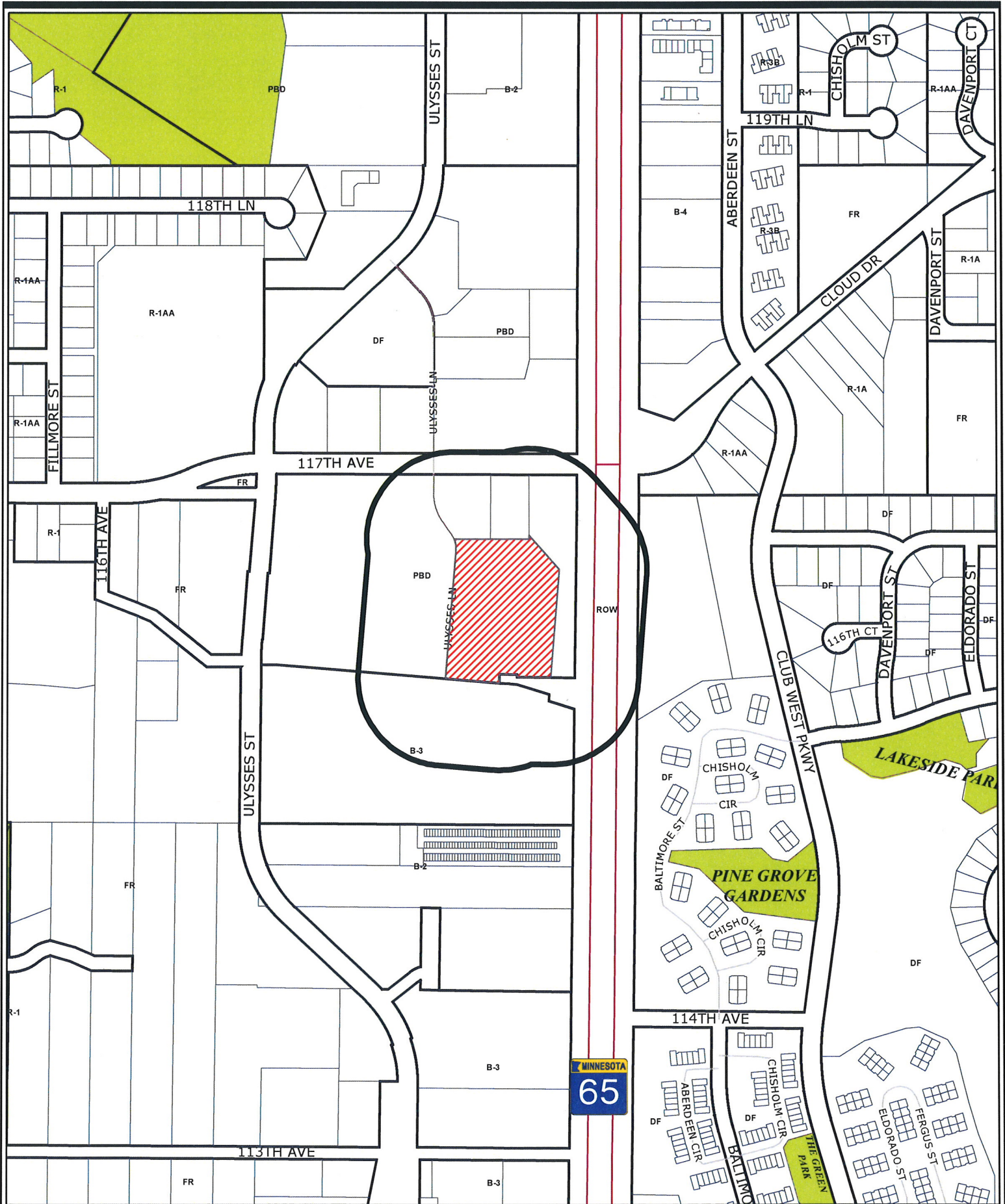




Case File No. 15-0069



Blaine Planning Department / 10801 Town Square Dr NE / Blaine, MN 55449 / (763) 785-6180



LOCATION
BLAINE, MN

[illegible]

PRELIMINARY
NOT FOR
CONSTRUCTION

11/6/2015 10:00:59 AM

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

DAN ELENBAAS

REGISTRATION NO.	DATE
44614	11/6/2015

SHEET TITLE:
SITE PLAN

SECRET NO.

C300

DRAWN BY TJR	 DLE
JOB NO. 700291	DATE 11/6/2015

1. CONTRACTOR MUST FIELD VERIFY THE LOCATIONS AND ELEVATIONS OF EXISTING CONDITIONS. THIS WOULD INCLUDE ALL EXISTING UTILITIES AND TOPOGRAPHIC FEATURES. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF ANY DISCREPANCIES OR VARIATIONS FROM THE PLANS.
2. ALL DIMENSIONS SHOWN ARE TO FACE OF CURB, FACE OF BUILDING, EDGE OF PAVEMENT, OR TO PROPERTY LINE UNLESS OTHERWISE NOTED.
3. PARKING STALLS TO BE 4" WHITE STRIPING PER MNDOT SPECS.
4. ALL CURB RADI ON ISLANDS TO BE 4.5 FEET UNLESS NOTED OTHERWISE.

	EXISTING	PROPOSED
ZONING	PBD	PBD
PERVIOUS AREA	214,140 SF	58,072 SF
IMPERVIOUS AREA	16,750 SF	172,818 SF
PERCENT IMPERVIOUS	7.3%	74.8%
EXPANSION PERVIOUS AREA		33,266 SF
EXPANSION IMPERVIOUS AREA		197,624 SF
EXPANSION PERCENT IMPERVIOUS		85.6%

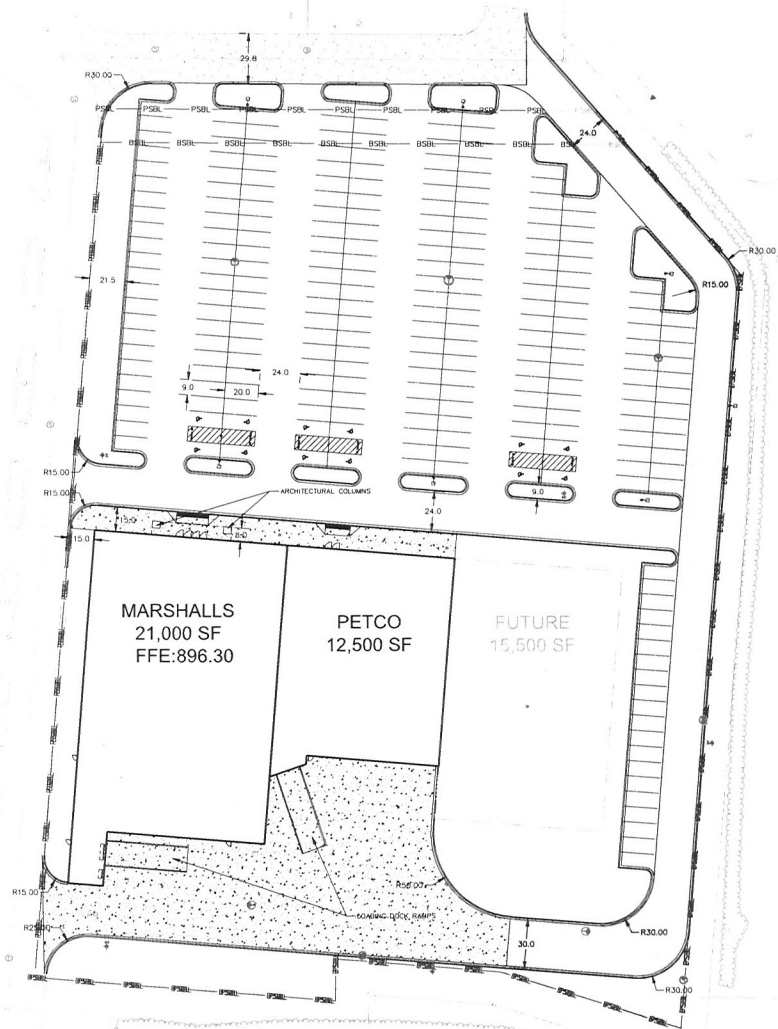
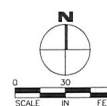
	BUILDING SETBACK	PARKING SETBACK
FRONT YARD	50'	30'
SIDE YARD	15'	15'
REAR YARD	20'	20'

NO MAXIMUM BUILDING HEIGHT

	EXISTING	PROPOSED
REG. PARKING STALLS	0	233
HANDICAP PARKING	0	12
MOTORCYCLE PARKING	0	0
BICYCLE PARKING	0	0
TRUCK PARKING	0	0
TOTAL PARKING STALLS	0	245
PROOF OF PARKING	0	0

RETAIL PARKING = 1 PER 200 SF OF GROSS FLOOR AREA

EXISTING	PROPOSED	
		PROPERTY BOUNDARY
		LOT/TRAFFIC LINE
		CURB
		EASEMENT
		BITUMINOUS
		HEAVY DUTY BITUMINOUS
		CONCRETE
		GRAVEL
		CHAIN LINK FENCE
		WOOD FENCE
		NORMAL WATER LEVEL
		HIGH WATER LEVEL
		BLOCK RETAINING WALL
		STONE RETAINING WALL
		TREE LINE
		STREET LIGHT
		TRAFFIC SIGNAL
		SIGN
		BOLLARD
		PROPERTY CORNER
		DECIDUOUS TREE
		CONIFEROUS TREE
		WELL
		BUILDING SETBACK LINE
		PARKING SETBACK LINE
		ADA ROUTE
		FLAG POLE
		TRUNCATED DOME
		CURB STOP
		BENCHMARK



STATE TRUNK HIGHWAY NO. 65 CENTRAL AVENUE

N.E. (VACATED)

PROJECT NAME
BLAINE RETAIL CENTER

LOCATION
BLAINE, MN

ISSUE RECORD		
ISSUE #	DATE	DESCRIPTION
1	11/6/2015	CITY SUBMITTAL

NOT FOR CONSTRUCTION

PLANT LIST				
	Common Name	Botanical Name	Qty	Size
Evergreen Trees				
	BLACK HILLS SPRUCE	Picea glauca var. densata	14	6' B&B
	COLORADO SPRUCE	Picea pungens	12	6' B&B
Deciduous Trees				
	AUTUMN GOLD GINKGO	Ginkgo biloba 'Autumn Gold'	3	2' B&B
	HACKBERRY	Celtis occidentalis	16	2.5' B&B
	HERITAGE OAK	Quercus x macrocarpa 'Cherokee'	4	2.5' B&B
	IVORY SILK LILAC	Syringa reticulata 'Ivory Silk'	11	2' B&B
	PURPLE PRINCE CRABAPPLE	Malus x 'Purple Prince'	15	2' B&B
	TRIUMPH ELM	Ulmus 'Morton Glossy'	3	2.5' B&B
Shrubs				
DBH	DWARF BUSH HONEYSUCKLE	Diervilla lonicera	117	5 GAL
HD	IVORY HALL DOGWOOD	Cornus alba 'Variegata'	84	5 GAL
LW	LITTLE DEVIL NINEBARK	Physocarpus opulifolius 'Dorothy May'	62	5 GAL
Perennials				
SAJ	AUTUMN JOY STONECROP SEDUM	Sedum 'Autumn Joy'	24	1 GAL
REB	BLACK-EYED SUSAN RUDBECKIA	Rudbeckia hirta 'Goldsturm'	40	1 GAL
NFG	KARL FOERSTER GRASS	Calamagrostis x souleyka 'Karl Foerster'	180	1 GAL
LGS	LANTERNS BLAZING STAR	Liatris spicata 'Blazing Star'	15	1 GAL
SP	PURPLE PASTEL AUTUMN SAGE	Salvia nemoralis 'Purple Pastel'	32	1 GAL

NOTES

- THE LANDSCAPE PLANT LIST IS FOR CONVENIENCE TO THE LANDSCAPE CONTRACTOR. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING PLANT COUNTS ON PLAN.
- ALL EXISTING PLANTINGS SHALL BE PROTECTED FROM CONSTRUCTION WITH FENCING. REFER TO DETAIL 15.50.
- ALL LANDSCAPED AREAS SHALL BE IRRIGATED, UNLESS OTHERWISE NOTED. LANDSCAPE CONTRACTOR SHALL SUBMIT A SHOP DRAWING OF IRRIGATION PLAN TO THE LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL.
- LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR WATERING PLANT MATERIAL UNTIL ESTABLISHED.
- ALL PLANTING AREAS SHALL RECEIVE 4" OF SHREDDED MULCH.
- LANDSCAPE CONTRACTOR SHALL REPAIR ALL DAMAGE TO THE SITE CAUSED BY THE PLANTING OPERATION AT NO COST TO OWNER.
- REFER TO L506 FOR SITE NOTES.
- REFER TO L501 FOR DETAILS.
- REFER TO SPIC5 FOR FURTHER INFORMATION.



0 20 40 FT

SHEET NO.
L400

DRAWN BY
GGW
JOB NO.
700291

CHECKED BY
KFP
DATE
11/6/2015

BUILDING LASTING RELATIONSHIPS

RYAN A+E, INC.
50 South Tenth Street, Suite 300
Minneapolis, MN 55403-2012
612-492-4000 tel
612-492-3000 fax

NELSON

Nelson Upper Midwest Operating Company, LLC
a licensed affiliate

1201 Marquette Avenue South, Suite 200
Minneapolis, MN 55403
Phone: (612) 822-1211
Fax: (612) 822-1006

[illegible][illegible]

	RYAN

Blaine Retail Center
Address #1
Address #2

Project Title & Address:

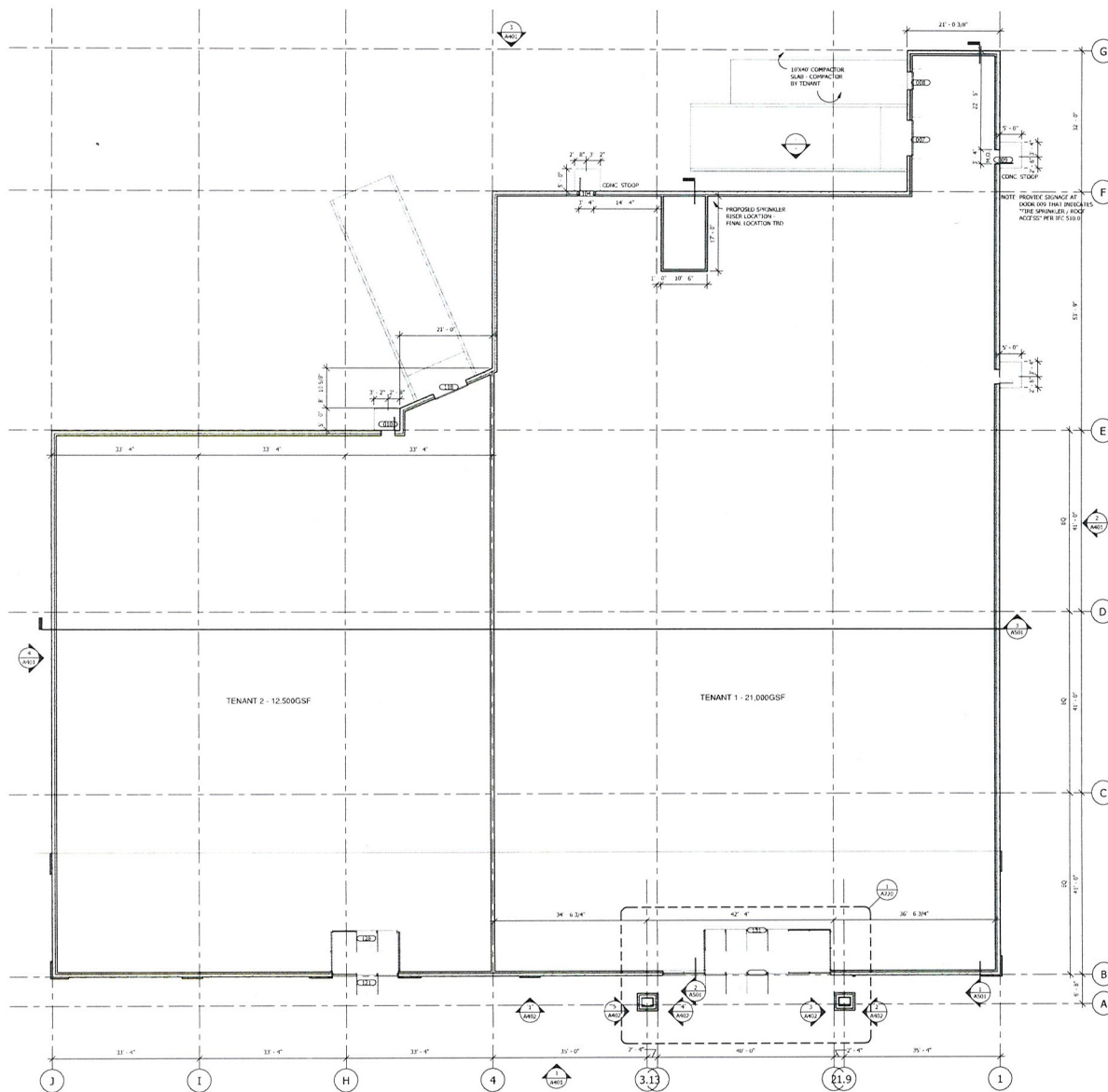
Goal

CONSTRUCTION PLAN

Sheet Title:		A201
Project No:	15 01365.00	
Drawn By:	Author	
Project Manager:	...	
Designer:	Designer	
Reviewed By:	Checker	
Approved By:	Approver	

ALL DIMENSIONS AND CONDITIONS MUST BE CHECKED AND VERIFIED ON SITE BY THE CONTRACTOR AND SUB-CONTRACTORS. THE PROJECT MANAGER SHALL BE NOTIFIED IN WRITING OF ANY DISCREPANCIES PRIOR TO PROCEEDING WITH THE WORK.

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FLOOR PLAN
3/32" = 1' 0"

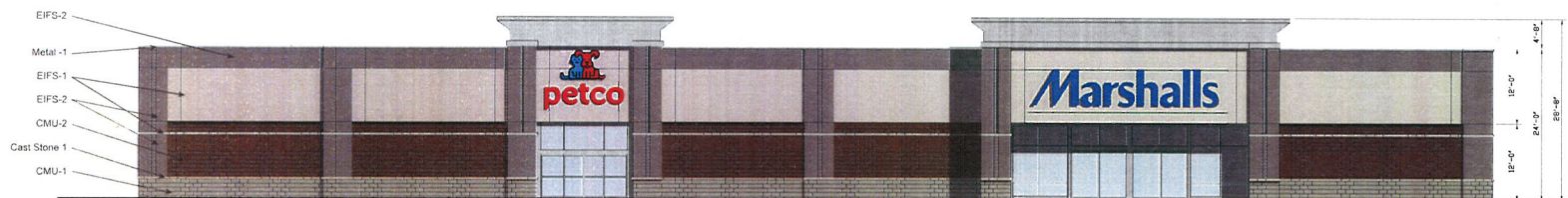
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50 South Tenth Street, Suite 300
Minneapolis, MN 55403-2012
612-492-4000 tel
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NELSON

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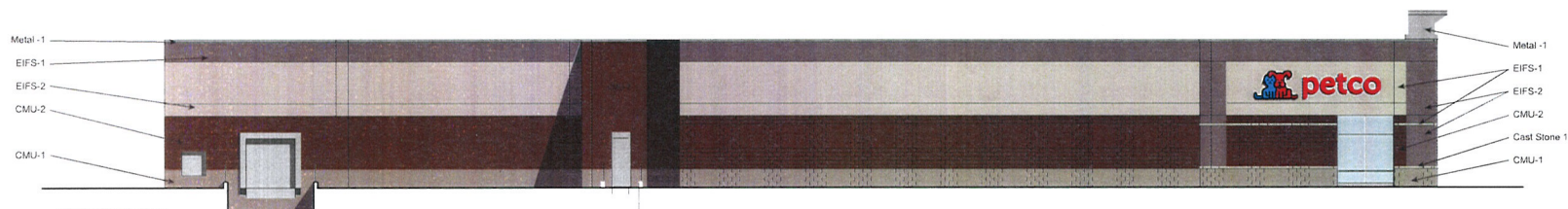
1201 Marquette Avenue South, Suite 200
Minneapolis, MN. 55403
Phone: (612) 822-1211
Fax: (612) 822-1006



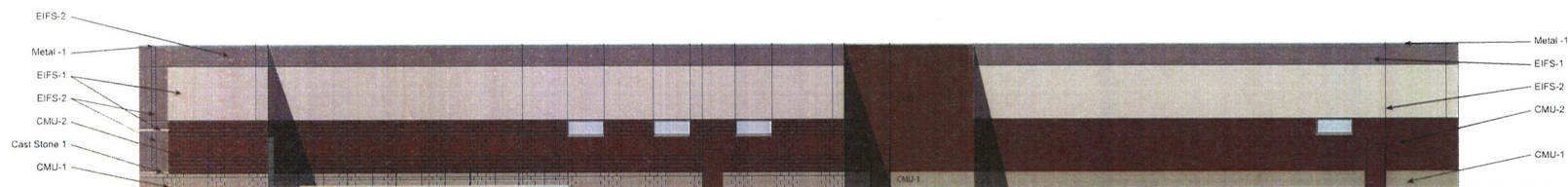
SOUTH ELEVATION
1/8" = 1'-0"



EAST ELEVATION



WEST ELEVATION
1/8" = 1'-0"



NORTH ELEVATION
1/8" = 1'-0"

MATERIAL KEY

-  Cast Stone 1
-  Integral Color CMU-1
-  Integral Color CMU-2
-  Integral Color CMU-3
-  Metal -1
-  EIFS-1
-  EIFS-2

EXTERIOR ELEVATIONS

Sheet Title

Project No:	15.01365.00
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Drawn By:
Project Manager:

Designer:	
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Reviewed By:

Approved By:

ALL DIMENSIONS IN INCHES

A401

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