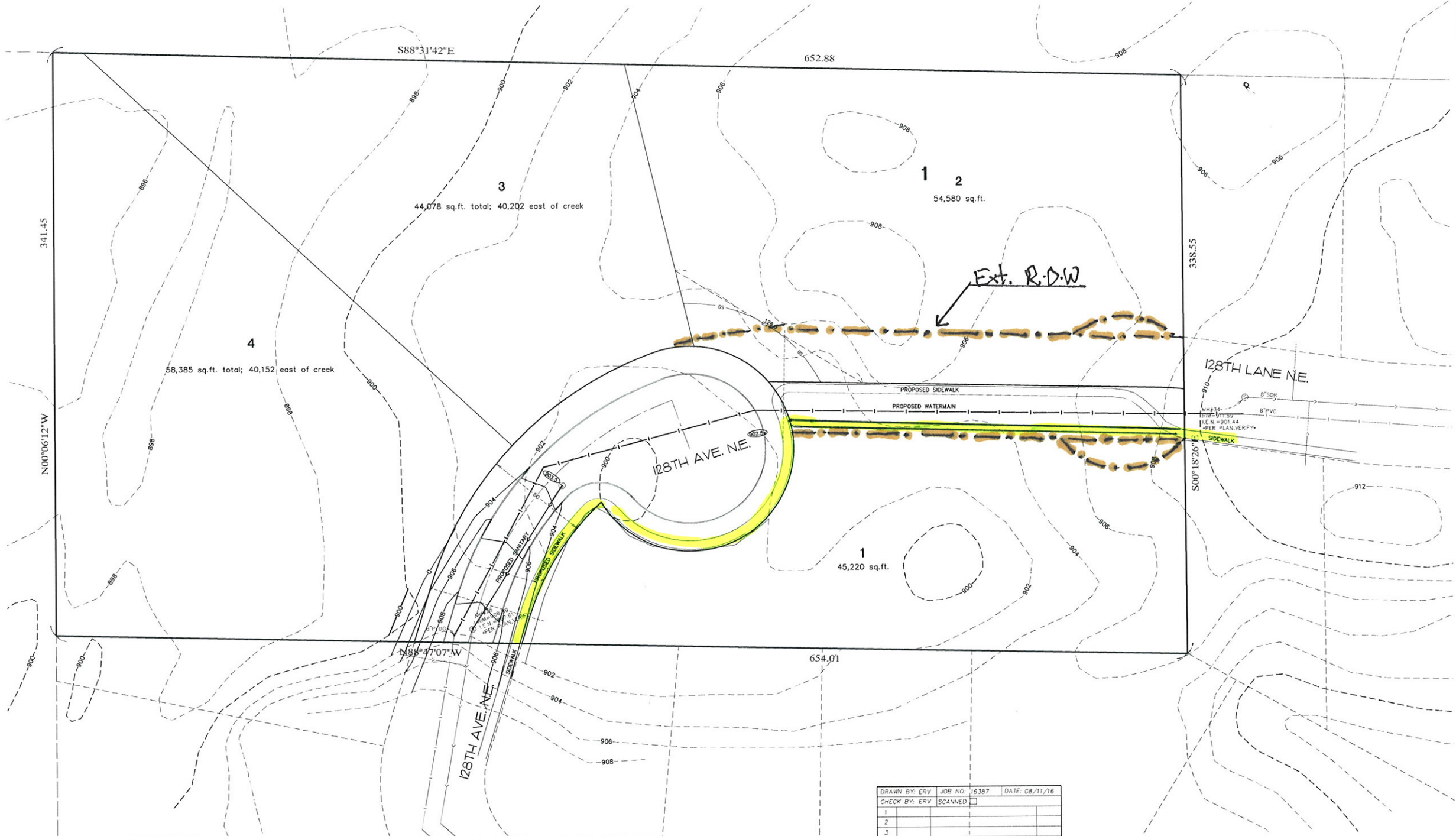
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 - DENOTES EXISTING ELEVATION.
 - DENOTES CONCRETE
 - DENOTES BITUMINOUS
 - DENOTES SOIL BORING



I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Registered Land Surveyor under the laws of the State of Minnesota.

ERIC R. VICKARYOUS
Date: XXXXX 2016 Reg. No. 44125

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JOB #16387

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DRAWN BY: ERV	JOB NO: 16387	DATE: 08/11/16
CHECK BY: ERV	SCANNED	
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NO.	DATE	DESCRIPTION
BY		