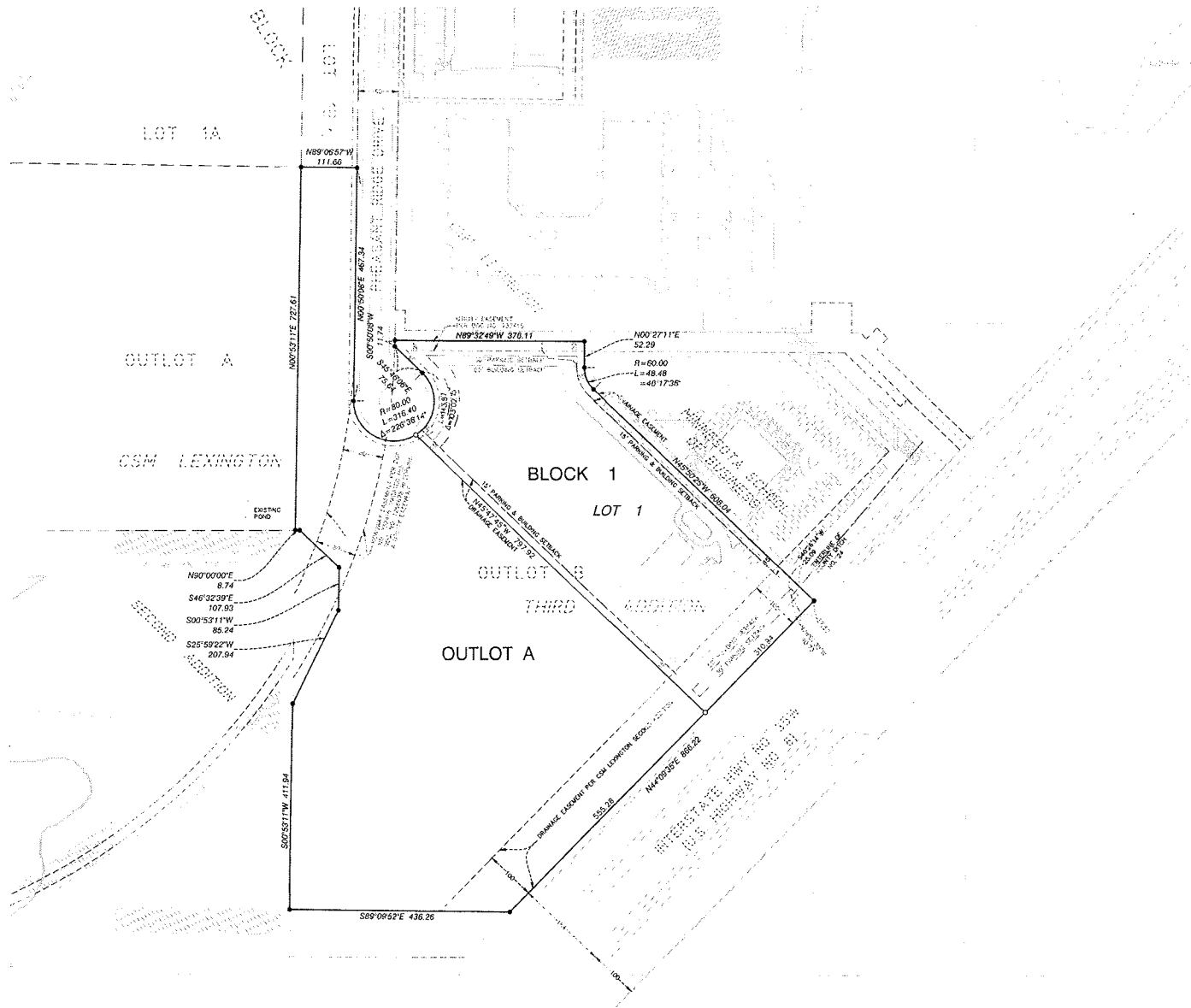


PRELIMINARY PLAT



EXISTING LEGAL DESCRIPTION:

Outlot B, CSM LEXINGTON THIRD ADDITION,
Anoka County, Minnesota

NOTES:

1. THE BASIS OF BEARINGS IS ASSUMED.
2. ALL DISTANCES ARE IN FEET.

ZONING:

PLANNED BUSINESS DISTRICT

COMPREHENSIVE LAND USE:

PLANNED INDUSTRIAL

SUBDIVISION NAME:

CSM LEXINGTON FOURTH ADDITION

OWNER:

CSM
500 WASHINGTON AVENUE SOUTH
SUITE 3000
MINNEAPOLIS MN 55415

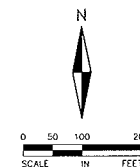
SURVEYOR:

ALLIANT ENGINEERING, INC.
DENNIS B. OLIVIERO, P.L.S.
LICENSE NO. 18425
233 PARK AVENUE SOUTH
MINNEAPOLIS, MN 55415

PROPOSED LOT AREAS:

LOT 1:	264,858 SQ. FT.	6.08 AC
OUTLOT A:	581,960 SQ. FT.	13.36 AC
TOTAL:	846,818 SQ. FT.	19.44 AC

FOR REVIEW ONLY
PRELIMINARY
NOT FOR CONSTRUCTION



LEXINGTON PRESERVE-FAIRVIEW URGENCY CENTER

PHEASANT RIDGE DRIVE
BLAINE, MINNESOTA

CUP AMENDMENT & PRELIMINARY PLAT REVIEW

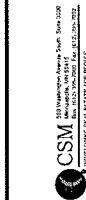
PRELIMINARY PLAT

REVISIONS
S&L'S CUP/SITE SUBMITTAL

DESIGNED BY	MMW
DRAWN BY	DC
CHECKED BY	DBO
DATE ISSUED	8-6-13
SCALE	1" = 40'
JOB NO.	213-0102

S-1

SHEET 1 of 1



ALLIANT
ENGINEERING, INC.
233 PARK AVENUE SOUTH, SUITE 300
MINNEAPOLIS, MN 55415
PHONE: 612.716.3065
FAX: 612.716.3069

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota

Print Name	Signature	Date	License Number

Drawing name: XX-2013-13102-000n Sheets: 20102SitePlan Sep 05, 2013 - 1157am

SITE DATA:

ZONING: PLANNED BUSINESS DISTRICT
COMPREHENSIVE LAND USE: PLANNED INDUSTRIAL
PROPOSED USE: MEDICAL FACILITY
PID NO: 23-31-23-43-0016

LOT DATA:
PROPOSED LOT AREA: 264,858.16 S.F. 6.08 AC
STANDARD: REQUIRED: PROVIDED
BUILDING SIZE (WHA/MA): 12,000 S.F. 11,000 S.F.
BUILDING HEIGHT: N/A N/A
SETBACKS: BUILDING: PARKING:
FRONT (HIGHWAY 35W) 50' 30'
FRONT (PHEASANT AVENUE) 50' 30'
SIDE 15' 15'
REAR: 20' 20'
LOT COVERAGE (PHASE I)
GROSS LOT AREA: 264,858 S.F. (1.00 AC) 100%
IMPERVIOUS AREA: 70,254 S.F. (1.82 AC) 26.7%
PERVIOUS AREA: 194,604 S.F. (4.46 AC) 73.3%

PARKING DATA:

REQUIRED (SEC. 33.14.110) AT LEAST TWO (2) SPACES FOR EACH MEDICAL AND DENTAL CLINIC EXAMINING OR TREATMENT ROOM, PLUS ONE (1) FOR EACH DOCTOR AND EMPLOYEE IN THE BUILDING

PARKING CALCULATIONS	REQUIRED	PROVIDED
PHASE I	44	52 (4 ACCESSIBLE)
EXAMINING/TREATMENT ROOM: 17x7+34		
DOCTOR/EMPLOYEE: 10x11=10		
PHASE II (CONCEPTUAL)	N/A	175 (4 ACCESSIBLE)
EXAMINING/TREATMENT ROOM: 22x2+22		
DOCTOR/EMPLOYEE: 22x11=22		
TOTAL REQUIRED PARKING:	N/A	257 (8 ACCESSIBLE)

NOTE: SITE LAYOUT FOR PHASE II IS SCHEMATIC AND SUBJECT TO CHANGE IN THE FUTURE.

SITE PLAN

PRELIMINARY
NOT FOR CONSTRUCTION

GENERAL NOTES:

- PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE TO MAKE SURE THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED AND CONSTRUCTION OR FABRICATION SHALL BEGIN ONLY AFTER THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS APPROVED BY ALL OF THE PERMITTING AGENCIES.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE REQUIREMENTS AND STANDARDS OF THE LOCAL GOVERNING AUTHORITY.
- CONTRACTOR IS RESPONSIBLE FOR DEMOLITION & REMOVAL OF ALL EXISTING STRUCTURES WHICH INTERFERE WITH NEW WORK AS SHOWN.
- CONCRETE SIDEWALK AND CURB & GUTTER SHALL BE REMOVED TO NEAREST CONSTRUCTION JOINT OUTSIDE THE REMOVAL LIMITS.
- ALL DIMENSIONS, GRADES, EXISTING AND PROPOSED INFORMATION SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE CONSTRUCTION MANAGER IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY PLANS OR CHANGE ORDERS. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR WORK HAVING TO BE REDONE DUE TO INFORMATION SHOWN INCONFLICT ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.
- ALL DIMENSIONS SHOWN ARE TO FACE OF CURB, CENTER OF STRUCTURE, EDGE OF SIDEWALK OR EXTERIOR OF BUILDING.
- ALL CONCRETE SIDEWALK ADJACENT TO BUILDING SHALL BE SEPARATED BY A 1/2" EXPANSION JOINT.
- PROTECT EXISTING CONCRETE SIDEWALKS DURING ALL PHASES OF CONSTRUCTION. CONTRACTOR TO REPLACE ANY CRACKED OR BROKEN PANELS CAUSED BY SITE CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL & DISPOSAL OF THE EXISTING BITUMINOUS SIDEWALKS SHALL BE SAW CUT OR JACK HAMMERED FOR STRAIGHT EDGES. TACK SHALL BE USED BY BITUMINOUS EDGE PRIOR TO PATCHING. MATCH EXISTING GRADES.
- CONTRACTOR SHALL PROTECT ADJACENT PROPERTIES & STRUCTURES FROM HAZARDS ASSOCIATED WITH HIS CONSTRUCTION ACTIVITIES & SHALL BE RESPONSIBLE FOR ALL DAMAGES TO PROPERTIES & STRUCTURES THAT OCCUR AS A RESULT OF THESE ACTIVITIES.
- CONTRACTOR SHALL NOT IMPERE EXISTING TRAFFIC FLOW OR ADJACENT BUSINESSES.
- CONTRACTOR SHALL PERFORM SWEEPING ON PRIVATE PARKING AREAS AND PUBLIC STREETS AT LEAST ONCE A WEEK, ONCE A DAY IF NEEDED.
- CONTRACTOR SHALL BE HELD FULLY RESPONSIBLE TO PREVENT AND ELIMINATE ANY DUST NUISANCE OCCASIONED BY AND DURING CONSTRUCTION, UNTIL THE PROJECT HAS BEEN COMPLETED AND HANDLED OVER.

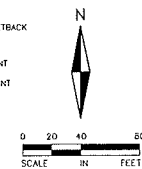
SITE PLAN NOTES:

- ALL DIMENSIONS ARE TO FACE OF BUILDING AND/OR FACE OF CURB.
- REFER TO ARCHITECTURAL DRAWINGS FOR CONCRETE STOODS ADJACENT TO PROPOSED BUILDING.
- CONTIGUOUS CONCRETE CURB & GUTTER WHICH CHANGES TYPE SHALL HAVE A FIVE FOOT TRANSITION.
- ALL CONCRETE CURB AND GUTTER ADJACENT TO CONCRETE WALK SHALL BE SEPARATED BY A 1/2" INCH EXPANSION JOINT.
- ALL EXISTING CURB DUES TO BE REPLACED WITH CONCRETE CURB AND GUTTER EQUIVALENT TO THAT WHICH CURRENTLY EXISTS.
- ALL CURB AND GUTTER AND SIDEWALK WITHIN R.O.W. TO BE PER CITY STANDARDS.
- ALL STRIPING SHALL BE PAINTED 4 INCH WHITE PER GOVERNING AGENCY STANDARDS.
- ALL WORK WITHIN THE R.O.W. SHALL COMPLY WITH THE CITY AND REVIEWING AGENCY ENGINEERING DESIGN STANDARDS. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ANY REQUIRED PERMITS.
- ALL CURB AND GUTTER TO BE CONCRETE BS12 CURB UNLESS NOTED OTHERWISE, PER CITY STANDARDS.
- BUILDING DIMENSIONS REFER TO OUTSIDE OF BUILDING FACE (TYP) UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL FIELD VERIFY THE LOCATIONS AND ELEVATIONS OF EXISTING UTILITIES AND TOPOGRAPHIC FEATURES, SUCH AS EXISTING GUTTER GRADES AT THE PROPOSED DRIVEWAYS, PRIOR TO THE START OF SITE GRADING. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER IF ANY DISCREPANCIES OF VARIATIONS FROM THE PLANS.
- ALL CONCRETE PADS TO BE 3000 PSI AIR ENTRAINED 6" CONCRETE WITH #4 BARS @ 12" O.C. AND STORM FINISHED. REFER TO SOILS REPORT.
- BITUMINOUS AND CONCRETE PAVEMENT SECTION DESIGN TO BE IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE SOILS REPORT.
- CONTRACTOR SHALL COORDINATE WITH THE FIRE MARSHAL FOR POSTING OF THE LANES, CURB MARKING AND SIGNAGE.
- ALL FINISHING WALLS TO BE CONCRETE MODULAR BLOCK. CONTRACTOR SHALL PROVIDE ENGINEERED SHOP DRAWINGS TO PROJECT MANAGER FOR APPROVAL. REFER TO GRADING PLAN.
- ACCESSIBLE ROUTE SHALL BE PROVIDED FROM ACCESSIBLE STALLS TO BUILDING ENTRANCE (PER LOCAL REQUIREMENTS). POLE MOUNT APPROVED SIGNS, ONE VAN ACCESSIBLE, CENTER OR STALL, LOCATION PER GENERAL CONTRACTOR. PAINT INTERNATIONAL SYMBOL OF ACCESSIBILITY WHITE ON BLUE BACKGROUND DUE TO ENSURE SLOPE OF PAVEMENT AT ACCESSIBLE PARKING STALLS & ACCESS AISLE DOES NOT EXCEED 2% IN ALL DIRECTIONS.

SITE LEGEND:

- PROPOSED BE12 CURB AND GUTTER
- EXISTING CURB AND GUTTER
- FUTURE CURB AND GUTTER
- CONSTRUCTION LIMITS
- PROPERTY LINE
- LOT LINE
- PROPOSED PARKING/BUILDING SETBACK
- PROPOSED UTILITY EASEMENT
- LIGHT DUTY BITUMINOUS PAVEMENT
- HEAVY DUTY BITUMINOUS PAVEMENT
- CONCRETE PAVEMENT

↑ = NORTH
↑ = DIRECTION OF TRAFFIC



LEXINGTON PRESERVE - FAIRVIEW URGENCY CENTER
PHEASANT RIDGE DRIVE
BLAINE, MINNESOTA
CUP AMENDMENT & PRELIMINARY PLAT REVIEW
SITE PLAN

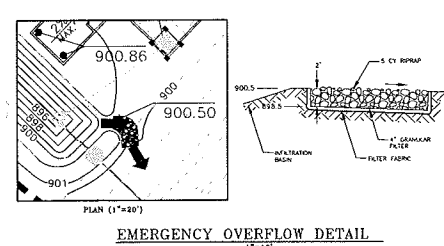
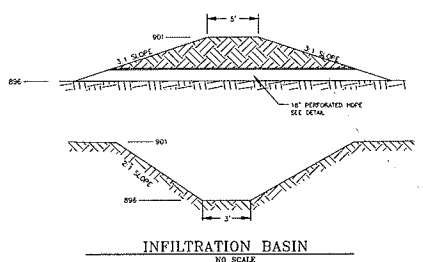
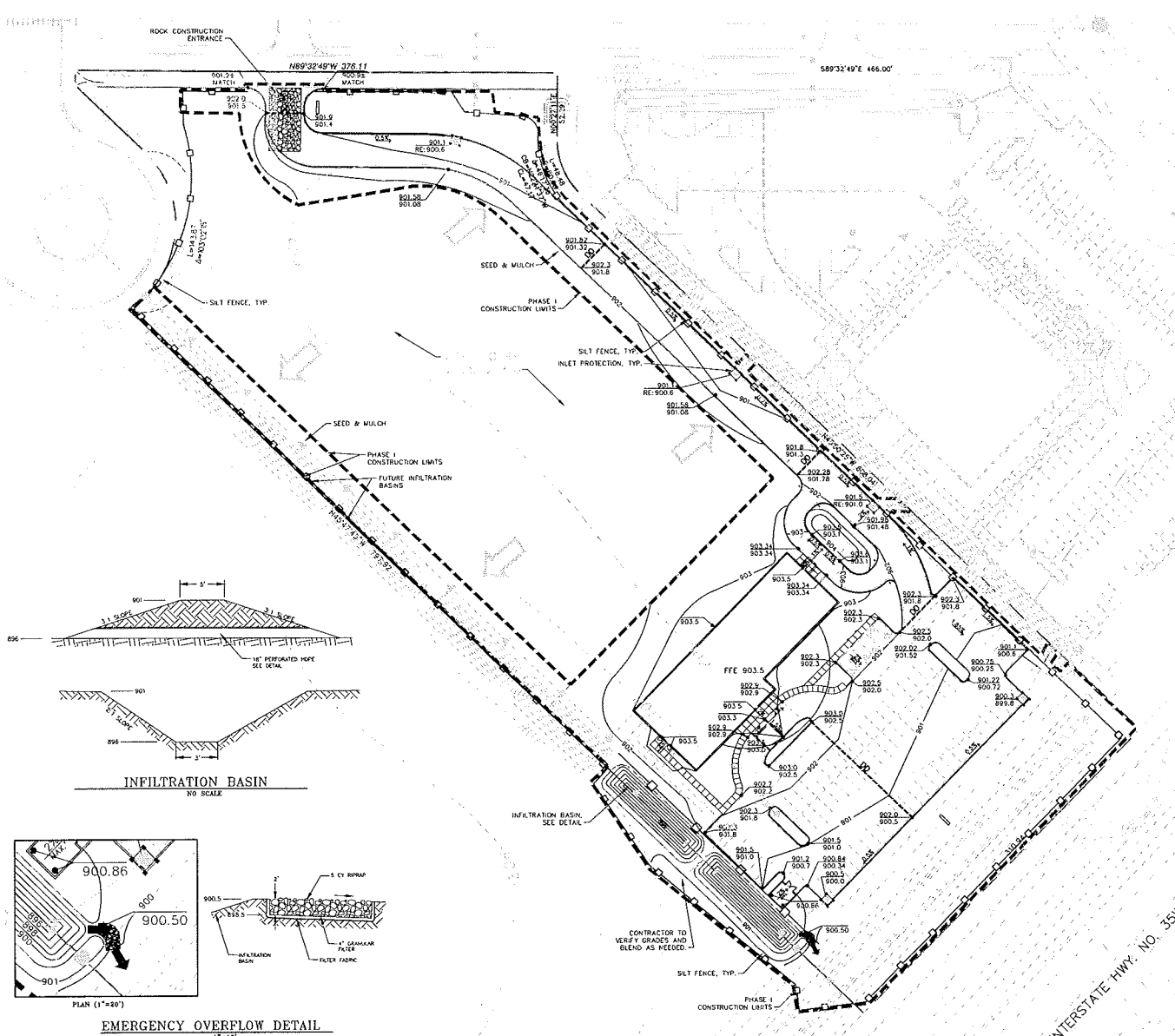
REVISIONS
9.6.13 CUP/SITE SUBMITTAL

DESIGNED BY	MMW
DRAWN BY	MMW
CHECKED BY	CJM
DATE ISSUED	9-6-13
SCALE	1" = 40'
JOB NO.	213-0102

C-2

SHEET 3 of 12

Drawing name: X:\2013\130102\Gen. sheets\130102grading Sep 06, 2013 - 11:58am



GRADING & EROSION CONTROL PLAN

GRADING NOTES:

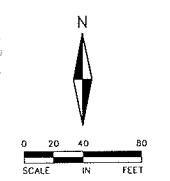
1. ALL FINISHED GRADES SHALL SLOPE AWAY FROM PROPOSED BUILDINGS AT MINIMUM GRADE OF 2.0% (WHERE FEASIBLE).
2. ACCESSIBLE PARKING SPACE NOT TO EXCEED 2.0% IN ANY DIRECTION.
3. ALL CURB AND GUTTER AT ACCESSIBLE PARKING SPACES TO BE DEPRESSED WITH 5' TAPER.
4. THE CONTRACTOR SHALL KEEP THE ADJACENT ROADWAYS FREE OF DEBRIS AND PREVENT THE CUT-SIDE TRACKING OF SOIL IN ACCORDANCE WITH THE REQUIREMENTS OF THE CITY AND MNDOT.
5. NOTIFY CUMMER STATE ONE CALL, AT (800)252-1166, 48 HOURS PRIOR TO START OF CONSTRUCTION.
6. ALL IMPROVEMENTS TO CONFORM WITH CITY OR STATE CONSTRUCTION STANDARDS SPECIFICATION, LATEST EDITION.
7. SURVEYOR TO VERIFY BENCHMARK ELEVATION PRIOR TO START OF CONSTRUCTION.
8. ROCK CONSTRUCTION ENTRANCES SHALL BE PROVIDED AT ALL CONSTRUCTION ACCESS POINTS.
9. CONTRACTOR TO KEEP A COPY OF THE EROSION CONTROL PLAN ON SITE AT ALL TIMES.
10. REFER TO GEOTECHNICAL REPORT FOR SOIL CORRECTION, TESTING REQUIREMENTS AND FOR FURNISHMENT RECOMMENDATIONS AND SUBSOIL RECOMMENDATIONS.
11. STOP TOPSOIL PRIOR TO ANY CONSTRUCTION. REUSE STOCKPILE ON SITE (WHERE FEASIBLE).
12. PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE TO MAKE SURE THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS APPROVED BY ALL OF THE TERNATING AUTHORITIES.
13. IMMEDIATELY FOLLOWING GRADING OF (3:1 OR GREATER) SIDE SLOPES AND DRAINAGE SWALES, WOOD FIBER BLANKET OR OTHER APPROVED SOIL STABILIZING METHOD (APPROVED BY ENGINEER) SHALL BE APPLIED OVER APPROVED SEED MIXTURE AND A MINIMUM OF 4" TOPSOIL.
14. THE GENERAL CONTRACTOR MUST DISCUSS DRAINAGE PLANS WITH ALL SUBCONTRACTORS TO VERIFY NEEDED REQUIREMENTS. IF DRAINAGE IS REQUIRED DURING CONSTRUCTION, CONTRACTOR SHOULD CONSULT WITH EROSION CONTROL INSPECTOR AND ENGINEER TO DETERMINE APPROPRIATE METHOD.
15. MAINT ROUTES AND DISPOSAL AREAS SHOULD BE DISCUSSED WITH CITY PRIOR TO EXPORTING MATERIAL OFFSITE.
16. ALL UTILITY INSTALLATION BACKFILL SHALL BE PLACED AND COMPACTED IN ACCORDANCE WITH SOIL TESTING AGENCY REQUIREMENTS AND/OR SPECIFICATIONS. SOILS REPORT RECOMMENDATIONS INCLUDE PLACING BACKFILL AND FILL IN LIFTS NOT EXCEEDING 8 INCHES IN THICKNESS. THE COMPACTED DENSITY OF THE FILL SHALL BE THE FOLLOWING PERCENTAGES OF STANDARD PROCTOR:
 - BELOW FOUNDATIONS AND INTERIOR SLABS = 98%
 - BELOW EXTERIOR SLABS = 95%
 - WITHIN 3 FEET OF PAVEMENT = 100%
 - BELOW 3 FEET OF PAVEMENT = 95%
 - BELOW LANDSCAPE SURFACES = 90%FILL SHOULD BE WITHIN 3 PERCENTAGE POINTS OF ITS OPTIMUM MOISTURE CONTENT. HOWEVER, CLAYEY FILL SHOULD BE PLACED WITHIN 3 PERCENTAGE POINTS ABOVE AND 1 PERCENT BELOW ITS OPTIMUM MOISTURE CONTENT.
17. EROSION CONTROL NOTES AND PROCEDURES SHALL BE INCLUDED IN THE CONSTRUCTION DOCUMENTS.
18. CONTRACTOR SHALL COORDINATE PRIVATE/PUBLIC UTILITIES RELOCATES, SUCH AS TRAFFIC SIGNAL HANDHOLES, AND WIRING, ETC.
19. STATE-MANDATED EROSION CONTROL MEASURES MUST BE IMPLEMENTED AND MAINTAINED DURING CONSTRUCTION.

BENCHMARKS

1. TOP OF 1/4" DOT DISK STAMPED "0280 D 1989" LOCATED AT BLAINE, 1.6 MILES NORTH OF ANOKIA COUNTY LINE, 2 FEET WEST OF 135W EASTERN RIGHT-OF-WAY FENCE AND 785 FEET NORTHWEST OF LEXINGTON AVE. EXIST. ELEVATION IS 915.25 NOV0 28.
2. TOP MOUNT HYDRAULIC LOCATED 100 FEET NORTH AND 75 FEET WEST OF THE SANITARY LIFT STATION LOCATED ON THE EAST SIDE OF SITE NEAR 135W. ELEVATION 901.39 NOV0 28.

GRADING LEGEND:

- EXISTING CONTOUR
- PROPOSED CONTOUR
- 873.0 TOP OF CURB
- 872.5 FLOW LINE
- XXX TM TOP OF WALL ELEVATION
- XXX BM BOTTOM OF WALL ELEVATION
- EX XXX EXISTING LOT CORNER ELEVATION
- PR XXX PROPOSED LOT CORNER ELEVATION
- PROPOSED CATCH BASINS
- 0.0 --- DRAINAGE DIVIDE
- 2.00% DIRECTION OF DRAINAGE
- FFE FINISH FLOOR ELEVATION
- SILT FENCE
- INLET PROTECTION
- BORROW
- EMERGENCY OVERFLOW ROUTING
- PROPOSED SEWER
- EXISTING SEWER



CSM
CONSULTING SERVICES
10000 Highway 100, Suite 200
Blaine, MN 55416
PH: 763.479.1200
FAX: 763.479.1202

ALLIANT
ENGINEERING, INC.
233 PARK AVE. SOUTH, SUITE 200
MINNEAPOLIS, MN 55415
PHONE: 612.734.4643
FAX: 612.734.3009

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Print Name: _____
Signature: _____
Date: _____
License Number: _____

LEXINGTON PRESERVE-FAIRVIEW URGENCY CENTER
PHEASANT RIDGE DRIVE
BLAINE, MINNESOTA

CUP AMENDMENT & PRELIMINARY PLAT REVIEW
GRADING & EROSION CONTROL PLAN

DESIGNED BY: MMW
DRAWN BY: MMW
CHECKED BY: C/M
DATE ISSUED: 9-6-13
SCALE: 1" = 40'
JOB NO.: 213-0102

C-3

REVISIONS
9.6.13 CUP/STE. SUBMITTAL

SHEET 7 of 12

LANDSCAPE SCHEDULE				
QTY	KEY	COMMON NAME / BOTANICAL NAME	SIZE	REMARKS
OVERSTORY TREES				
3	SM	SUGAR MAPLE <i>Acer saccharum</i>	2.5' B&B	PLANTED WITH
3	RM	RED MAPLE <i>Acer rubrum 'Northern'</i>	2.5' B&B	PLANTED WITH
2	RL	REDWOOD LINDEN <i>Tilia americana 'Redmond'</i>	2.5' B&B	PLANTED WITH
2	LL	LITTLE LEAF LINDEN <i>Tilia cordata 'Greengate'</i>	2.5' B&B	PLANTED WITH
ORNAMENTAL TREES				
4	JL	CLUMP JAPANESE TREE LILAC <i>Syringa reticulata (clump)</i>	2' B&B	PLANTED WITH
6	SB	CLUMP SERVICEBERRY <i>Amelanchier alnifolia 'Regent'</i>	2' B&B	PLANTED WITH
CONIFEROUS TREES				
5	BS	BLACK HILLS SPRUCE <i>Pinus jeffersoni</i>	6' B&B	PLANTED WITH
3	NP	NORWAY PINE <i>Pinus resinosa</i>	6' B&B	PLANTED WITH
2	TA	TECHINT ARBORVITAE <i>Thuja occidentalis 'Techny'</i>	6' B&B	PLANTED WITH
SHRUBS				
27	BB	CLEMSON PYRAM <i>Berberis pinnatis 'Clemson Pyram'</i>	18" HT., CONT.	PLANTED WITH
24	RD	RED TWIGGED DOGWOOD <i>Cornus sericea 'Borel'</i>	24" HT., CONT.	PLANTED WITH
5	HD	HURON DOGWOOD <i>Cornus racemosa 'Huron'</i>	24" HT., CONT.	PLANTED WITH
15	HS	FREE BALL EUNYMIUM 'Spartan' <i>Eunymia alata 'Spartan'</i>	24" HT., CONT.	PLANTED WITH
14	AN	ANNOBELLE HYDRANGEA <i>Hydrangea arborescens 'Annabelle'</i>	24" HT., CONT.	PLANTED WITH
30	AW	ANTHONY WATERER SPREA <i>Sorbus aurea 'Anthony Waterer'</i>	24" HT., CONT.	PLANTED WITH
2	RR	SHRUB ROSE 'KNOCK OUT Rose 'Knockout'	18" HT., CONT.	PLANTED WITH
DECIDUOUS SHRUBS				
20	KG	KINGS GOLD CHAMAENOPHYS <i>Chamaenophis patens 'Kings Gold'</i>	5 GAL. CONT.	PLANTED WITH
12	SD	SCANDIA JASMINE <i>Amelanchier canadensis 'Scandia'</i>	5 GAL. CONT.	PLANTED WITH
6	TV	TAUNTON VINE <i>Trientalis borealis 'Taunton'</i>	5 GAL. CONT.	PLANTED WITH
PERENNIALS				
13	FG	FEATHER REED GRASS 'MILLY FORESTER' <i>Calamagrostis 'Milly Forester'</i>	5 GAL. CONT.	PLANTED WITH
1	DL	STELLA DE GRACIA <i>H. Stella de Gracia</i>	1 GAL. CONT.	PLANTED WITH

TREE PRESERVATION PLAN: NOT PROVIDED FOR THERE ARE NO EXISTING TREES ON THE PROPERTY.

LANDSCAPE PLAN

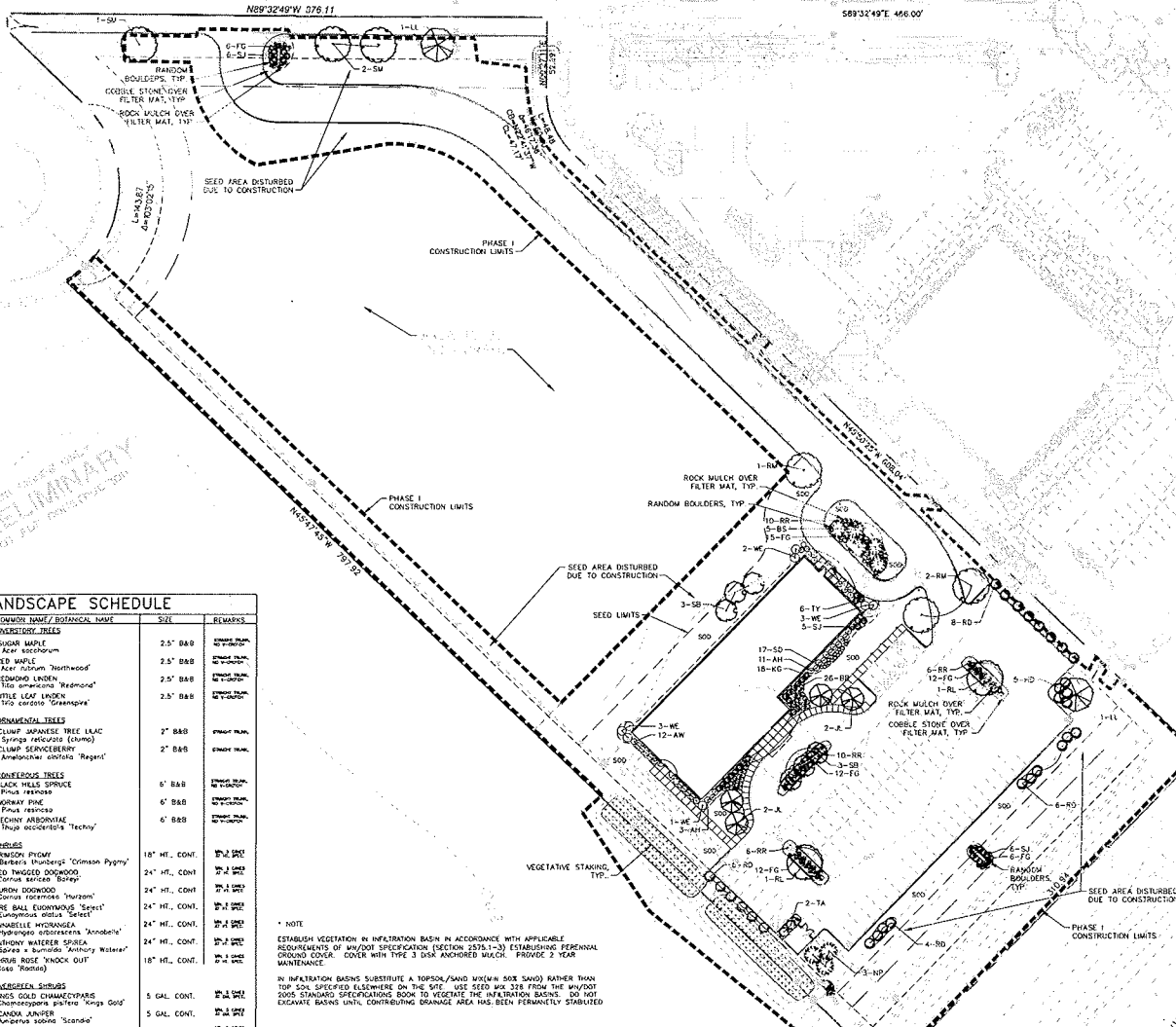
* NOTE

ESTABLISH VEGETATION IN INFILTRATION BASIN IN ACCORDANCE WITH APPLICABLE REQUIREMENTS OF MN/DOT SPECIFICATION (SECTION 2575.1-3) ESTABLISHING PERENNIAL GRASS COVER. COVER WITH TYPE 3 DISK ANCHORED MULCH. PROVIDE 2 YEAR MAINTENANCE.

IN INFILTRATION BASINS SUBSTITUTE A TOPSOIL/SAND MIX (W/IN 50% SAND) RATHER THAN TOP SOIL SPECIFIED ELSEWHERE ON THE SITE. USE SEED W/ 3% FROM THE M/V/DOT 2005 STANDARD SPECIFICATIONS BOOK TO VEGETATE THE INFILTRATION BASIN. DO NOT EXCAVATE BASINS UNTIL CONTRIBUTING DRAINAGE AREA HAS BEEN PERMANENTLY STABILIZED.

LANDSCAPE DATA:

PROPOSED BUILDING AREA: 12,000 SQ. FT. CALCULATIONS: REQUIRED: PROVIDED
NUMBER OF 2.5' OVERSTORY TREES: (1/2000 S.F.) 6 10
NUMBER OF 6' EVERGREEN TREES: (1/2000 S.F.) 6 10
NUMBER OF ORNAMENTAL TREES: (1/2000 S.F.) 6 10
NUMBER OF SHRUBS: 24" POT: (1/300 S.F.) 60 178



PLANTING NOTES:

CONTRACTOR SHALL VISIT SITE PRIOR TO SUBMITTING BID TO BECOME COMPLETELY FAMILIAR WITH SITE CONDITIONS.
INSTALL 4" MAX BLACK DIRT TO ALL SOO, SEED AND SHRUB AREAS. CONTRACTOR RESPONSIBLE FOR FINE DRAINAGE OF SOO AREAS.

STAKE OR MARK ALL PLANT MATERIAL LOCATIONS PRIOR TO INSTALLATION. CONTRACTOR SHALL HAVE OWNERS REPRESENTATIVE PRESENT AT ALL STAKING PRIOR TO INSTALLATION.
ALL SHRUB AREAS UNLESS SPECIFIED AS OTHER, TO BE BED MULCHED WITH 4" DEPTH OF SHREDDED HARDWOOD MULCH OVER NEED BERRIES. POLY-EDGER TO BE VALLEY VUE BLACK DAWG OR APPROVED EQUIV.

ALL PERENNIAL AND ANNUAL BEDS TO BE BED MULCHED WITH 2" DEPTH OF SHREDDED HARDWOOD MULCH.
INSTALL 4" 2" DEPTH SHREDDED HARDWOOD MULCH AROUND ROOT SAUCER OF ALL TREES ISOLATED FROM PLANT BEDS.

PLANTING SOIL SHALL CONSIST OF 50% SELECT LOAMY TOPSOIL, 25% FEAT MOSS, 25% PIR RUN SAND. GUARANTEE ALL WORK FOR A PERIOD OF ONE YEAR BEGINNING AT THE DATE OF ACCEPTANCE. CONTRACTOR WILL MAINTAIN ALL REPLACEMENTS PROMPTLY (AS PER DIRECTION OF OWNER).

ANY MATERIAL WHICH DIES, OR DEFOLIATES (PRIOR TO ACCEPTANCE OF THE WORK) WILL BE PROMPTLY REMOVED AND REPLANTED.

THE OWNERS REPRESENTATIVE RESERVES THE RIGHT TO REJECT ANY PLANT MATERIAL NOT MEETING SPECIFICATIONS.
ALL MATERIAL SHALL COMPLY WITH THE LATEST EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK, AMERICAN ASSOCIATION OF NURSERYMEN.

ALL TREE TRUNKS SHALL BE WRAPPED WITH BROWN CREEPE TREE WRAP. WRAP APPLIED IN NOVEMBER AND REMOVED IN APRIL.

WATER AND MAINTAIN ALL PLANT MATERIALS AND SOO UNTIL INITIAL ACCEPTANCE.
REPAIR AT NO COST TO OWNER ALL DAMAGE TO PROPERTY RESULTING FROM LANDSCAPE WORK.

CALL OWNER PRIOR TO ANY AT 454-0000 AND FOR LOCATING ALL UNDERGROUND UTILITIES AND SHALL AVOID DAMAGE TO UTILITIES DURING THE COURSE OF THE WORK. REPAIR ANY DAMAGE TO UTILITIES, SITE STRUCTURES, ETC., RESULTING FROM LANDSCAPE CONSTRUCTION.

WATER ALL PLANT MATERIALS UNTIL THE TIME THE PERMANENT IRRIGATION SYSTEM IS FULLY FUNCTIONAL. CHEMICAL WEED CONTROL MUST BE APPLIED TO ALL LANDSCAPE AREAS PRIOR TO ANY PLANT INSTALLATION. COORDINATE INSTALLATION WITH GENERAL CONTRACTOR.

STAKING AND CLIPPING OF TREES OPTIONAL. LANDSCAPE MAINTAIN PLUMBNESS OF TREES FOR DURATION OF WARRANTY PERIOD.
INSTALL SOO AS INDICATED ON PLAN.

SUPPLY DESIGN AND INSTALLATION OF AN IRRIGATION PLAN WITH 100% COVERAGE FOR SOO AND SHRUB BEDS. SOO AND SHRUB AREAS TO BE ON SEPARATE ZONES. USE BARRIERS OR APPROVED EQUIV. COORDINATE WITH PROPERTY OWNER. PROVIDE AN IRRIGATION PLAN THAT UTILIZES AN ALTERNATIVE WATER SOURCE SUCH AS A PRIVATE WELL OR A PUMP SYSTEM INSTALLED ON ONE OF THE PROPOSED RETENTION POUNDS. SECURE A TYPICAL CONNECTION TO THE PUBLIC WATER SUPPLY SYSTEM WILL BE CONSIDERED.

SEED PLANTING NOTES:

APPLY SEED PER THE FOLLOWING:
MULCH SEEDER AREAS WITH M/V/DOT TYPE 3 (UNION CERTIFIED WEED FREE) MULCH AT A RATE OF 1 TON PER ACRE WITHIN 48 HOURS OF SEEDING. MULCH SHOULD THEN BE DISCHARGED TO KEEP IT FROM BLOWING AWAY.

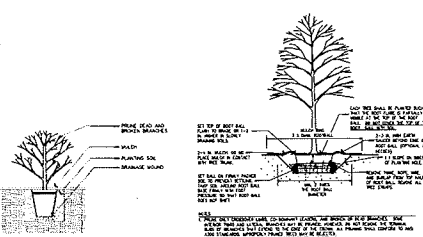
SEEDING SHALL BE APPLIED FROM APRIL 15 - JULY 20 OR SEPTEMBER 20 - FREEZE UP.
IF HYDROSEEDING UTILIZE APPROXIMATELY 500 GALLONS OF WATER PER ACRE. REFER TO M/V/DOT SPEC 3004 FOR PROPER INSTALLATION OF HYDRO-SEED.

ALL NATIVE SEEDS USED ON THIS PROJECT SHALL BE CERTIFIED TO BE OF MINNESOTA GROWN BY THE MINNESOTA CROP IMPROVEMENT ASSOCIATION (MICA).
SITE TO BE PREPARED BY LOOSENING TOPSOIL TO A MINIMUM DEPTH OF 3 INCHES.

THE SITE TO BE HARROWED OR RAKED FOLLOWING SEEDING, AND THEN PACKED USING A CULT-PACKER OR EQUIV.

MAINTAIN SEEDER AREAS BY WATERING, REWEEDING, AND REPLANTING AS NECESSARY TO ESTABLISH A "UNIFORM" DENSE STAND OF THE SPECIFIED GRASSES UNTIL ACCEPTED.

ANY AREAS FAILING TO ESTABLISH A STAND SHALL BE RESEED, FERTILIZED, AND REWEEDED WHENEVER FOR VEGETATION. VEGETATION IS NOT ACHIEVED. RESEEDING SHALL CONFORM TO ALL RELEVANT SPECIFICATIONS. THE CONTRACTOR SHALL REPAIR ANY DAMAGE TO THE WORK AREAS RESULTING FROM EROSION AND/OR EQUIPMENT. THE CONTRACTOR SHALL REPAIR DAMAGE, INCLUDING RESEEDING, ETC. AS NECESSARY, BEFORE SIGNIFICANT DAMAGE OCCURS.

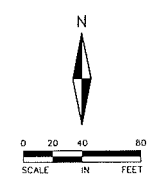


SHRUB PLANTING DETAIL
12" POT

TREE PLANTING DETAIL
24" POT

LANDSCAPE LEGEND:

- PROPOSED DRAINAGE EASEMENT TO BE STABILIZED WITH LIVE WILLOW AND DOGWOOD STAKES **
- PROPOSED OVERSTORY TREE
- PROPOSED ORNAMENTAL TREE
- PROPOSED EVERGREEN TREE
- PROPOSED SHRUBS
- PROPOSED EDGER
- EXISTING TREES
- EXISTING ORNAMENTAL TREE
- EXISTING EVERGREEN TREE
- EXISTING SHRUBS



CONSTRUCTION SERVICES
MINNESOTA

ALLIANT
ENGINEERING, INC.
233 PARK AVE. SOUTH, SUITE 200
MINNETONKA, MN 55345
PHONE 612-724-3000
FAX 612-724-3000

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed LANDSCAPE ARCHITECT in the State of MINNESOTA.

Print Name: _____
Signature: _____
Date: _____
License Number: _____

LEXINGTON PRESERVE - FAIRVIEW URGENCY CENTER
PHEASANT RIDGE DRIVE
BLAINE, MINNESOTA

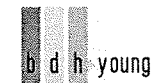
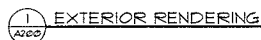
CUP AMENDMENT & PRELIMINARY PLAT REVIEW
LANDSCAPE PLAN

REVISIONS
8.6.13 CUP/SITE SUBMITTAL

DESIGNED BY	MMW
DRAWN BY	MMW
CHECKED BY	MMW
DATE ISSUED	8-6-13
SCALE	1" = 40'
JOB NO.	213-0102

L-1

SHEET 10 of 12



Project Information

FAIRVIEW
URGENCY CENTER

PHASE I CONSTRUCTION

Issue Record

Sheet Title

PRELIMINARY SPACE PLAN

Sheet Information

Job Code: FVASC
Drawn By: EH Reviewed By: BN
Filename: FVASC.PSP.08

Date
09.06.2013

A200

