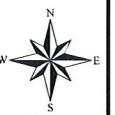
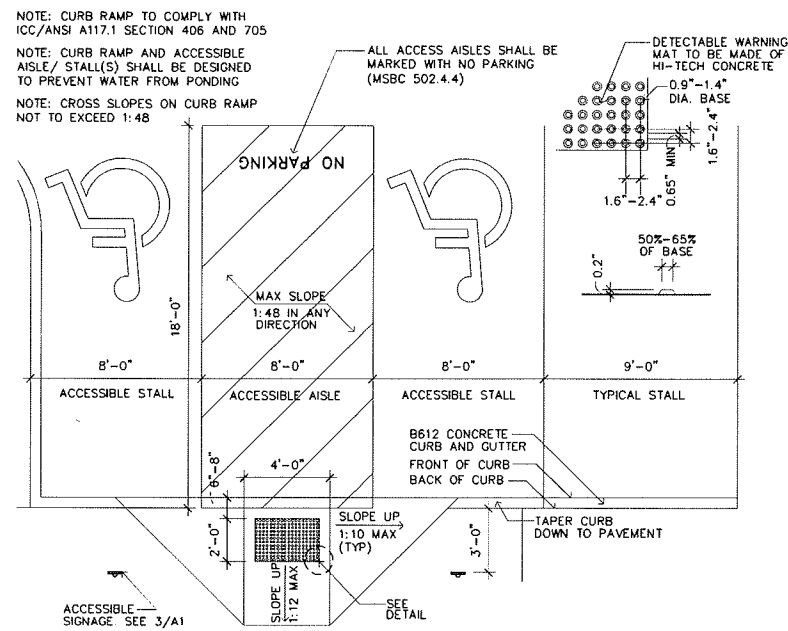


**Case File No. 15-0036**



Blaine Planning Department / 10801 Town Square Dr NE / Blaine, MN 55449 / (763) 785-6180



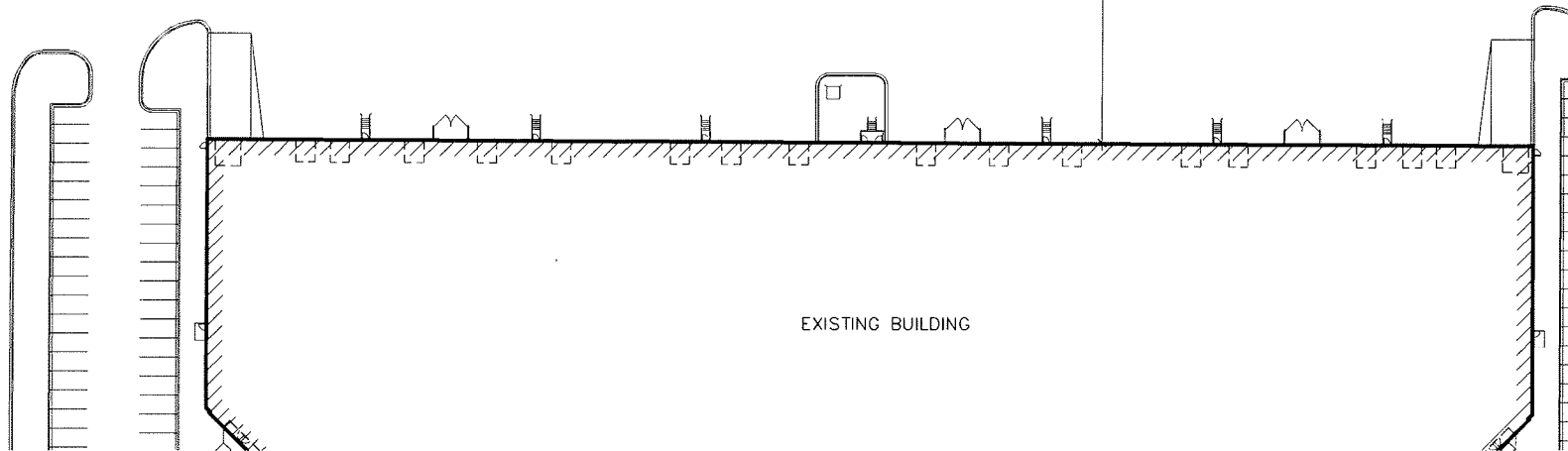
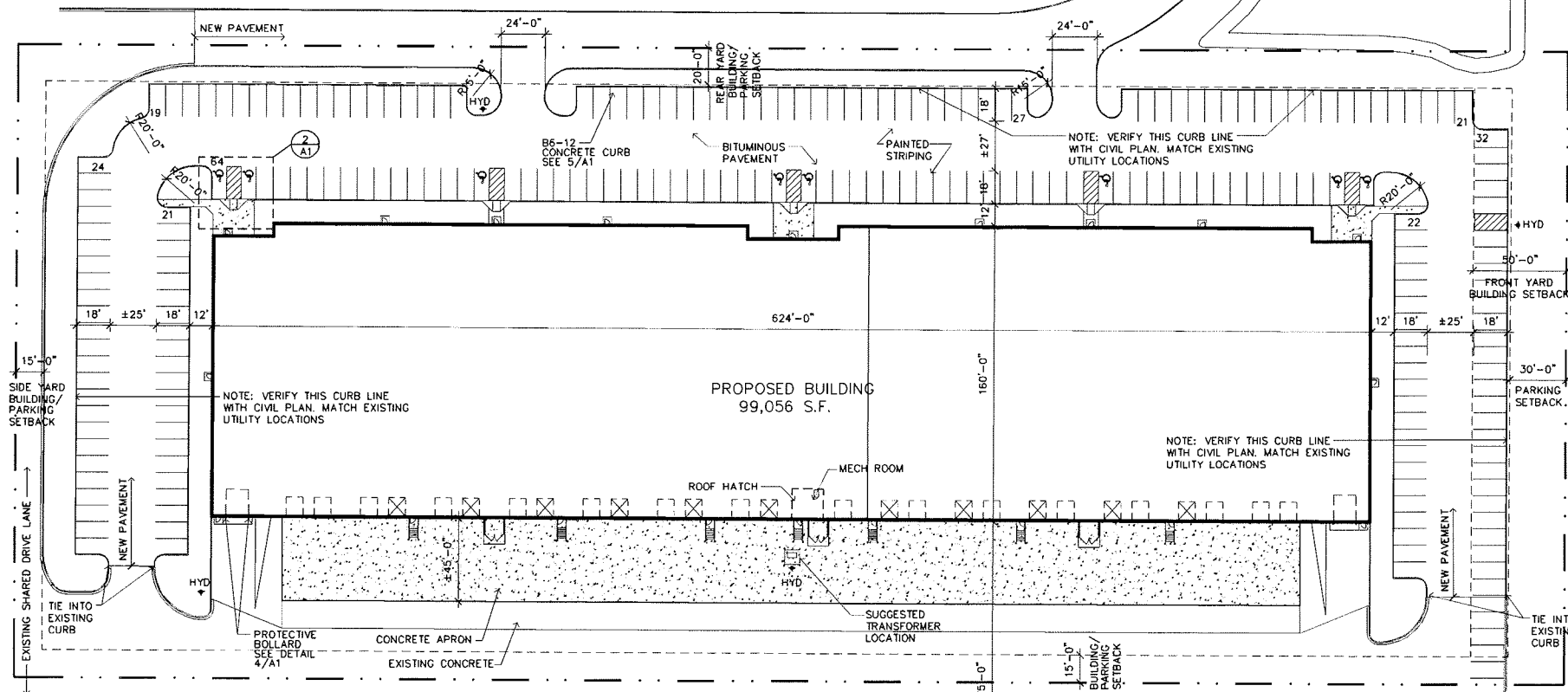


2 ACCESSIBLE CURB CUT  
 A1 SCALE: 1/4" = 1'-0"

3 ACCESSIBLE PARKING SIGN  
 A1 SCALE: 1" = 1'-0"

4 PROTECTIVE BOLLARD  
 A1 SCALE: 1/2" = 1'-0"

5 B6-12 CONCRETE CURB  
 A1 SCALE: 1/2" = 1'-0"



1 SITE PLAN  
 A1 SCALE: 1" = 40'-0"



**LAMPERT ARCHITECTS**

420 Summit Avenue  
 St. Paul, MN 55102  
 Phone: 763.755.1211 Fax: 763.757.2849  
 lampert@lampert-arch.com

ARCHITECT CERTIFICATION:  
 I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.

*Leonard Lampert*  
 SIGNATURE  
**LEONARD LAMPERT**  
 PRINT NAME  
 13669  
 LICENSE NO.  
 5/27/15  
 DATE

**UNITED PROPERTIES**

3600 American Blvd. W.  
 Suite 750  
 Bloomington, MN 55431  
 952-835-5300

**BLAINE PRESERVE  
 PHASE II  
 Blaine, Minnesota**

**HAMLIN AVENUE**

Copyright: 2015  
 Leonard Lampert Architects, P.A.

Project Designer: JAMES B  
 Drawn By: JRB  
 Checked By: LL

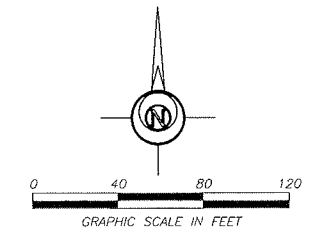
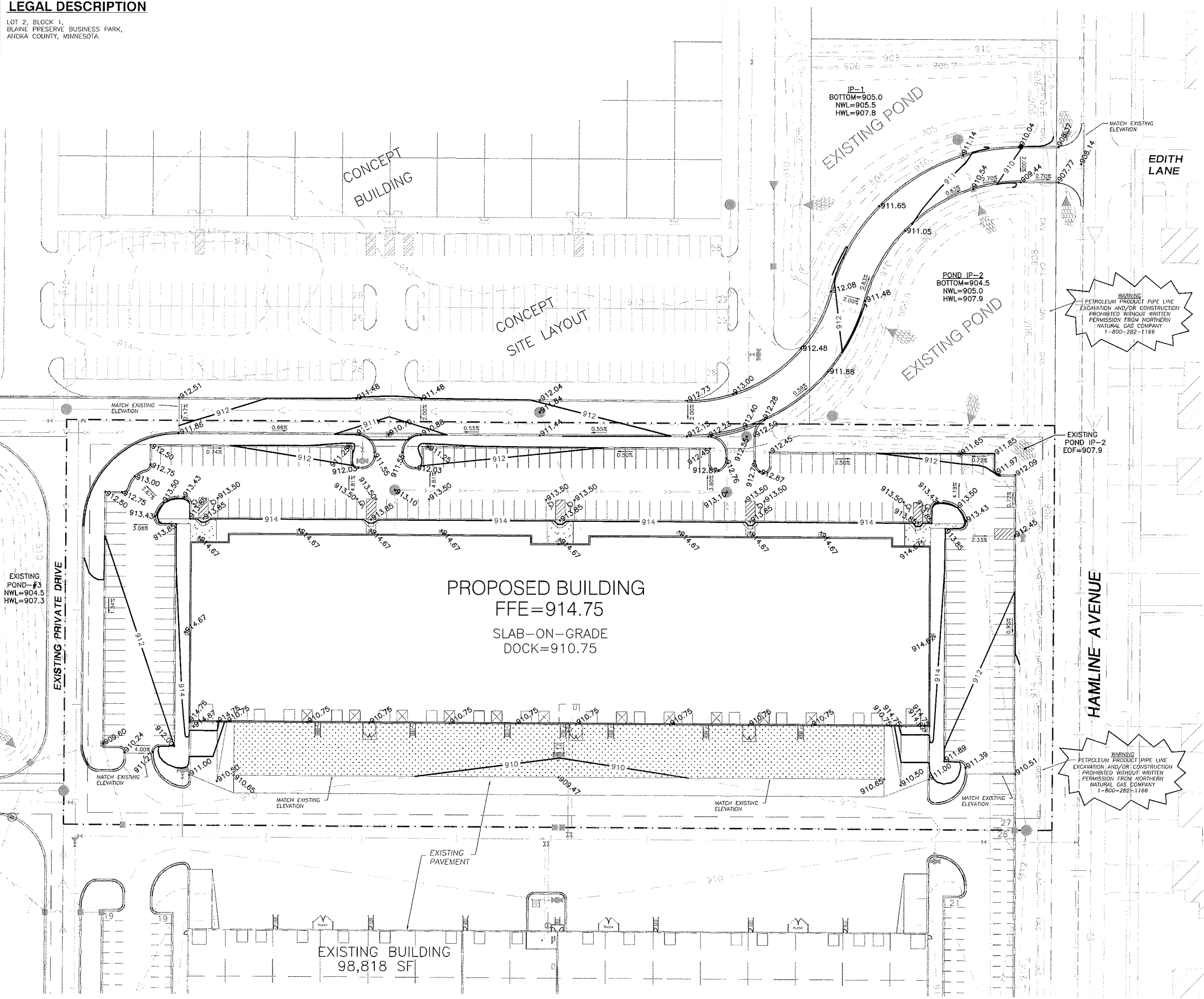
Revisions	
5/11/15	PRELIMINARY
5/27/15	ISSUE FOR PERMIT

**PROJECT LOCATION**

PART OF THE NE<sup>1</sup>/<sub>4</sub> of the SW<sup>1</sup>/<sub>4</sub>  
SECTION 26 TOWNSHIP 31, RANGE 23,  
ANOKA COUNTY, MINNESOTA.

**LEGAL DESCRIPTION**

LOT 2, BLOCK 1,  
BLAINE PRESERVE BUSINESS PARK,  
ANOKA COUNTY, MINNESOTA.



**BENCH MARK:**  
IN LIND LAKES, WEST ON TH 49 FROM JCT OF TH 49 AND FAI 35W THEN LT ON LILAC TO SUNSET AVE THEN LT ON SUNSET AVE TO FAI 35W, AT NW COR OF CO RD 12 (SUNSET AVE) BRDG OVER FAI 35, 20.0 FT WEST OF SUNSET AVE, 215 FT WEST OF QUADRRAL, 8.8 FT NORTH OF NW COR OF BRDG, 3.7 FT SOUTH OF WIT POST, 37.69 FT EAST OF RM 1, 223.23 FT NORTH OR RM 2.  
ELEV.=929.29 NAVD 88

- GENERAL GRADING NOTES:**
- Specifications applicable for this project: Current standard specifications for Blaine, MN, and the latest Minnesota Department of Transportation Specifications for Highway Construction and all NPDES requirements except where modified by these contract documents.
  - OSHA requirements shall be followed for all work on this project.
  - The Contractor shall notify "Gopher State One Call" 48 hours prior to any excavation (1-800-252-1166).
  - The Grading Contractor shall verify all locations and elevations of underground utilities with utility companies prior to any construction, and immediately notify the Engineer of any conflicts.
  - Erosion Control shall be constructed, as applicable, as sequenced below:
    - A. Silt Fence.
    - B. Rock Construction Entrance.
    - C. Demolition
    - D. Common excavation (grading).
    - E. Seed and mulch or sod (See notes on Landscape plan).
  - Final Plot shall govern for easements and lot dimensions.
  - Any erosion control items necessary to protect adjacent properties shall be constructed by the Grading Contractor.
  - Erosion control maintenance shall be performed by the Grading Contractor, and removed as per the Contract Documents or as directed by the Engineer, followed by all necessary restoration of disturbed area. This work shall be incidental to the grading contract.
  - The Grading Contractor shall schedule the soils engineer to facilitate certification of all controlled fills in a timely fashion. Densily tests shall meet the following:
    - A. Within the upper 3' of streets, the Grading Contractor shall utilize approved soils that are within 1% of the optimum moisture content as defined by the Standard Proctor Test-ASTM; D-698 with compaction meeting 100% Standard Proctor Density and not exceeding this compaction by more than 1%. Below the upper 3', compaction shall meet 95% Standard Proctor Density, and be within 3% of the optimum moisture content. Grading tolerances shall be 0.1'.
    - B. Grading tolerances for the remainder of the site shall be 0.25'.
  - All areas of unsuitable soils found in the pad described above that cannot be corrected shall be located in the field by the Grading Contractor. The Grading Contractor shall immediately notify the Engineer of these areas and provide information as to their size and location.
  - The Grading contractor shall provide positive drainage on the site at all times.
  - The Grading Contractor shall keep public streets and travel ways clear of soil and debris. Daily cleaning of the construction entrance shall be performed, especially at the end of each day's work.
  - All silt fence shall be removed at project completion.
  - All proposed elevations are at flow line unless otherwise noted.
  - All erosion control best manage practices shall be per City standards.

**WARNING**  
PETROLEUM PRODUCT PIPE LINE  
EXCAVATION AND/OR CONSTRUCTION  
PROHIBITED WITHOUT WRITTEN  
PERMISSION FROM NORTHERN  
NATURAL GAS COMPANY  
1-800-282-1166

**WARNING**  
PETROLEUM PRODUCT PIPE LINE  
EXCAVATION AND/OR CONSTRUCTION  
PROHIBITED WITHOUT WRITTEN  
PERMISSION FROM NORTHERN  
NATURAL GAS COMPANY  
1-800-282-1166

**PRELIMINARY  
NOT FOR  
CONSTRUCTION**

CLIENT:  
**UNITED  
PROPERTIES  
INVESTMENT,  
LLC**  
3500 American Blvd W  
Suite 200  
Bloomington, MN  
55431  
Brandon Champeau  
952-837-8653  
brandon.champeau  
@uproperties.com

**BLAINE PRESERVE  
BUSINESS PARK  
Lot 2, Block 1**  
Blaine, Minnesota  
**CUP PERMIT SUBMITTAL  
GRADING AND DRAINAGE PLAN**

*I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.*  
SourDak  
Date: 05/28/15 Reg. No. 24348  
PREPARED BY: **CIVIL ENGINEERING  
SITE DESIGN**  
118 East Broadway St.  
Monticello, MN 55362  
Phone: 763-374-0929  
www.civilsd.com

REVISIONS	VERTICAL SCALE 1 inch = _____ feet
DATE 05/28/14	HORIZONTAL SCALE 1 inch = 10.0 feet (SEE SHEET P&T-20)
DRAWN BY SD	
DESIGNED BY SD	
CHECKED BY SD	

FILE NO. 00550

**INDEX OF CIVIL SITE DRAWINGS:**

- C1 GRADING AND DRAINAGE PLAN
- C2 PAVING PLAN
- C3 SANITARY AND WATER UTILITY PLAN
- C4 STORM SEWER UTILITY PLAN
- C5 LANDSCAPE PLAN

**C1**  
Grading and  
Drainage Plan

**PROJECT LOCATION**

PART OF THE NE1/4 of the SW1/4,  
SECTION 26 TOWNSHIP 31, RANGE 23,  
ANOKA COUNTY, MINNESOTA.

**LEGAL DESCRIPTION**

LOT 2, BLOCK 1,  
BLAINE PRESERVE BUSINESS PARK,  
ANOKA COUNTY, MINNESOTA.

**PLANT LIST: Site Plantings - Building 2**

QTY.	KEY	BOTANICAL NAME	COMMON NAME	SIZE/ROOT
<b>TREES</b>				
4	ABM	Acer freemanii 'Jeffersred'	Autumn Blaze Maple	2-1/2" B&B
8	RRM	Acer platanoides 'Royal Red'	Royal Red Maple	2-1/2" B&B
5	SGM	Acer x freemanii 'Sienna'	Sienna Glen Maple	2-1/2" B&B
4	CH	Callis occidentalis	Common Huckleberry	2-1/2" B&B
6	SL	Cercisioa tricotincta inermis 'Suncoak'	Sunburst Honeylocust	2-1/2" B&B
16	AL	Lilium americanum	American Linden	2-1/2" B&B
5	GL	Lilium cordata 'Greenspire'	Greenspire Linden	2-1/2" B&B
TOTAL: 50				
24	BHS	Picea glauca densata	Black Hills Spruce	6'-0" S&B
8	CCS	Picea pungens	Colorado Green Spruce	6'-0" S&B
7	CBS	Picea pungens glauca	Colorado Blue Spruce	6'-0" S&B
11	AP	Pinus nigra	Austrian Pine	6'-0" S&B
TOTAL: 50				
9	PSC	Malus 'Pinkspire'	Pinkspire Crabapple	1-1/2" B&B
9	RC	Malus 'Royalty'	Royalty Crabapple	1-1/2" B&B
3	SDC	Malus 'Snowdrift'	Snowdrift Crabapple	1-1/2" B&B
9	JTL	Syringa reticulata	Japonica Tree Lilac	1-1/2" B&B
16	NV	Viburnum lentago	Nannyberry, tree form	1-1/2" B&B
TOTAL: 50				
<b>SHRUBS</b>				
4	CB	Berberis thunbergii atropurpurea 'C.P.'	Crimson Pymy Barberry	2 Gal. Pot
2	DW	Euonymus alatus 'Compacta'	Dwarf Winged Euonymus	5 Gal. Pot
8	AH	Hydrangea arborescens 'Annabelle'	Annabelle Hydrangeas	5 Gal. Pot
15	DN	Physocarpus opulifolius 'Monia'	Diablo Ninebark	5 Gal. Pot
12	LP	Spiraea japonica 'Little Princess'	Little Princess Spirea	3 Gal. Pot
28	GM	Spiraea x bumalda 'Goldmound'	Goldmound Spirea	3 Gal. Pot
10	SJ	Juniperus sabinia 'Scandia'	Scandia Juniper	5 Gal. Pot
81	TY	Taxus x media 'tauntonii'	Taunton Yew	5 Gal. Pot
TOTAL: 161				
<b>PERENNIALS &amp; ORNAMENTAL GRASSES</b>				
12	KFG	Cotoneaster acutiflorus 'Karl Forester'	Karl Forester Feather Reed Grass	2 Gal. Pot
76	H	Hosta, select several species	Paul's Glory, Abn-margnata, September Sun Hosta	2 Gal. Pot

**PLANTING NOTES:**

Contractor shall provide one year guarantee of all plant materials. The guarantee begins on the date of the Landscape Architect's written acceptance of the initial planting. Replacement plant materials shall also have a one year guarantee commencing upon planting.

All plants to be northern-grown and hardy.

Plants to be installed as per standard AAN planting practices.

Use minimum 12" loam planting soil on trees and 6" on shrubs.

Contractor shall verify locations with all utilities prior to installation of plants.

All landscaping and sod areas shall be irrigated with an underground sprinkler.

Staking of trees optional, reposition if not plumb after one year.

Wrap all smooth-barked trees- fasten top and bottom. Remove by April 1.

Open top of burlap on BB materials; remove pot on potted plants; split and break apart root balls.

Prune plants as necessary - per standard nursery practices.

Owner shall be responsible for maintenance after acceptance of the work by the Owner.

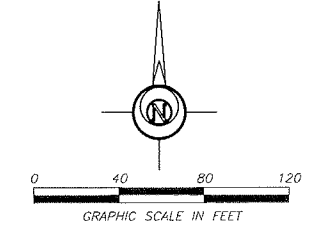
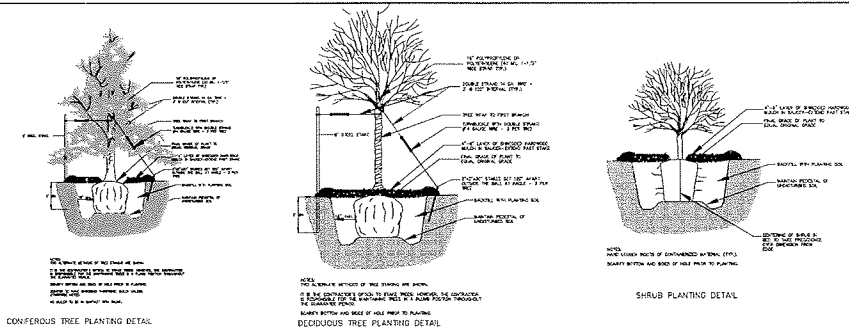
Plants shall be immediately planted upon arrival at site. Properly heel-in materials if necessary, temporary only.

All disturbed areas to be sodded unless otherwise noted. Sod shall be northern grown and hardy.

Planting beds for shrubs shall have (4 oz. min.) weed barrier fabric, 4" - 6" of 1-1/2" washed River Rock mulch and 4" vertical (commercial grade) black poly edging. The edging shall be placed and staked with smooth curves.

A 24" wide rock mulch maintenance strip shall be installed around the entire building. Maintenance strip shall have weed barrier fabric under rock and edged with commercial edging. Shredded hardwood mulch 4" deep shall be provided around all installed trees.

Retaining walls are not the responsibility of the Landscape Architect. Contact the Project Engineer for details, locations, materials, and specifications for all retaining walls.



**BENCH MARK:**  
IN LIND LAKES, WEST ON TH 49 FROM JCT OF TH 49 AND FAI 35W THEN LT ON LILAC TO SUNSET AVE THEN LT ON SUNSET AVE TO FAI 35W, AT NW COR OF CO RD 12 (SUNSET AVE) BRDG OVER FAI 35, 20.0 FT WEST OF SUNSET AVE, 21.5 FT WEST OF GUARDRAIL, 8.8 FT NORTH OF NW COR OF BRDG, 3.7 FT SOUTH OF WIT POST, 37.69 FT EAST OF RM 1, 223.23 FT NORTH OR RM 2.

ELEV.=929.29 NAVD 88

**REQUIRED PLANT MATERIALS**

BASED ON PERIMETER OF PLAT = 3045 LINEAR FEET  
BASED ON BUILDING AREAS = 99,840 S.F. x 2 = 199,680 S.F.

THE AMOUNT OF REQUIRED LANDSCAPING IS BASED ON WHICH CALCULATION GENERATES THE GREATER AMOUNT OF PLANT MATERIALS.

BUILDING AREA GENERATES A HIGHER COUNT.

1 OVERSTORY TREE : 2000 S.F. BUILDING AREA = 100 TREES  
1 EVERGREEN TREE : 2000 S.F. BUILDING AREA = 100 TREES  
1 ORNAMENTAL TREE : 2000 S.F. BUILDING AREA = 100 TREES  
1 SHRUB : 300 S.F. BUILDING AREA = 666 SHRUBS

REQUIRED PLANTINGS PER BUILDING (99,840 SF)

1 OVERSTORY TREE : 2000 S.F. BUILDING AREA = 50 TREES  
1 EVERGREEN TREE : 2000 S.F. BUILDING AREA = 50 TREES  
1 ORNAMENTAL TREE : 2000 S.F. BUILDING AREA = 50 TREES  
1 SHRUB : 300 S.F. BUILDING AREA = 333 SHRUBS

PROVIDED PLANTINGS PER BUILDING (99,840 SF)

1 OVERSTORY TREE : 2000 S.F. BUILDING AREA = 50 TREES  
1 EVERGREEN TREE : 2000 S.F. BUILDING AREA = 50 TREES  
1 ORNAMENTAL TREE : 2000 S.F. BUILDING AREA = 50 TREES  
1 SHRUB : 300 S.F. BUILDING AREA = 334 SHRUBS

**BRODSHO CONSULTING**  
698 NORTH-BRIDGES COURT  
LADAN, MN 55123  
PHONE: 651-655-8023  
FAX: 651-456-5748

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

*Debra Stiller*

REG. NO. 23849 DATE 5-28-15

CLIENT:  
**UNITED PROPERTIES INVESTMENT, LLC**  
3500 American Blvd W  
Suite 200  
Bloomington, MN 55431  
Brandon Champeau  
952-837-8653  
brandon.champeau@uproperties.com

**BLAINE PRESERVE BUSINESS PARK**  
Lot 2, Block 1  
Blaine, Minnesota  
CUP PERMIT SUBMITTAL LANDSCAPE PLAN

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

*Scott Dalka*

Date: 05/28/15 Reg. No. 24,348  
PREPARED BY: CIVIL ENGINEERING SITE DESIGN  
118 East Broadway St.  
Monticello, MN 55662  
Phone: 763-314-0829  
www.civildesign.com

REVISIONS	DATE	BY	SD	DESIGNED BY	SD	CHECKED BY	SD
	05/28/14		SD				

VERTICAL SCALE  
1 inch = \_\_\_\_\_ feet

HORIZONTAL SCALE  
1 inch = 40.0 feet  
(FULL SIZE SHEET PL. X 36)

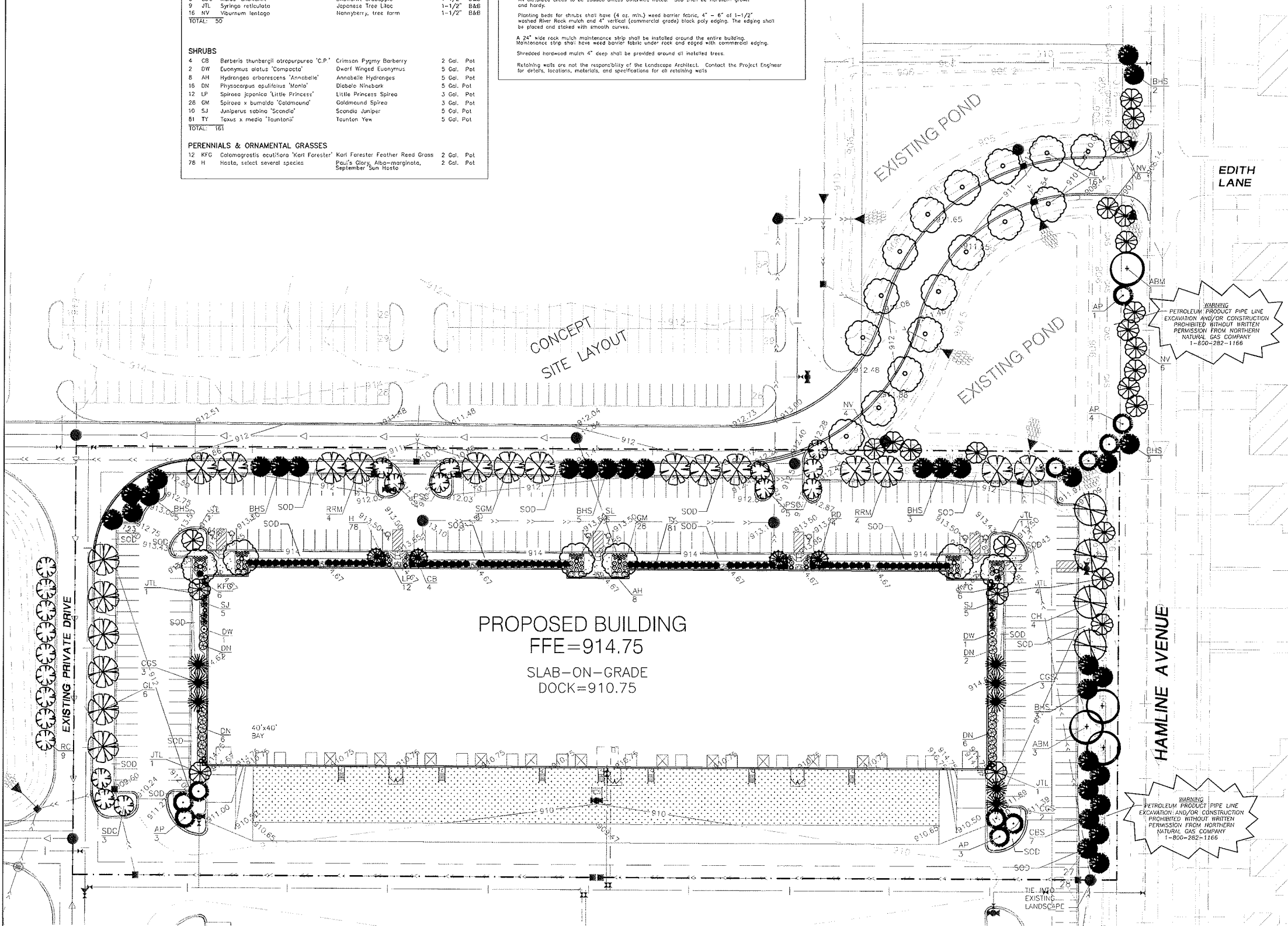
PRELIMINARY NOT FOR CONSTRUCTION

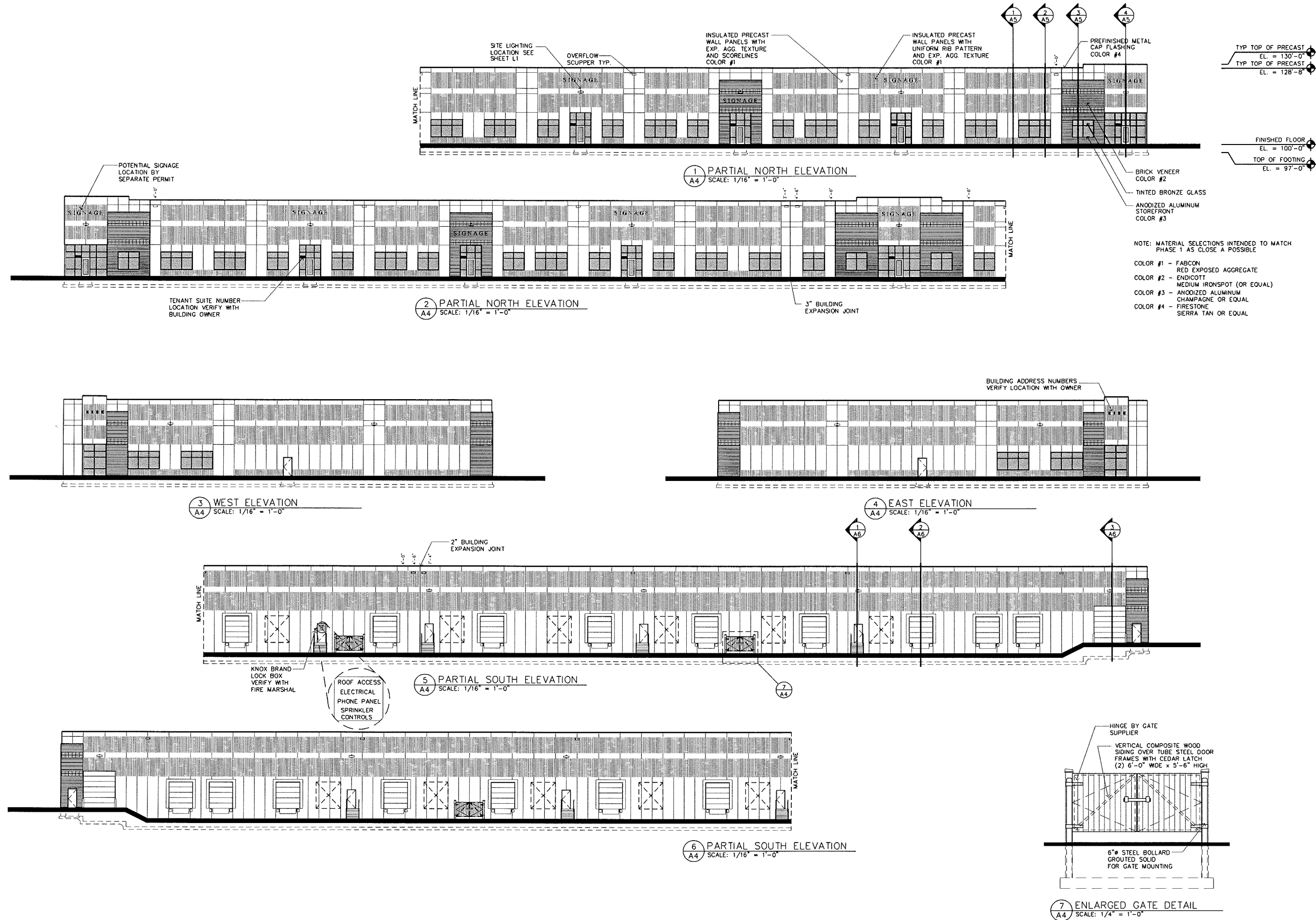
**INDEX OF CIVIL SITE DRAWINGS:**

C1 GRADING AND DRAINAGE PLAN  
C2 PAVING PLAN  
C3 SANITARY AND WATER UTILITY PLAN  
C4 STORM SEWER UTILITY PLAN  
C5 LANDSCAPE PLAN

FILE NO. 00550

**C5**  
Landscape Plan







**LAMPERT ARCHITECTS**

420 Summit Avenue  
St. Paul, MN 55102  
Phone: 763.755.1211 Fax: 763.757.2849  
lampert@lampert-arch.com

---

**ARCHITECT CERTIFICATION:**  
 I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.

*Leonard Lampert*  
 SIGNATURE  
**LEONARD LAMPERT**  
 PRINT NAME  
 13669  
 LICENSE NO.  
 5/27/15  
 DATE

---



**UNITED PROPERTIES**

3600 American Blvd. W.  
Suite 750  
Bloomington, MN 55431  
952-835-5300

**BLAINE PRESERVE**

**PHASE II**

Blaine, Minnesota

Copyright 2015  
 Leonard Lampert Architects, P.A.  
 Project Designer: JAMES B  
 Drawn By: JRB  
 Checked By: LL

Revisions

5/11/15	PRELIMINARY
5/27/15	ISSUE FOR PERMIT