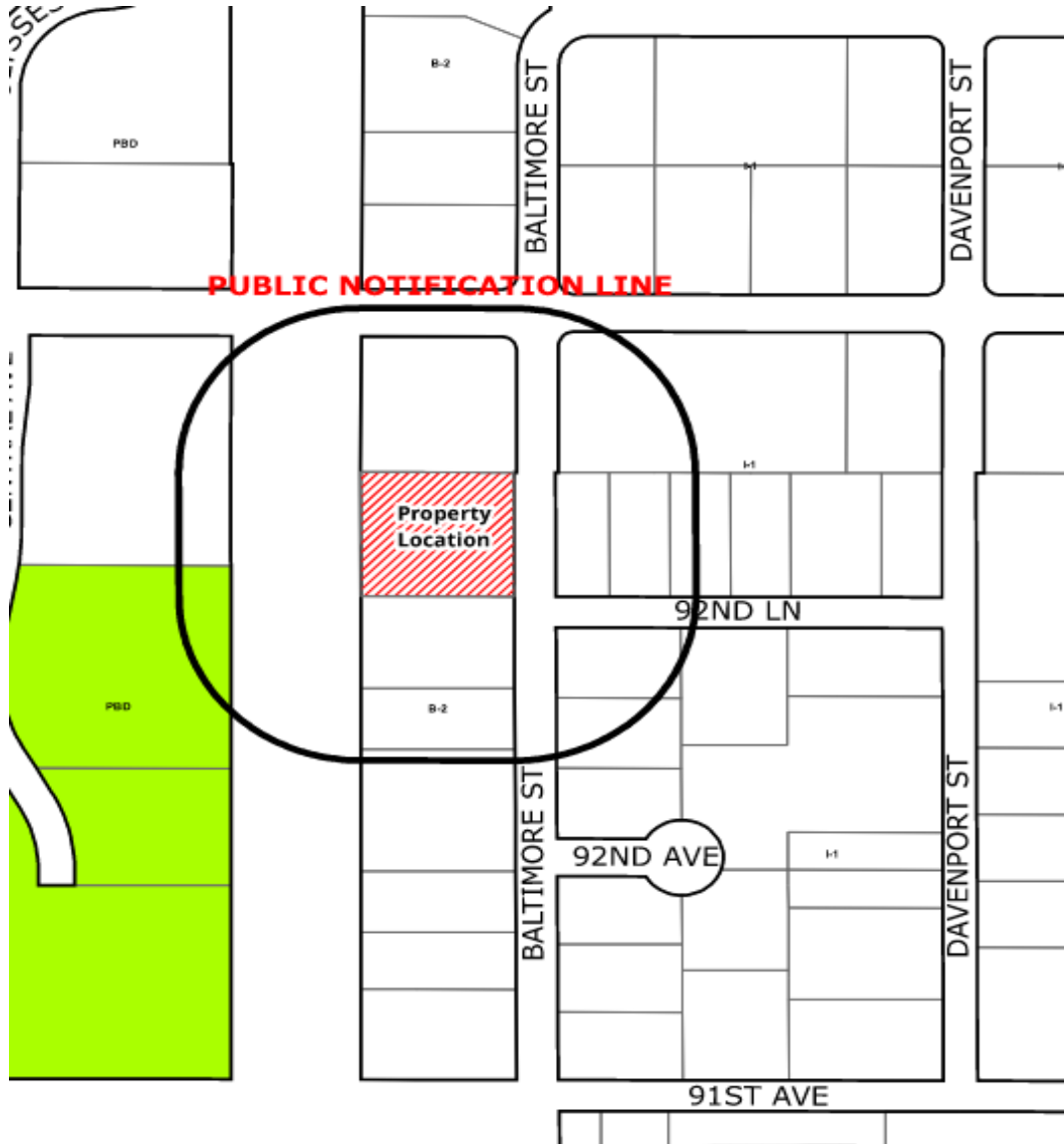


Silverstar Car Wash

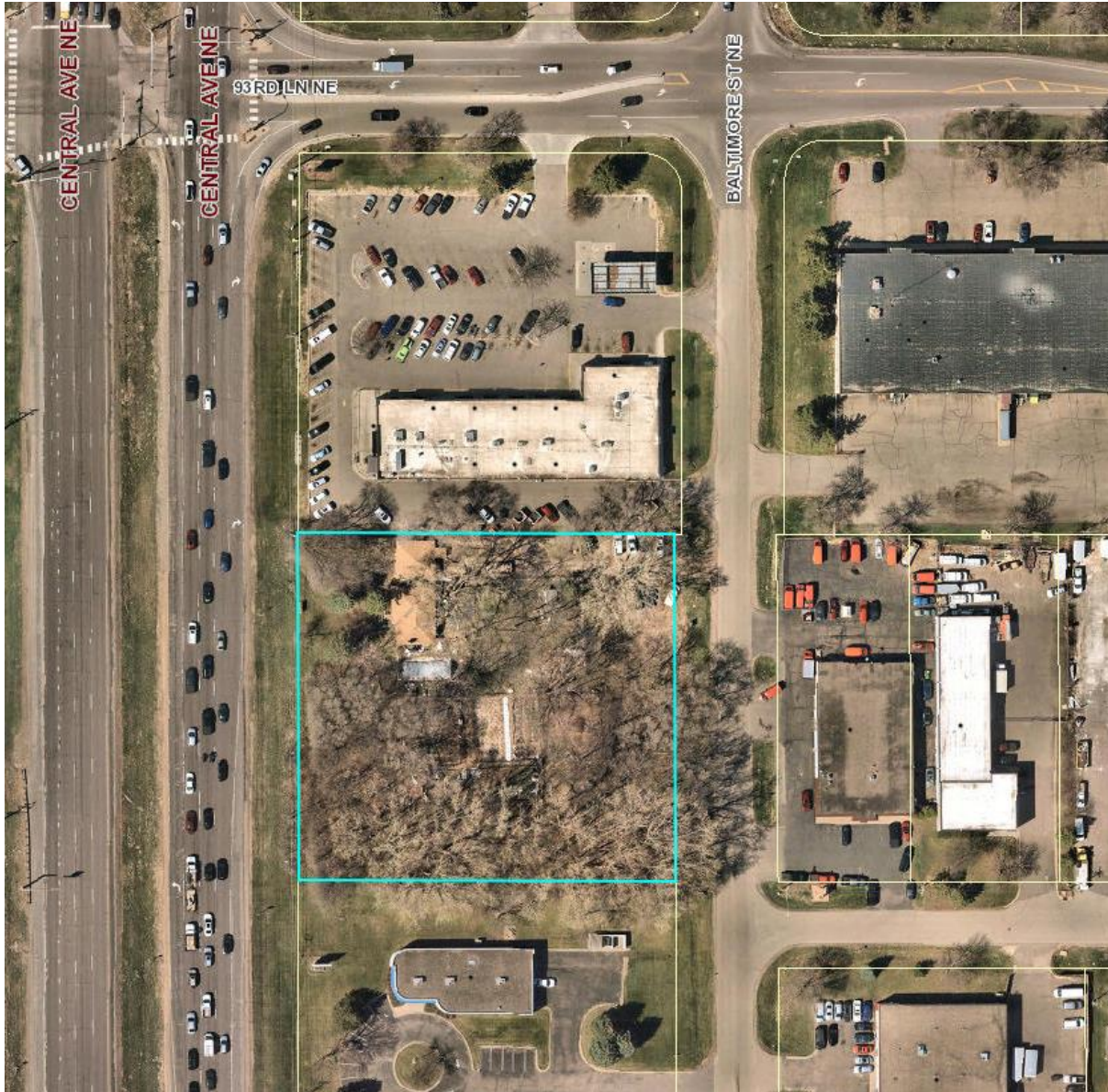
9280 Baltimore Street NE



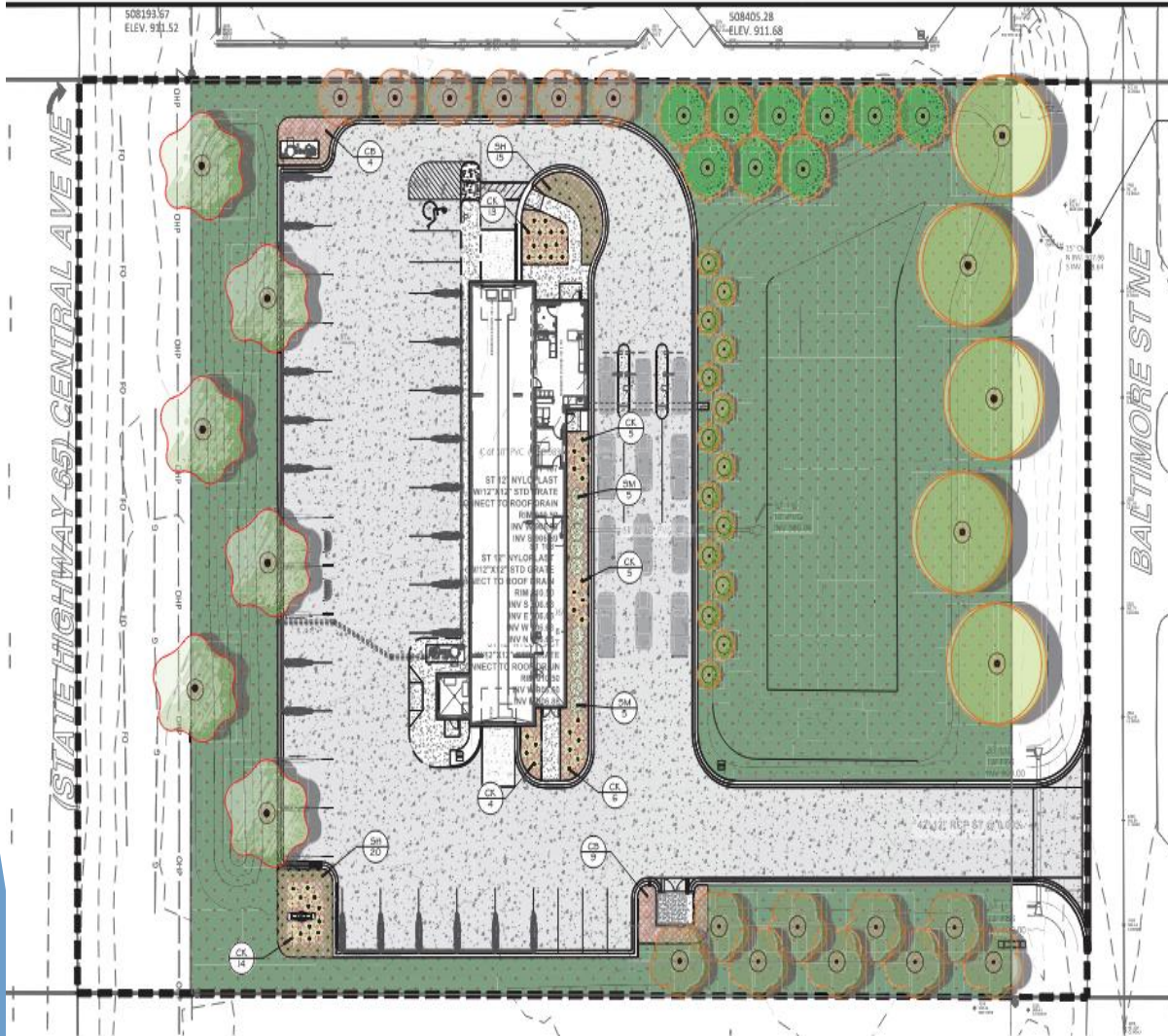
Conditional Use Permit for:

- Car Wash

Zoning



- ▶ B-2 (Community Commercial)
- ▶ Surrounding properties are zoned:
 - North and south have a B-2 zoning
 - East has an I-1 (Light Industrial) zoning



- ▶ 4,808 s.f. car wash
- ▶ Three drive lanes entering car wash.
- ▶ Enter building from north side of site.
- ▶ Setbacks are met on site:
 - ▶ Building
 - Front: 50 feet
 - Side: 20 feet
 - ▶ Parking
 - Front: 30 feet
 - Side: 10 feet

Parking/Landscape

Parking:

- ▶ 33 parking stalls for employees and vacuum stalls.
- ▶ Parking requirements met on site.

Landscape:

- ▶ Landscape plan meets zoning ordinance requirements.
- ▶ Tree preservation ordinance requires that 8 trees per acre be replaced on site.
- ▶ The developer will be required to replace 15 trees on site. This requirement is being met with the submitted landscape plan.



Elevations



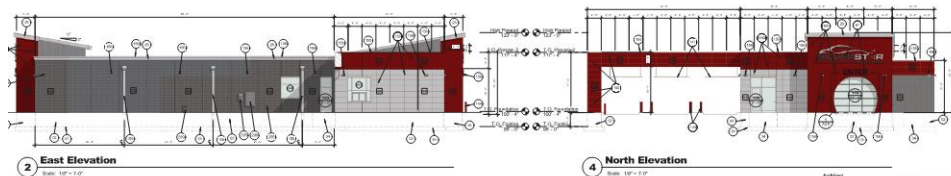
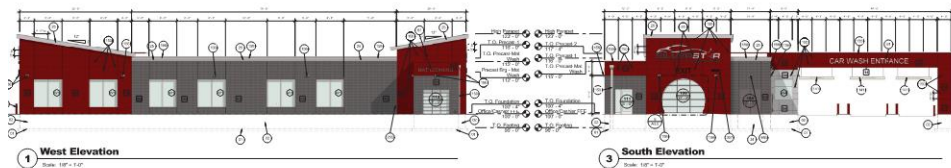
1 **Perspective 1**

Perspective view for reference only. For site specific statements, see staff plans.



2 **Perspective 2**

Perspective view for reference only. For site specific statements, see staff plans.



► Elevation materials:

- Glass
- Textured precast panel
- Brick

► Meets the Highway 65 Overlay District requirements.



Recommendation



- ▶ Public Hearing was held January 10, 2023.
- ▶ The Planning Commission voted unanimously to approve.
- ▶ There were no comments at the public hearing.
- ▶ Staff recommends approval with 5 conditions listed in the staff report.