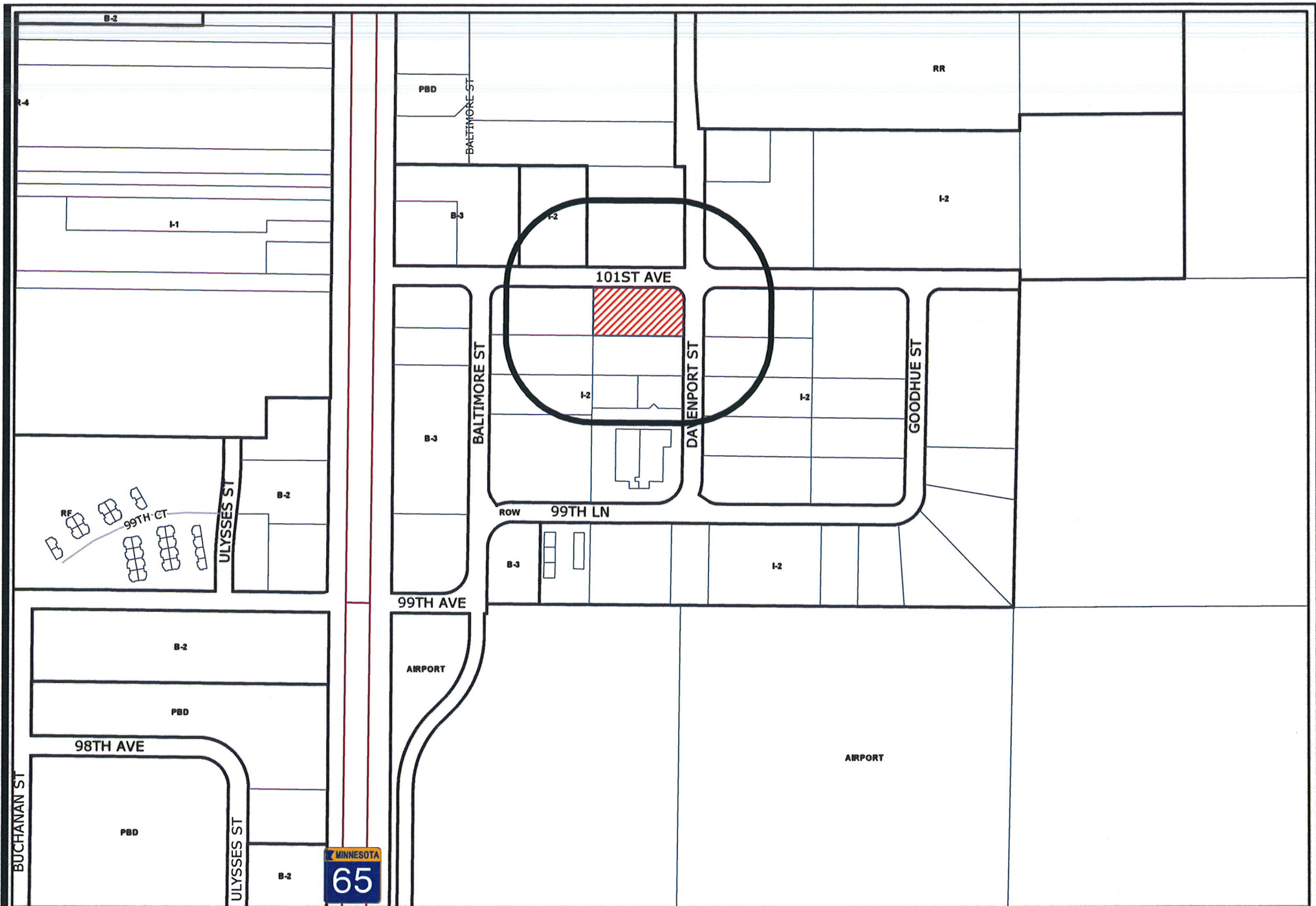




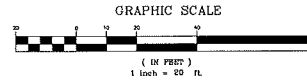
Case File No. 15-0007

Blaine Planning Department / 10801 Town Square Dr NE / Blaine, MN 55449 / (763) 785-6180



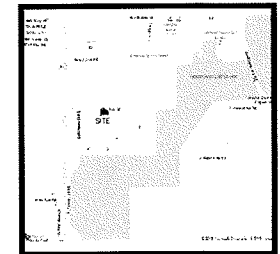
CERTIFICATE OF SURVEY

~for~ CLASSIC CONSTRUCTION
~of~ 10070 DAVENPORT STREET



VICINITY MAP

PART OF SEC. 29, TWP. 31, RING. 23



ANOKA COUNTY, MINNESOTA
(NO SCALE)

LEGEND

- DENOTES IRON MONUMENT FOUND AS LABELED
- DENOTES IRON MONUMENT SET, MARKED RLS# 41578
- DENOTES CATCH BASIN
- DENOTES GAS METER
- DENOTES EXISTING SPOT ELEVATION
- DENOTES LIGHT POLE
- DENOTES TELEPHONE PEDESTAL
- DENOTES CABLE PEDESTAL
- DENOTES ELECTRICAL BOX
- DENOTES STORM SEWER APRON
- DENOTES MET LAND (NO FORMAL DELINEATION)
- DENOTES WOVEN WIRE FENCE
- DENOTES RETAINING WALL
- DENOTES EXISTING CONTOURS (1 FOOT INTERVAL)
- DENOTES TREE LINE
- DENOTES EXISTING SANITARY SEWER
- DENOTES EXISTING WATER MAIN
- DENOTES UNDERGROUND ELECTRIC LINE
- DENOTES UNDERGROUND GAS LINE
- DENOTES UNDERGROUND CABLE LINE
- DENOTES UNDERGROUND TELEPHONE LINE
- DENOTES CONCRETE SURFACE
- DENOTES BITUMINOUS SURFACE

TREE DETAIL

- DENOTES ELEVATION
- DENOTES TREE QUANTITY
- DENOTES TREE SIZE IN INCHES
- DENOTES TREE TYPE

LEGAL DESCRIPTION

Lot 1, Block 2, BLAINE INDUSTRIAL SQUARE, Anoka County, Minnesota.

DRAWN BY: BPN	JOB NO. 1374781	DATE: 11/4/13
CHECK BY: JTR	SCANNED []	
1		
2		
3		
NO.	DATE	DESCRIPTION

1374781

101ST AVENUE N.E.
(PUBLIC STREET)

BLOCK 2

DAVENPORT STREET NE
(PUBLIC STREET)

BENCHMARK

TOP NUT HYDRANT AT THE NE CORNER OF
101ST AVENUE AND DAVENPORT STREET
ELEVATION = 905.57 (NOV 29)

NOTES

- Field survey was completed by E.G. Rud and Sons, Inc. on 10/24/13.
- Bearings shown are on the Anoka County coordinate system.
- Curb shots are taken at the top and back of curb.
- This survey was prepared without the benefit of title work. Additional easements, restrictions and/or encumbrances may exist other than those shown hereon. Survey subject to revision upon receipt of a current title commitment or an attorney's title opinion.
- Utilities shown per Gopher One Locate, Ticket Number 13291672.

I hereby certify that this survey, plan
or report was prepared by me or under
my direct supervision and that I am
a duly Registered Land Surveyor under
the laws of the State of Minnesota.

JASON F. RUD

Date: 11/4/13 License No. 41578

E.G. RUD & SONS, INC.
Professional Land Surveyors
6776 Lake Drive NE, Suite 110
Lino Lakes, MN 55014
Tel. (651) 361-8200 Fax (651) 361-8701

GENERAL NOTES

THE INFORMATION SHOWN ON THESE DRAWINGS CONCERNING TYPE AND LOCATION OF EXISTING UTILITIES IS NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIS OWN DETERMINATION AS TO TYPE AND LOCATION OF UTILITIES AS NECESSARY TO AVOID DAMAGE TO THESE UTILITIES.

CALL "811" FOR EXISTING UTILITIES LOCATIONS PRIOR TO ANY EXCAVATIONS.

THE CONTRACTOR SHALL FIELD VERIFY SIZE, ELEVATION, AND LOCATION OF EXISTING SANITARY SEWER, STORM SEWER, AND WATER MAIN AND NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO THE START OF INSTALLATIONS.

INSTALLATIONS SHALL CONFORM TO THE CITY STANDARD SPECIFICATIONS AND DETAIL PLATS.

THE CONTRACTOR SHALL NOTIFY CITY PUBLIC WORKS DEPARTMENT A MINIMUM OF 24 HOURS PRIOR TO THE INTERRUPTION OF ANY SEWER OR WATER SERVICES TO EXISTING HOMES OR BUSINESSES.

STORAGE OF MATERIALS OR EQUIPMENT SHALL NOT BE ALLOWED ON PUBLIC STREETS OR WITHIN PUBLIC RIGHT-OF-WAY.

NOTIFY CITY A MINIMUM OF 48 HOURS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.

ALL ELECTRIC, TELEPHONE, AND GAS EXTENSIONS INCLUDING SERVICE LINES SHALL BE CONSTRUCTED TO THE APPROPRIATE UTILITY COMPANY SPECIFICATIONS. ALL UTILITY DISCONNECTIONS SHALL BE COORDINATED WITH THE APPROPRIATE UTILITY COMPANY.

CURB & BITUMINOUS NOTES

REMOVAL AND DISPOSAL OF EXISTING STREET MATERIALS AS REQUIRED FOR CONSTRUCTION IS CONSIDERED INCIDENTAL.

SAW-OUT EXISTING BITUMINOUS AND CONCRETE CURB TO PROVIDE BUTT-JOINT.

LEGAL DESCRIPTION

Lot 1, Block 2, BLAINE INDUSTRIAL SQUARE, Anoka County, Minnesota

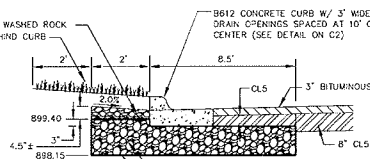
SITE INFO & WATER QUALITY CALCS

SITE AREA = 1.63 ACRES
EXISTING IMPERVIOUS AREA = 0.88 ACRES
PROPOSED IMPERVIOUS AREA = 1.08 ACRES
NET INCREASE IN IMPERVIOUS AREA = 0.18 ACRES

DISTURBED AREA = 0.4 ACRES

REQUIRED WATER QUALITY VOLUME
(0.18 ACRES) $\left(\frac{43,560 \text{ SQ. FT.}}{1 \text{ ACRE}} \right) \left(\frac{1.00 \text{ IN.}}{12 \text{ IN.}} \right) = 653 \text{ CF}$

PROPOSED WATER QUALITY VOLUME
(10.5 FT) (1 FT) (148 FT) (40%)
+ (2 FT) $\left(\frac{4,725 \text{ IN.}}{12 \text{ IN./FT.}} \right) (148 \text{ FT}) (40\%) = 664 \text{ CF}$

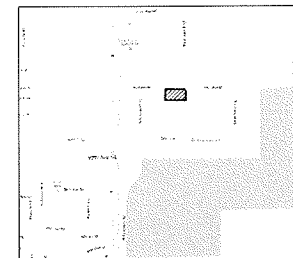


INFILTRATION TRENCH SECTION A-A

LEGEND

930 928	EXISTING CONTOUR	928 930	PROPOSED CONTOUR
x 899.99	EXISTING SPOT ELEVATION	M 920.60	PROPOSED SPOT ELEVATION
927.13	EXISTING SPOT ELEVATION (WATCH FOR ELEVATION)		OUTSIDE DRAINING SURFACE, SO GRADING SURFACE (UNLESS OTHERWISE NOTED)
	EXISTING BITUMINOUS	S	PROPOSED SILT FENCE
	EXISTING BITUMINOUS (TO BE REMOVED)	4.0%	PROPOSED DIRECTION OF DRAINAGE
			PROPOSED BITUMINOUS
			PROPOSED CONCRETE
			PROPOSED RP-PAP
	EXISTING TREES		
	EXISTING TREES (TO BE REMOVED)		
	EXISTING FENCE		
	EXISTING WE'LAND		

VICINITY MAP



N.T.S.

GRADING, DRAINAGE, & EROSION CONTROL PLAN
10070 DAVENPORT STREET



DRAWN BY: C.W.P.
CHECKED BY: C.W.P.
PROJ. NO.: 13-1450
ORIGINAL DATE: AUGUST 7, 2014

DATE	REVISION DESCRIPTION
01.05.15	ADDED DRIVEWAY AND DRIVEWAY
01.05.15	ADDED DRIVEWAY AND DRIVEWAY
01.05.15	ADDED DRIVEWAY AND DRIVEWAY
01.05.15	ADDED DRIVEWAY AND DRIVEWAY
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01.05.15	ADDED DRIVEWAY AND DRIVEWAY
01.05.15	ADDED DRIVEWAY AND DRIVEWAY
01.05.15	ADDED DRIVEWAY AND DRIVEWAY

This is to certify that this plan was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.
DATE: 01.05.2015
LIC. NO.: 11927

10070 DAVENPORT STREET
BLAINE, MINNESOTA
GRADING, DRAINAGE, & EROSION CONTROL PLAN

PREPARED FOR:
CLASSIC
CONSTRUCTION

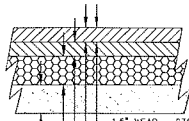
811 PLANNING & ENGINEERING
PLOWE ENGINEERING, INC.
6778 LAKE DRIVE
SUITE 110
LINO LAKES, MN 55014
PHONE: (651) 361-4219
FAX: (651) 361-4219

NORTH
0 10 20
1 INCH = 20 FEET

C1

LEGEND

EXISTING CONTOUR	PROPOSED CONTOUR
EXISTING SPOT ELEVATION	PROPOSED SPOT ELEVATION
EXISTING SPOT ELEVATION (WATER INTO ELEVATION)	EXISTING BITUMINOUS
EXISTING BITUMINOUS	EXISTING BITUMINOUS (TO BE REMOVED)
EXISTING TREES	EXISTING TREES (TO BE REMOVED)
EXISTING FENCE	EXISTING WEIRAND
	PROPOSED BITUMINOUS
	PROPOSED CONCRETE
	PROPOSED RIP-RAP
	PROPOSED DIRECTION OF DRAINAGE

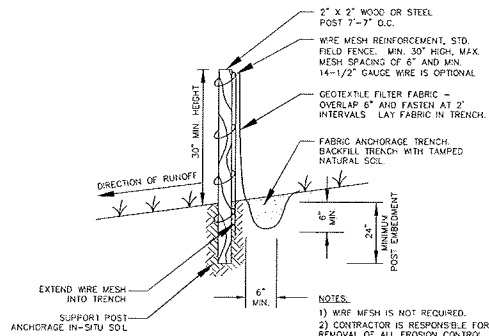


1.5" WEAR - 2360
WEAR COURSE MIXTURE B (LVHC4503C3)
ORDINARY COMPACTION METHOD
TACK COAT, MNDOT 2357
2" BASE - 2360
NON-WEAR COURSE MIXTURE B (LVHC4503C3)
ORDINARY COMPACTION METHOD
6" AGG. BASE, CL 5 OR CL 6
MNDOT 3138
SPECIAL DENSITY COMPACTION METHOD
APPROVED GRANULAR SUBBASE AS
DETERMINED BY GEOTECHNICAL ENGINEER

PAVING SHALL CONFORM TO THE LATEST EDITION OF MNDOT'S
STANDARD SPECIFICATIONS FOR CONSTRUCTION AND THE CITY'S
STANDARDS FOR STREET AND UTILITY CONSTRUCTION.
GEOTECHNICAL ENGINEER TO REVIEW ON-SITE SOILS AND PAYMENT
SECTION PRIOR TO ANY INSTALLATIONS.

PROPOSED BITUMINOUS

NOT TO SCALE



EROSION CONTROL FENCE

NOT TO SCALE



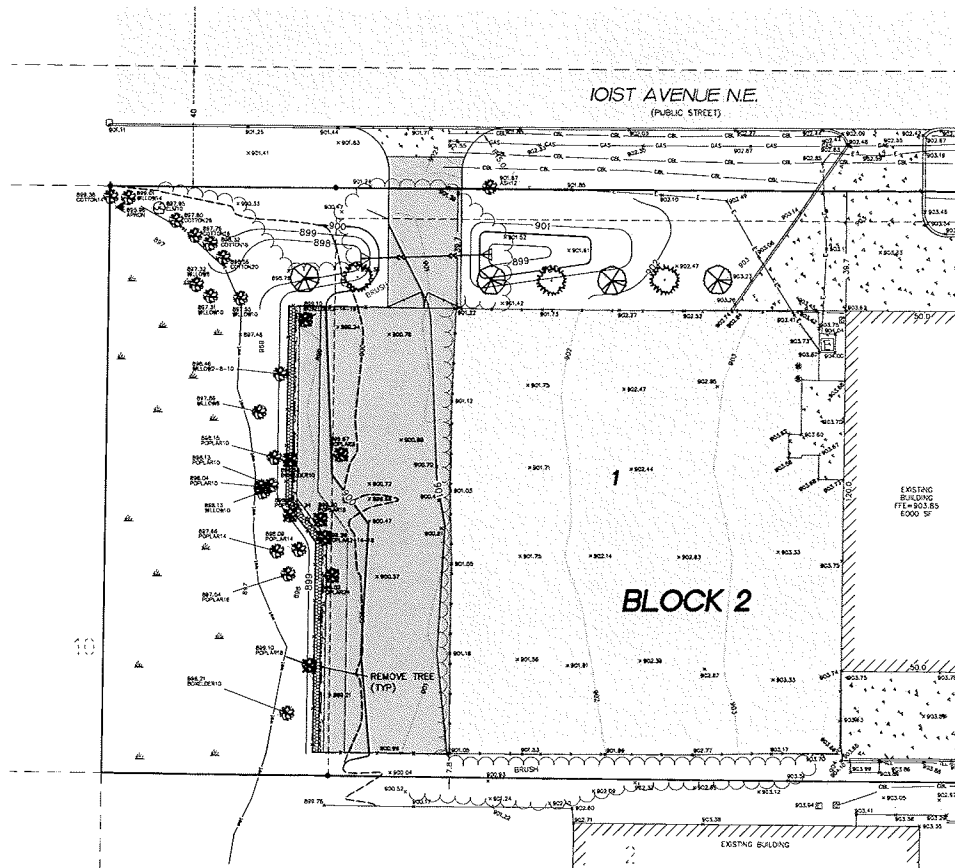
B612 CONCRETE CURB AND GUTTER

NOT TO SCALE



CURB DRAIN OPENING

NOT TO SCALE



PROPOSED TREES			
SYMBOL	NAME	QTY	SIZE AT INSTALL
EVERGREEN TREES			
	BLACK HILLS SPRUCE (PICEA CAUDATA DENSATA)	3	6\"/>



Know what's below.
Call before you dig.

TREE REMOVALS / PLANTING PLAN & DETAILS
10070 DAVENPORT STREET

DESIGNED BY: C.W.P.
CHECKED BY: C.W.P.
ORIGINAL DATE: AUGUST 7, 2014

DATE: 01.06.15
REVISION DESCRIPTION
01.06.15: ADDED DRIVEWAY AND DRIVEWAY
01.13.15: ADDED SITE INFO & ADDITIONAL ESC NOTES
01.16.15: CITY COMMENTS

THIRTY COPY SET OF THIS PLAN WAS PREPARED BY THE
DESIGNER AND DELIVERED TO THE CITY OF MINNESOTA
ON 01.16.15. THE CITY OF MINNESOTA IS NOT RESPONSIBLE
FOR THE ACCURACY OF THE INFORMATION PROVIDED.
DATE: 01.16.2015 L.C. NO. 10227

10070 DAVENPORT STREET
BLAINE, MINNESOTA
TREE REMOVALS / PLANTING
PLAN & DETAILS

PREPARED FOR:
CLASSIC
CONSTRUCTION

811
PLOWE
ENGINEERING, INC.
678 LAKE DRIVE
SUITE 110
LINO LAKE, MN 55014
PHONE: (813) 361-0210
FAX: (813) 361-0211

NORTH
0 10 20
1 INCH = 20 FEET

C2

Map



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