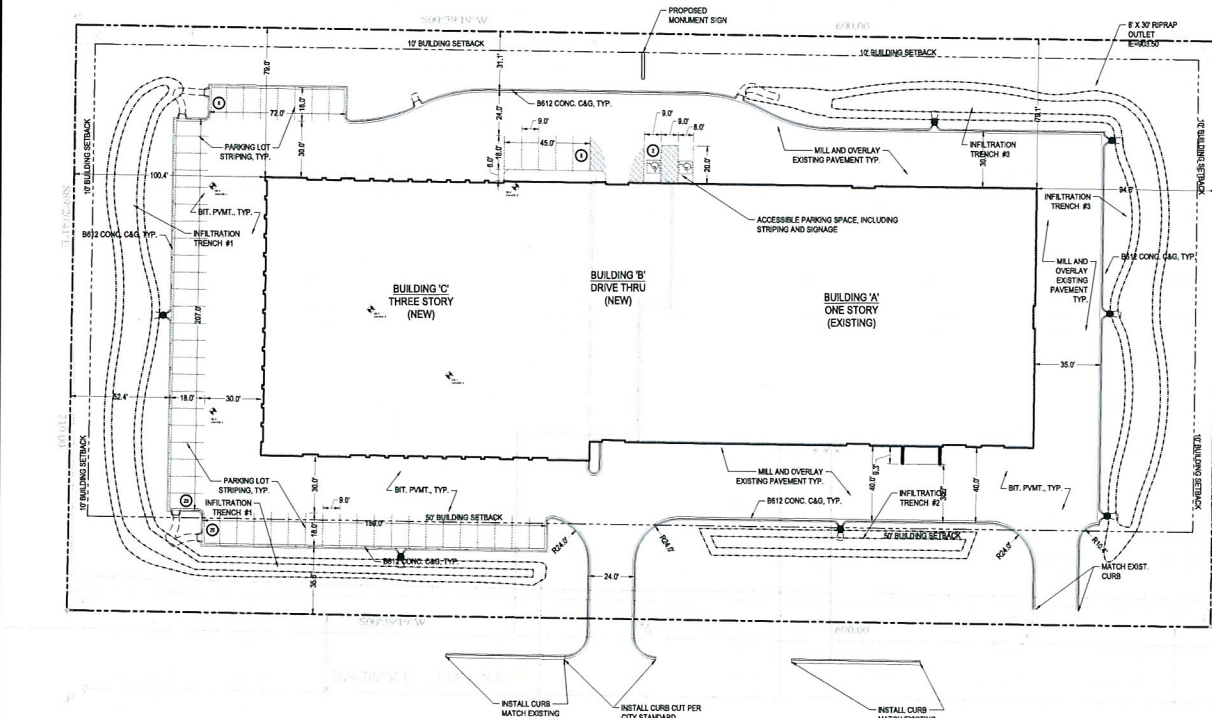


**Case File No. 14-0011**

Blaine Planning Department / 10801 Town Square Dr NE / Blaine, MN 55449 / (763) 785-6180







**SITE LAYOUT NOTES:**

- CONTRACTOR SHALL VERIFY LOCATIONS AND LAYOUT OF ALL SITE ELEMENTS PRIOR TO BEGINNING CONSTRUCTION, INCLUDING BUT NOT LIMITED TO, LOCATIONS OF EXISTING AND PROPOSED PROPERTY LINES, EASEMENTS, SETBACKS, UTILITIES, BUILDINGS AND PAVEMENTS. CONTRACTOR IS RESPONSIBLE FOR FINAL LOCATIONS OF ALL ELEMENTS FOR THE SITE. ANY REVISIONS REQUIRED AFTER COMMENCEMENT OF CONSTRUCTION, DUE TO LOCATION, ADJUSTMENTS SHALL BE CORRECTED AT NO ADDITIONAL COST TO OWNER. ADJUSTMENTS TO THE LAYOUT SHALL BE APPROVED BY THE ENGINEER/LANDSCAPE ARCHITECT PRIOR TO INSTALLATION OF MATERIALS. STAKE LAYOUT FOR APPROVAL.
- THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS PRIOR TO CONSTRUCTION, INCLUDING A RIGHT-OF-WAY AND STREET OPENING PERMIT.
- THE CONTRACTOR SHALL VERIFY RECOMMENDATIONS NOTED IN THE GEO-TECHNICAL REPORT PRIOR TO INSTALLATION OF SITE IMPROVEMENT MATERIALS.
- CONTRACTOR SHALL FIELD VERIFY COORDINATES AND LOCATION DIMENSIONS OF THE BUILDING AND STAGE FOR REVIEW AND APPROVAL BY THE OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION OF FOOTING MATERIALS.
- LOCATIONS OF STRUCTURES, ROADWAY PAVEMENTS, CURBS AND GUTTERS, BOLLARDS, AND WALKS ARE APPROXIMATE AND SHALL BE STAKED IN THE FIELD, PRIOR TO INSTALLATION, FOR REVIEW AND APPROVAL BY THE ENGINEER/LANDSCAPE ARCHITECT.
- CURB DIMENSIONS SHOWN ARE TO FACE OF CURB. BUILDING DIMENSIONS ARE TO FACE OF CONCRETE FOUNDATION. LOCATION OF BUILDING IS TO BUILDING FOUNDATION AND SHALL BE AS SHOWN ON THE DRAWINGS.
- THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OR SAMPLES AS SPECIFIED FOR REVIEW AND APPROVAL BY THE ENGINEER/LANDSCAPE ARCHITECT PRIOR TO FABRICATION FOR ALL PREFABRICATED SITE IMPROVEMENT MATERIALS SUCH AS, BUT NOT LIMITED TO THE FOLLOWING: FURNISHINGS, PAVEMENTS, WALLS, RAILINGS, BENCHES, FLAMPOLES, LANDING PADS FOR CURB RAMPS, AND LIGHT POLES. THE OWNER RESERVES THE RIGHT TO REQUEST INSTALLED MATERIALS NOT PREVIOUSLY APPROVED.
- PEDESTRIAN CURB RAMPS SHALL BE CONSTRUCTED WITH TRUNCATED CONE LANDING AREAS IN ACCORDANCE WITH A.D.A. REQUIREMENTS-SEE DETAIL.
- CROSSWALK STRIPING SHALL BE 24" WIDE WHITE PAINTED LINE, SPACED 40" ON CENTER PERPENDICULAR TO THE FLOW OF TRAFFIC. WIDTH OF CROSSWALK SHALL BE 6' WIDE. ALL OTHER PAVEMENT MARKINGS SHALL BE WHITE IN COLOR UNLESS OTHERWISE NOTED OR REQUIRED BY ADA OR LOCAL GOVERNING BODIES.
- CURBS AND GUTTER TYPE SHALL BE B612 UNLESS OTHERWISE NOTED ON THE DRAWINGS-LAYER BETWEEN CURB TYPES-SEE DETAIL.
- ALL CURB RADI ARE MINIMUM 2' UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL REFER TO FINAL PLAN FOR LOT BOUNDARIES, NUMBERS, AREAS AND DIMENSIONS PRIOR TO SITE IMPROVEMENTS.
- FIELD VERIFY ALL EXISTING SITE CONDITIONS, DIMENSIONS.
- PARKING IS TO BE SET PARALLEL OR PERPENDICULAR TO EXISTING BUILDING UNLESS NOTED OTHERWISE.
- ALL PARKING LOT PAINT STRIPING TO BE WHITE 4" WIDE TYP.
- ALL TREES THAT ARE TO REMAIN ARE TO BE PROTECTED FROM DAMAGE WITH A CONSTRUCTION FENCE AT THE DRIP LINE. SEE LANDSCAPE DOCUMENTS.

**CITY OF BLAINE NOTES:**

- OWNER SHALL SECURE AN ENCROACHMENT AGREEMENT WITH THE CITY FOR ENCROACHMENT BY THE TRASH ENCLOSURE INTO THE EXISTING SANITARY SEWER EASEMENT ALONG THE NORTH SIDE OF THE PROPERTY.
- CONTRACTOR SHALL CONTACT CITY INSPECTIONS DIVISION TO REVIEW PROJECT PRIOR TO COMMENCEMENT OF WORK.
- PROVIDE "NO PARKING FIRE LANE" SIGNS PER CITY STANDARD FOR DESIGN AND SPACING, ALONG ALL CURBS WHERE YELLOW "NO PARKING" PAINT IS APPLIED, SEE SITE PLAN.

**PERMITTING NOTES:**

- CONTRACTOR SHALL SECURE A DEMOLITION PERMIT PRIOR TO COMMENCEMENT OF WORK, INCLUDING PERMIT AND COORDINATION WITH MPSCA FOR REMOVAL OF UNDERGROUND FUEL STORAGE TANKS.
- OWNER SHALL PROVIDE AN ACCESS/DEWALK EASEMENT(S) FOR PORTIONS OF WALKS WHICH ACT AS THE "PUBLIC WAY" BUT ARE NOT LOCATED WITHIN PUBLIC RIGHT-OF-WAY.
- OWNER SHALL SECURE A CONSTRUCTION AND ACCESS EASEMENT AND/OR PERMIT FROM MPOC FOR SIDEWALKS THAT ARE TO BE CONSTRUCTED WITHIN MPOC RIGHT-OF-WAY.

ZONING: B 3 - REGIONAL COMMERCIAL  
SITE AREA: 185,998.5 SF ( 4.27 AC)  
SITE PERIMETER (SP): 1,820.0 LF

	EXIST	PROP
IMPERVIOUS AREA	123,469.4 SF ( 2.84 AC)	56,232.4 SF ( 1.3 AC)
PAVEMENTS	31,079.0 SF ( 0.73 AC)	56,977.3 SF ( 1.31 AC)
GROSS BLDG COVERAGE (GBC)	155,148.4 SF ( 3.57 AC)	113,209.7 SF ( 2.6 AC)
TOTAL	83.4%	60.9%
% OF TOTAL SITE AREA		

AREA OF CONSTRUCT. DISTURBANCE 106,517.1 SF ( 2.45 AC)

**PARKING:**

- 58 PARKING STALLS (INCLUDING 2 ACCESSIBLE)

**LEGEND:**

- CONCRETE PAVEMENT AS SPECIFIED (PAD OR WALK)
- DECORATIVE PAVEMENT AS SPECIFIED
- ROCK MAINTENANCE STRIP
- HEAVY DUTY BITUMINOUS PAVEMENT
- ACCESSIBLE PARKING PAVEMENT MARKING
- PROPERTY LINE
- CURB & GUTTER - T.O. = TIP-OUT GUTTER
- UTILITY OR ACCESS EASEMENT
- CURB SECTIONS TO BE PAINTED YELLOW TO INDICATE "NO PARKING"
- SIGN AND POST ASSEMBLY, SHOP DRAWINGS REQUIRED.
- NO ACCESSIBLE SIGN
- NO PARKING FIRE LANE
- ST + STOP
- CC - COMPACT CAR PARKING ONLY

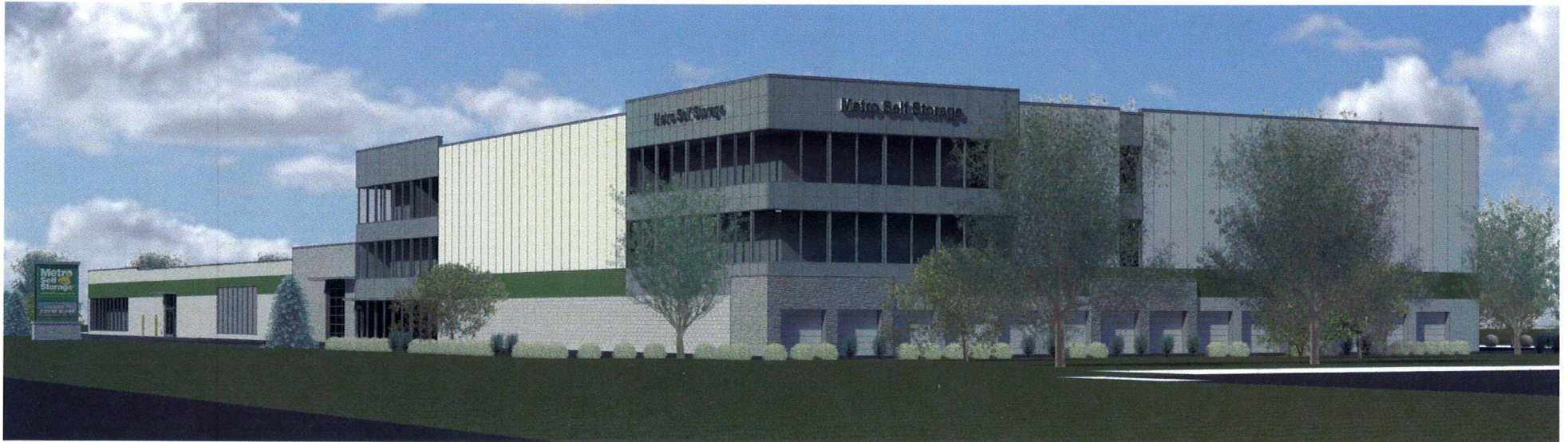


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## METRO STORAGE

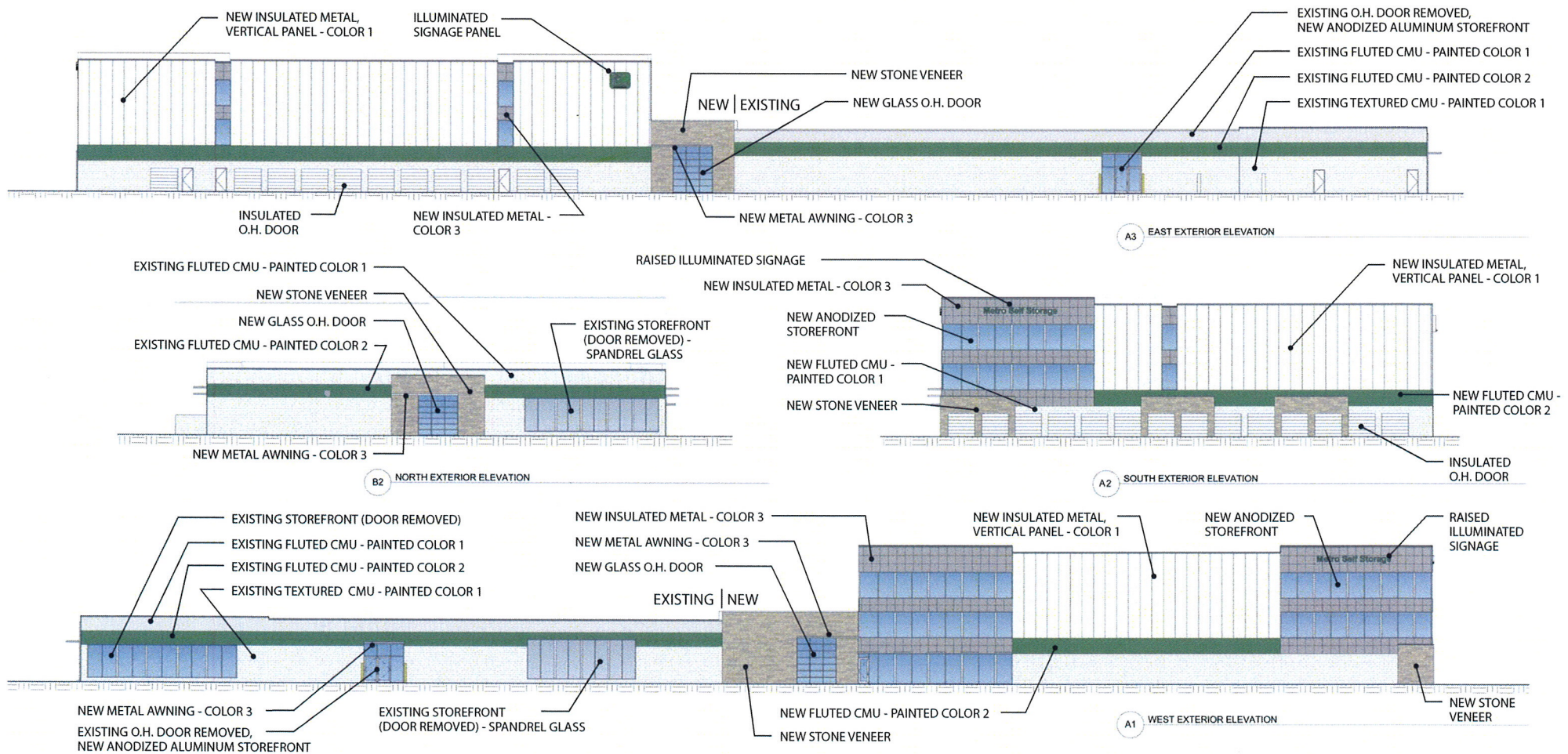
Blaine, Minnesota

3-24-2014

Perspective

114-0001.0





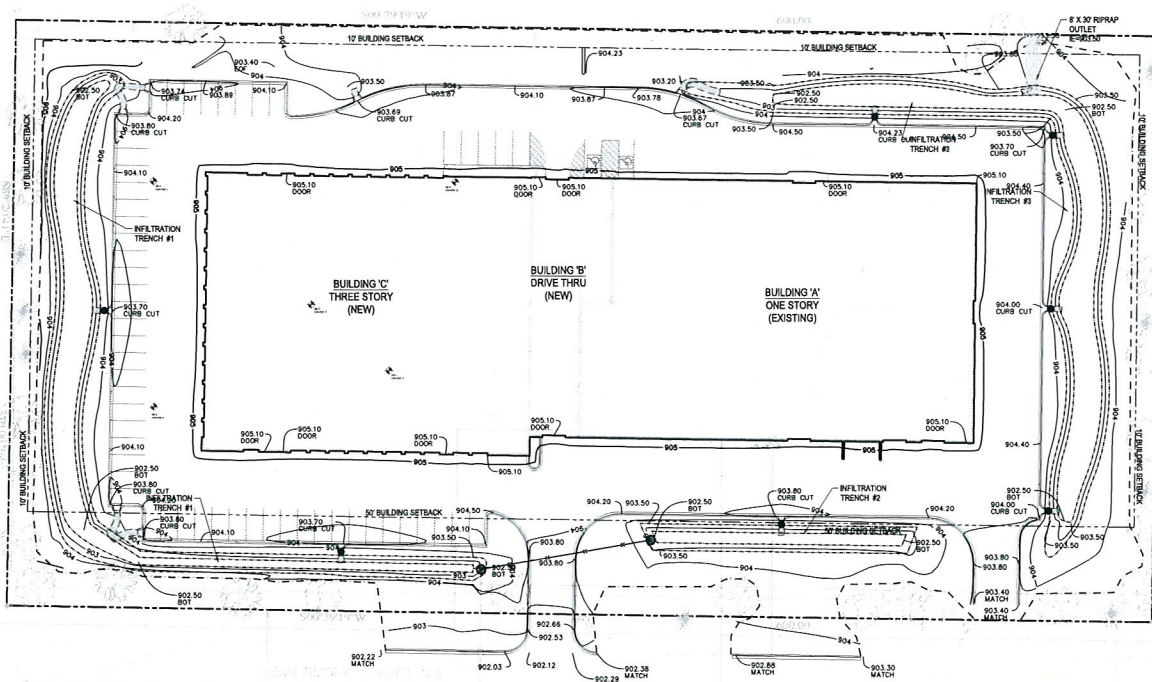
## METRO STORAGE

Blaine, Minnesota

3-24-2014

### Exterior Elevations

114-0001.0



#### GRADING NOTES:

- SEE SITE PLAN FOR HORIZONTAL LAYOUT
- CONTRACTOR SHALL REFER TO RECOMMENDATIONS IN THE GEOTECHNICAL REPORT FOR ANY ADDITIONAL SITE PREPARATION INFORMATION, SOIL CORRECTION, TYPE OF BACKFILL OR REQUIREMENTS
- EXCAVATION AND EMBANKMENT ACTIVITIES SHALL BE PERFORMED IN ACCORDANCE WITH THE GEOTECHNICAL REPORT RECOMMENDATIONS
- GRADING AND EXCAVATION ACTIVITIES SHALL BE PERFORMED IN ACCORDANCE WITH THE NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT REQUIREMENTS & PERMIT REQUIREMENTS OF THE CITY
- THE CONTRACTOR SHALL SCHEDULE SITE WORK TO MINIMIZE THE DISTURBED AREA AT ANY GIVEN TIME
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTENANCE OF GRADE STAKES THROUGHOUT THE DURATION OF CONSTRUCTION TO ESTABLISH PROPER GRADES. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR A FINAL FIELD CHECK OF FINISHED GRADES ACCEPTABLE TO THE ENGINEER/LANDSCAPE ARCHITECT PRIOR TO TOP-SOIL AND SOODING ACTIVITIES
- EXCESS FILL MATERIAL SHALL BE REMOVED AND LEGALLY DISPOSED OF BY THE CONTRACTOR OFF-SITE
- PROPOSED SPOT GRADES ARE FLOWLINE FINISHED GRADE ELEVATIONS, UNLESS OTHERWISE NOTED
- GRADES OF WALKS SHALL BE INSTALLED WITH 5% MAX. LONGITUDINAL SLOPE AND 1% MIN. AND 2% MAX. CROSS SLOPE, UNLESS OTHERWISE NOTED
- PROPOSED SLOPES SHALL NOT EXCEED 3:1 UNLESS INDICATED OTHERWISE ON THE DRAWINGS
- CONTRACTOR SHALL STRIP, STOCKPILE, AND RE-SPREAD SUFFICIENT TOPSOIL TO PROVIDE A MINIMUM 4" COMPACTED DEPTH TO DISTURBED AREAS TO BE SEEDDED OR SOODED

#### CITY OF BLAINE GRADING NOTES:

- RESERVED FOR CITY GRADING NOTES

#### EROSION & SEDIMENTATION CONTROL NOTES:

- SEE SWPPP FOR SITE EROSION AND SEDIMENTATION CONTROL PLANS AND NOTES.

#### GRADING PLAN LEGEND:

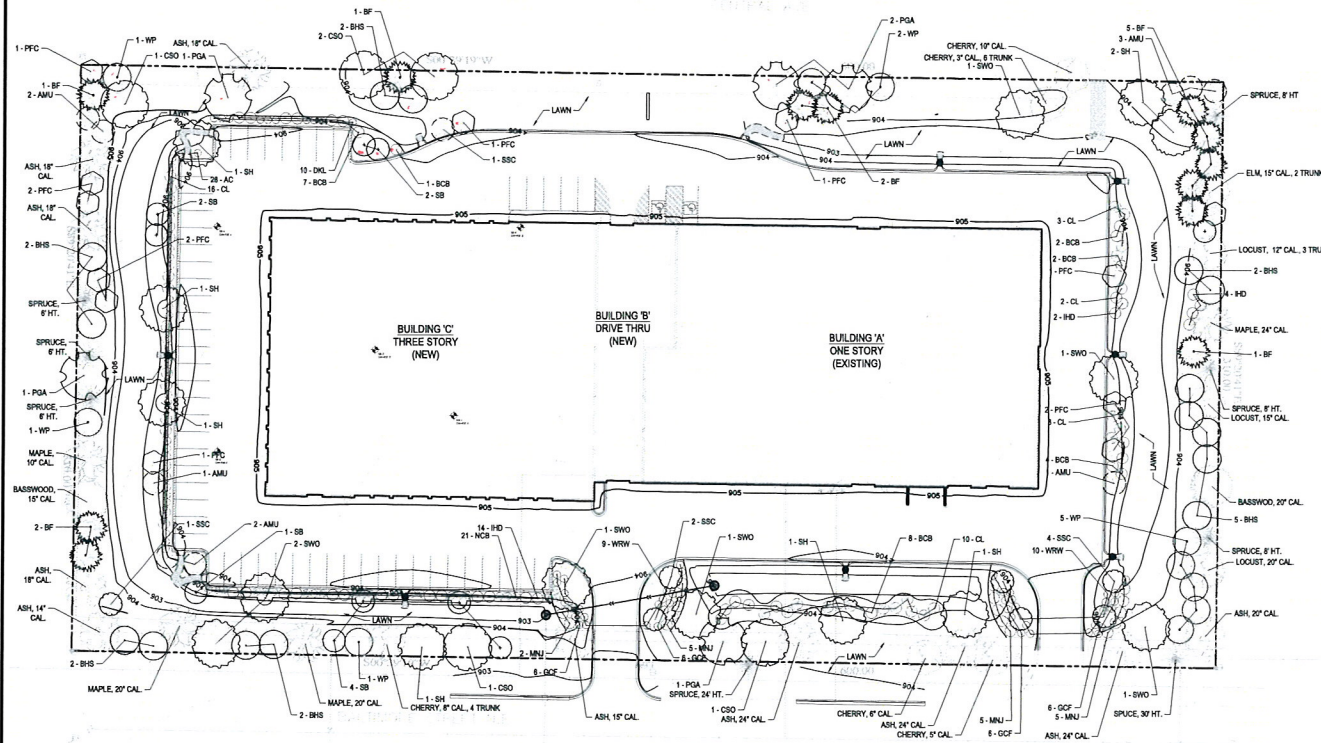
----- 801 -----	EX. 1' CONTOUR ELEVATION INTERVAL
----- 18.1 -----	1' CONTOUR ELEVATION INTERVAL
	SPOT GRADE ELEVATION (FLOW LINE UNLESS OTHERWISE NOTED)
801 0 G	SPOT GRADE ELEVATION OUTLET
801 0 BC	SPOT GRADE ELEVATION BACK OF CURB (TOP OF CURB)
801 0 BS	SPOT GRADE ELEVATION BOTTOM OF STAIRS
GF+808 0	GARAGE FLOOR ELEVATION
RP+808 0	REAR PAD ELEVATION
500	SLAB ON GRADE
	TIP-OUT (T.O.) CURB AND GUTTER WHERE APPLICABLE TAPER OUTGUTTERS TO DRAIN AS SHOWN
	EXISTING AND PROPOSED DRAINAGE ARROWS



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ZONING: B-3 - REGIONAL COMMERCIAL  
 SITE AREA: 185,098.5 SF  
 SITE PERMETER (SP): 1,820.0 LF  
 PROPOSED GROSS BLDG. COVERAGE (GBC): 59,977.3 SF

REQUIRED LANDSCAPE:	BASED ON 'GBC'	SP	ADJUSTED FOR OVERLAY DIST.
OVERSTORY	29	19	44
EVERGREENS	29	10	44
ORNAMENTAL TREES	29	10	44
SHRUBS	190	61	

EXISTING LANDSCAPE:	THE GREATER OF THE TWO MUST BE USED
OVERSTORY	11
ASH	3
LOCUST	2
BASSWOOD	3
MAPLE/ELM	4
ELM	3
CHERRY	3
EVERGREEN	8
SPRUCE	8

REQUIRED LANDSCAPE:	BED FROM ABOVE	EXIST. LANDSCAPE	ADJUSTMENTS	REQUIRED	PROPOSED
OVERSTORY	44	19	0	25	25
EVERGREENS	44	8	1	37	37
ORNAMENTAL TREES	44	5	0	39	39
SHRUBS	190	0	0	190	199

#### IRRIGATION NOTES:

- ENTIRE SITE SHALL BE FULLY IRRIGATED. THE CONTRACTOR SHALL SUBMIT IRRIGATION SHOP DRAWINGS FOR REVIEW AND APPROVAL BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- SEE MECHANICAL AND ELECTRICAL PLANS AND SPECIFICATIONS FOR IRRIGATION WATER, METER, AND POWER CONNECTIONS.
- CONTRACTOR TO VERIFY LOCATION OF ALL UNDERGROUND/ABOVE GROUND FACILITIES PRIOR TO ANY EXCAVATION/INSTALLATION. ANY DAMAGE TO UNDERGROUND/ABOVE GROUND FACILITIES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND COSTS ASSOCIATED WITH CORRECTING DAMAGES SHALL BE BORNE ENTIRELY BY THE CONTRACTOR.
- SERVICE EQUIPMENT AND INSTALLATION SHALL BE PER LOCAL UTILITY COMPANY STANDARDS AND SHALL BE PER NATIONAL AND LOCAL CODES. EXACT LOCATION OF SERVICE EQUIPMENT SHALL BE COORDINATED WITH THE LANDSCAPE ARCHITECT OR EQUIVALENT AT THE JOB SITE.
- CONTRACTOR SHALL COORDINATE WITH LOCAL UTILITY COMPANY FOR THE PROPOSED ELECTRICAL SERVICE AND METERING FACILITIES.
- IRRIGATION WATER LINE CONNECTION SIZE IS 1-1/2" AT BUILDING. VERIFY WITH MECHANICAL PLANS COVERAGE.
- ALL MAIN LINES SHALL BE 1" BELOW FINISHED GRADE.
- ALL LATERAL LINES SHALL BE 12" BELOW FINISHED GRADE.
- ALL EXPOSED PVC RISERS, IF ANY, SHALL BE GRAY IN COLOR.
- CONTRACTOR SHALL MARK THE LOCATION OF ALL SLEEVES AND CONDUIT WITH THE SLEEVING MATERIAL, "ELSED" TO 2'-0" ABOVE FINISHED GRADE AND CAPPED.
- FABRICATE ALL PIPE TO MANUFACTURER'S SPECIFICATIONS WITH CLEAN AND SQUARE CUT JOINTS. USE QUALITY GRADE PRIMER AND SOLVENT CEMENT FORMULATED FOR INTENDED TYPE OF CONNECTION.
- BACKFILL ALL TRENCHES WITH SOIL FREE OF SHARP OBJECTS AND DEBRIS.
- ALL VALVE BOXES AND COVERS SHALL BE BLACK IN COLOR.
- GROUP VALVE BOXES TOGETHER FOR EASE WHEN SERVICE IS REQUIRED. LOCATE IN PLANT BED AREAS WHENEVER POSSIBLE.
- IRRIGATION CONTROLLER LOCATION SHALL BE VERIFIED ON-SITE WITH OWNER'S REPRESENTATIVE.
- CONTROL WIRES: 14 GAUGE DIRECT BURIAL, SOLID COPPER IRRIGATION WIRE, RUN UNDER MAIN LINE. USE MOISTURE-PROOF SPLICERS AND SPLICE ONLY AT VALVES OR PULL BOXES. RUN SEPARATE HOT AND COMMON WIRE TO EACH VALVE AND ONE (1) SPARE WIRE AND GROUND TO FURTHEST VALVE FROM CONTROLLER. LABEL OR COLOR CODE ALL WIRES.
- AVOID OVERSPRAY ON BUILDINGS, PAVEMENT, WALLS AND ROADWAYS BY INDIVIDUALLY ADJUSTING NOZZLES OR ARC ON SPRINKLER HEADS AND FLOW CONTROL ON AUTOMATIC VALVE.
- ADJUST PRESSURE REGULATING VALVES FOR OPTIMUM PRESSURE ON SITE.
- USE SCREENS ON ALL HEADS.
- CONTRACTOR SHALL SUPPLY AN "AS-BUILT" PLAN OF IRRIGATION SYSTEM AT THE TIME OF COMPLETION TO OWNER'S REPRESENTATIVE. A SET OF AS-BUILT DRAWINGS SHALL BE MAINTAINED ON-SITE AT ALL TIMES IN AN UPDATED CONDITION.
- ALL PIPE 2" AND OVER SHALL HAVE THRUST BLOCKING AT EACH TURN.
- ALL AUTOMATIC REMOTE CONTROL VALVES WILL HAVE 2" MINIMUM DEPTH OF 3/4" MINIBED GRAVEL UNDERNEATH VALVE AND VALVE BOX. GRAVEL SHALL EXTEND 2' BEYOND PERIMETER OF VALVE BOX.
- THERE SHALL BE 3" MINIMUM SPACE BETWEEN BOTTOM OF VALVE BOX COVER AND TOP OF VALVE STRUCTURE.

#### LANDSCAPE NOTES:

- ALL SHRUB BEDS SHALL BE MULCHED WITH 4" DEPTH OF DOUBLE SHREDDED HARDWOOD MULCH OVER WEED BARRIER. OWNERS REP SHALL APPROVE MULCH SAMPLE PRIOR TO INSTALLATION. EDGING SHALL BE METAL EDGING OR APPROVED EQUAL.
- PLANT MATERIALS SHALL CONFORM WITH THE AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS AND SHALL BE OF HARDY STOCK, FREE FROM DISEASE, DAMAGE AND DISFIGURATION. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING PLUMBERSHIP OF PLANT MATERIAL FOR DURING OF ACCEPTANCE PERIOD.
- UPON DISCOVERY OF A DISCREPANCY BETWEEN THE QUANTITY OF PLANTS SHOWN ON THE SCHEDULE AND THE QUANTITY SHOWN ON THE PLAN, THE PLAN SHALL GOVERN.
- CONDITION OF VEGETATION SHALL BE MONITORED BY THE LANDSCAPE ARCHITECT THROUGHOUT THE DURATION OF THE CONTRACT. LANDSCAPE MATERIALS PART OF THE CONTRACT SHALL BE WARRANTED FOR ONE (1) FULL GROWING SEASONS FROM SUBSTANTIAL COMPLETION DATE.
- ALL AREAS DISTURBED BY CONSTRUCTION ACTIVITIES SHALL RECEIVE 4" LAYER LOAM AND SOO AS SPECIFIED UNLESS OTHERWISE NOTED ON THE DRAWINGS.
- COORDINATE LOCATION OF VEGETATION WITH UNDERGROUND AND OVERHEAD UTILITIES, LIGHTING FIXTURES, DOORS AND WINDOWS. CONTRACTOR SHALL STAKE IN THE FIELD FINAL LOCATION OF TREES AND SHRUBS FOR REVIEW AND APPROVAL BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- ALL PLANT MATERIALS SHALL BE WATERED AND MAINTAINED UNTIL ACCEPTANCE.
- REPAIR AT NO COST TO OWNER ALL DAMAGE RESULTING FROM LANDSCAPE CONTRACTOR'S ACTIVITIES.
- SWEEP AND MAINTAIN ALL PAVED SURFACES FREE OF DEBRIS GENERATED FROM LANDSCAPE CONTRACTOR'S ACTIVITIES.

#### PLANT SCHEDULE - ENTIRE SITE - MASTER PLAN

SYM	QTY	COMMON NAME	BOTANICAL NAME	SIZE	ROOT	COMMENTS
<b>DECIDUOUS TREES</b>						
SH	8	SHRUBST HONEY LOCUST	Gleditsia inaequalis 'Sincora'	2-4"	BAB	STRAIGHT LEADER, FULL FORM
PIA	5	PRINCE GOLD ASPEN	Populus tremuloides 'HG. Alb'	2-4"	BAB	STRAIGHT LEADER, FULL FORM
CSO	10	CRIMSON SPICE OAK	Quercus coccinea 'Spice'	2-4"	BAB	STRAIGHT LEADER, FULL FORM
SWO	7	SWAMP WHITE OAK	Quercus bicolor	2-4"	BAB	STRAIGHT LEADER, FULL FORM
<b>EVERGREEN</b>						
BHS	12	BLACK HILLS SPRUCE	Picea glauca 'Dorchester'	6 HT	BAB	STRAIGHT LEADER
BF	7	BALAM FIR	Abies balsamifera	6 HT	BAB	STRAIGHT LEADER
WP	10	WHITE PINE	Pinus strobus	6 HT	BAB	STRAIGHT LEADER
<b>ORNAMENTAL TREES</b>						
SSC	8	SPRING SNOW CRABAPPLE	Malus 'Spring Snow'	1-5'	BAB	STRAIGHT LEADER, FULL FORM
SB	9	SERVICEBERRY	Amelanchier x grandiflora 'Autumn Brilliance'	1-5'	BAB	STRAIGHT LEADER, FULL FORM
AMU	8	AMUR MAPLE	Acer ginnala	1-5'	BAB	STRAIGHT LEADER, FULL FORM
PCS	11	PARADEE CRABAPPLE	Malus 'Paradee'	1-5'	BAB	STRAIGHT LEADER, FULL FORM
<b>DECIDUOUS SHRUBS</b>						
CL	34	COMMON LILAC	Syringa vulgaris	#5	CONT	DENSE BRANCHING
DOL	10	DWARF FURCATE LILAC	Syringa meyeri 'Palatin'	#5	CONT	DENSE BRANCHING
AL	25	ALPINE CURRANT	Ribes alpinum	#5	CONT	DENSE BRANCHING
WRW	19	WINE & ROSES MOSELA	Winegla florida 'Wine & Roses'	#5	CONT	DENSE BRANCHING
TRB	24	TRUMPET BELL	Aronic melanocarpa 'Vig. 4000'	#5	CONT	DENSE BRANCHING
IBD	20	IVORY HALE DOGWOOD	Cornus alba 'Ivory Hale'	#5	CONT	DENSE BRANCHING
GGF	24	GOLD CLUSTER FORSYTHIA	Forsythia x intermedia 'Coutantou'	#5	CONT	DENSE BRANCHING
<b>EVERGREEN SHRUB</b>						
WUJ	12	WAXY JASMINE	Juniperus chinensis 'Munro'	#5	CONT	DENSE BRANCHING
NGB	21	NORTHERN CHARM BOXWOOD	Buxus 'Wilson'	#5	CONT	DENSE BRANCHING

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## METRO STORAGE, LLC

BLAINE, MN

The proposed facility will comprise 107,835 SF between the existing building, the drive-thru, and the proposed 3 story addition. Metro plans to remodel the existing dealership by removing the sales floor portion of the building to provide the necessary area for a climate controlled vehicular drive-thru between the existing building and new addition. This area will provide car and truck unloading/loading zone access to both the existing remodeled building and the new 3 story addition immediately to the south.

The new addition, along with the rest of the building, will be fully climate controlled and fire sprinkled for the convenience and safety of our customers. The addition will contain an office on the first floor with direct access to the drive-thru and the elevator bank. The first floor of the addition will also contain exterior access climate controlled units. As you move upstairs in the addition the storage units will become smaller as the distance to move items increases.

Metro Storage will staff the property with an average of 1.5 people per day and the entire property will be monitored by security cameras from the office with web-based viewing available.

Metro Storage, LLC is a privately held, fully integrated, self-administered and self-managed company specializing in the acquisition, development, and management of self storage facilities owned by Matthew Nagel and Blair Nagel (the "Owners"). Metro built the first self storage facility located in the Midwest in 1973. Today, it has positioned itself as one of the nation's premier self storage operators (Metro Self Storage®) and is now the 6<sup>th</sup> largest private self storage company in the country and the 11<sup>th</sup> largest among private and public self storage companies. Metro currently manages over 4.9 million rentable square feet of self storage space, consisting of over 42,000 self storage units in 78 properties across 10 states. Metro either owns or has a joint venture interest in 68 of the 78 self storage properties it manages.

Matthew M. Nagel is the Chairman of Metro Storage LLC and, with his brother Blair, co-owns the Company. Mr. Nagel has served in a myriad of positions since joining the Company in 1985, including Director of Acquisitions, Chief Financial Officer, President, and Chief Executive Officer. Mr. Nagel has been involved in hundreds of self storage properties representing over a billion dollars worth of financings, developments, acquisitions, dispositions, and management transactions.

Prior to joining the Company, Mr. Nagel was a futures trader at the Chicago Mercantile Exchange. Mr. Nagel received his MBA from Northwestern University's J. L. Kellogg Graduate School of Management and his BS in Investment Finance from Drake University. Mr. Nagel is a

licensed real estate broker and a CCIM and has served on various bank advisory boards, community organizations, and governmental committees.

K. Blair Nagel is the Chief Executive Officer of Metro Storage LLC, and with his brother Matt, co-owns the Company. Mr. Nagel has been on numerous industry Boards, including the Board of Governors of the Self Storage Association Foundation (SSAF); National Board Member of the Self Storage Association (SSA); and President and former Secretary of the SSA's Central Region.

Prior to joining the Company in 1987, he served as a market analyst for Centennial Development Corporation, a Virginia-based real estate development firm. Mr. Nagel received his MBA from DePaul University and graduated from The American University in Washington, D.C. with a Bachelor of Science in Business Administration. Mr. Nagel is a licensed real estate broker and has served on various community organization and governmental committees.





March 6, 2014

Mr. Bryan Schafer  
Planning and Community Development Director  
City of Blaine  
10801 Town Square Drive NE  
Blaine, MN 55449

Re: Metro Storage LLC - Conditional Use Permit Application  
9941 Central Ave NE, Blaine MN

Dear Bryan,

Please find enclosed our Conditional Use Permit Application and supporting documentation for a proposed adaptive reuse development of a Class "A" Self-Storage Facility at 9941 Central Ave NE.

The proposed facility will comprise 107,835 SF between the existing building, the drive-thru, and the proposed 3 story addition. Metro plans to remodel the existing dealership by removing the sales floor portion of the building to provide the necessary area for a climate controlled vehicular drive-thru between the existing building and new addition. This area will provide car and truck unloading/loading zone access to both the existing remodeled building and the new 3 story addition immediately to the south.

The new addition, along with the rest of the building, will be fully climate controlled and fire sprinkled for the convenience and safety of our customers. The addition will contain an office on the first floor with direct access to the drive-thru and the elevator bank. The first floor of the addition will also contain exterior access climate controlled units. As you move upstairs in the addition the storage units will become smaller as the distance to move items increases.

Metro Storage will staff the property with an average of 1.5 people per day and the entire property will be monitored by security cameras from the office with web-based viewing available.

Overall, Metro Storage believes this project a great fit for the property and we offer the following responses to the criteria to be considered by the Plan Commission.

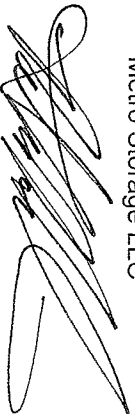
1. The use shall not create an excessive burden on existing parks, schools, streets and other public facilities and utilities which serve or are proposed to serve the area.
  - a. Redevelopment of this established commercial property will not generate substantially different traffic demands, utility demands or burden to the areas' streets or facilities.
2. The use shall be compatible with the adjacent land uses so that existing uses will not be depreciated in value and there will be no deterrence to development of vacant land.
  - a. The proposed self-storage facility (permitted conditional use) is compatible with the current B-3 zoning classification of the property and adjacent properties zoned B-3 and I-2. Redevelopment of the now vacant property with a Class A facility will help local property values and, hopefully, spur future reinvestment in the area.
3. The use shall have an appearance that will not have an adverse effect upon adjacent properties.
  - a. The proposed facility has a fresh modern architectural design that will harmonize with surrounding buildings.

4. The use, in the opinion of the City Council, shall be reasonably related to the overall needs of the City and to the existing land use.
  - a. Market analysis of the existing area confirms that the proposed facility will help to serve the needs of the surrounding community. The self-storage use is also compatible with the intent of the property's B-3 zoning to provide services of both a convenient and durable nature to shoppers.
5. The use shall be consistent with the purposes of the zoning code and purposes of the zoning district in which the applicant intends to locate the proposed use.
  - a. The proposed use is consistent with the purposes of the zoning code in that it will not disrupt the health, safety, convenience and general welfare of the surrounding community. The use is also compatible with the intent of the B-3 zoning district in that it provides services of both a convenient and durable nature to shoppers.
6. The use shall not be in conflict with the comprehensive plan of the City.
  - a. The self-storage use is listed as a permitted conditional use under the parcel's current B-3 zoning. The Comprehensive Plan indicates the parcel as B-2 zoning which also lists self-storage facilities as a permitted conditional use.
7. The use will not cause traffic hazard or congestion.
  - a. The existing parcel has 3 curb cuts onto Baltimore St. on the property's east side as the only access onto the property. Metro Storage plans to eliminate one of the curb cuts and relocate one to better facilitate traffic movement on and off the site. It is our belief and desire, through the proposed site design, that we will eliminate future traffic hazards and congestion both on the property and at the entries off of Baltimore St.
8. The use shall have adequate utilities, access roads, drainage and necessary facilities.
  - a. The adaptive reuse of the existing commercial property, already serviced by local facilities, will adhere to all local codes and ordinances and be reviewed by all required regulatory agencies.

We look forward to working with the City staff and consultants to refine our development proposal and bring it before the Plan Commission and the City Council for public hearing and consideration.

Sincerely,

Metro Storage LLC



Robert Heilman  
Development Manager  
Registered Architect

Attachments

cc: Matt Nagel  
K Blair Nagel  
Marty Gallagher  
Mr. Bruce D. Malkerson, Malkerson Gunn Martin LLP