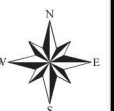


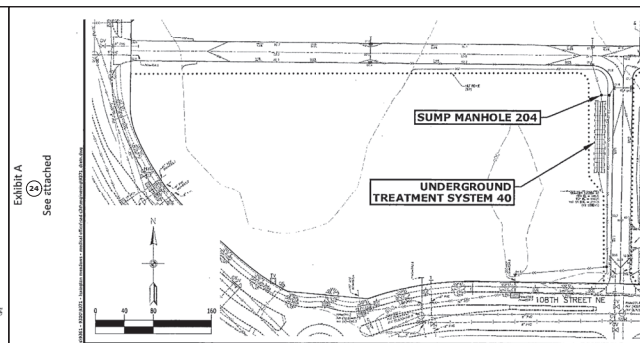
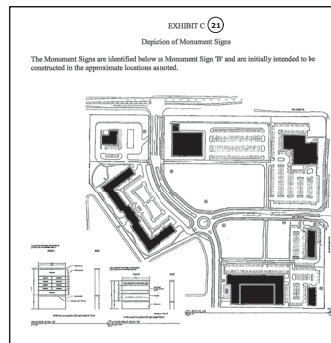
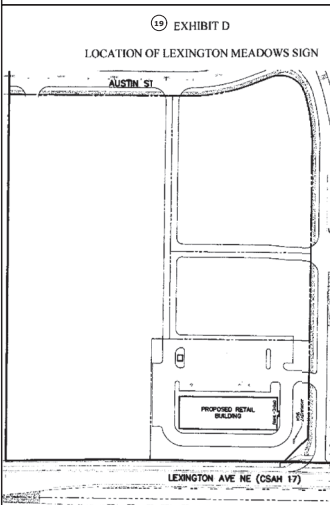
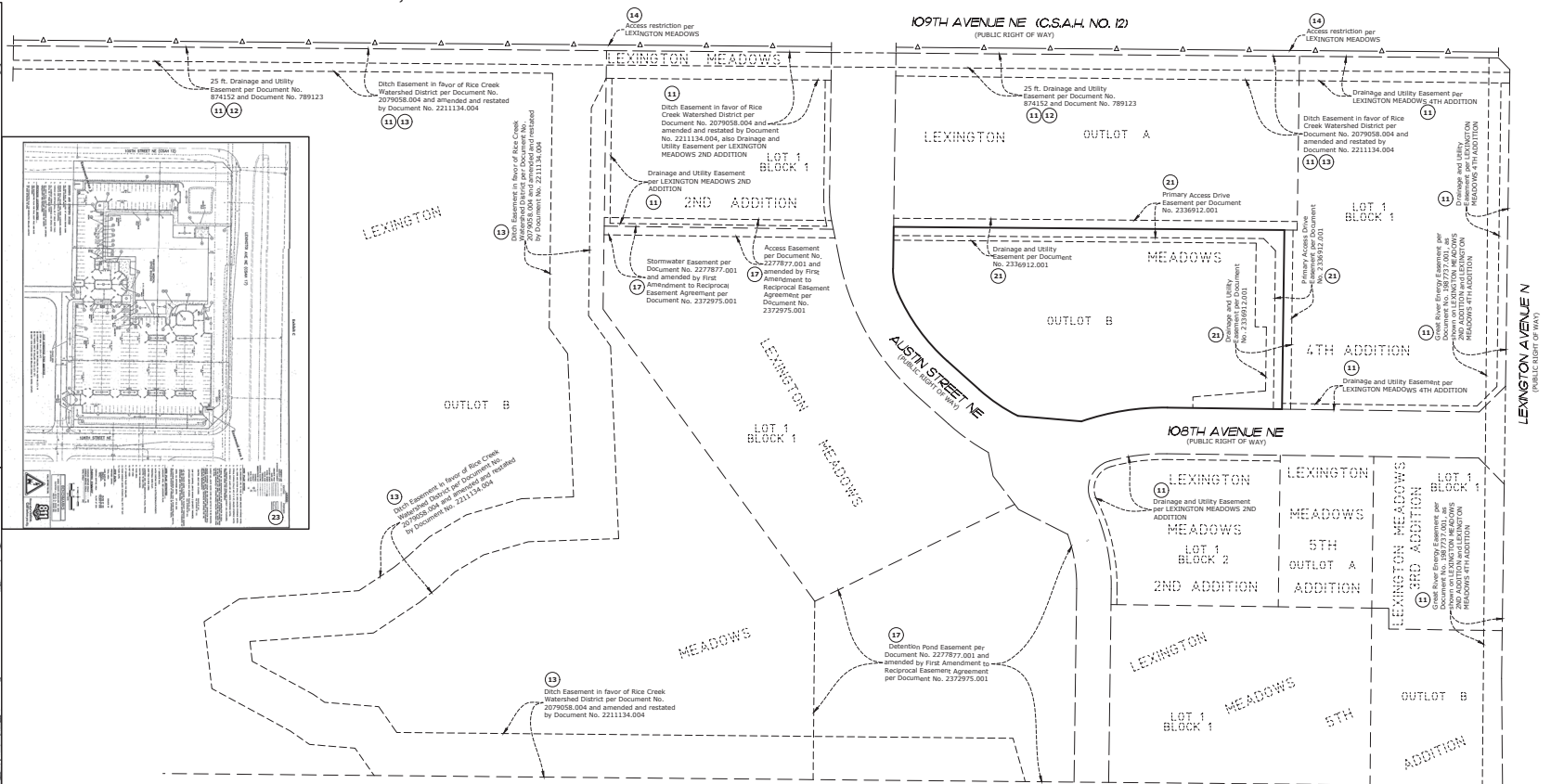
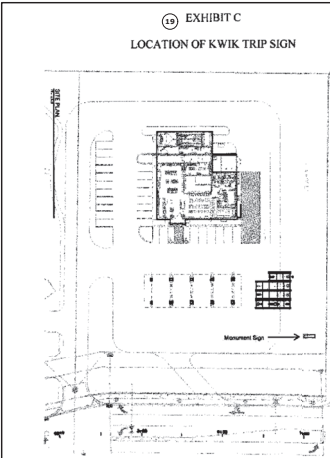
Case File No. 22-0083
Culver's Restaurant

Blaine Planning Department / 10801 Town Square Dr NE / Blaine, MN 55449 / (763) 785-6180

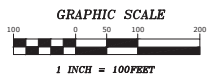


ALTA/NSPS LAND TITLE SURVEY

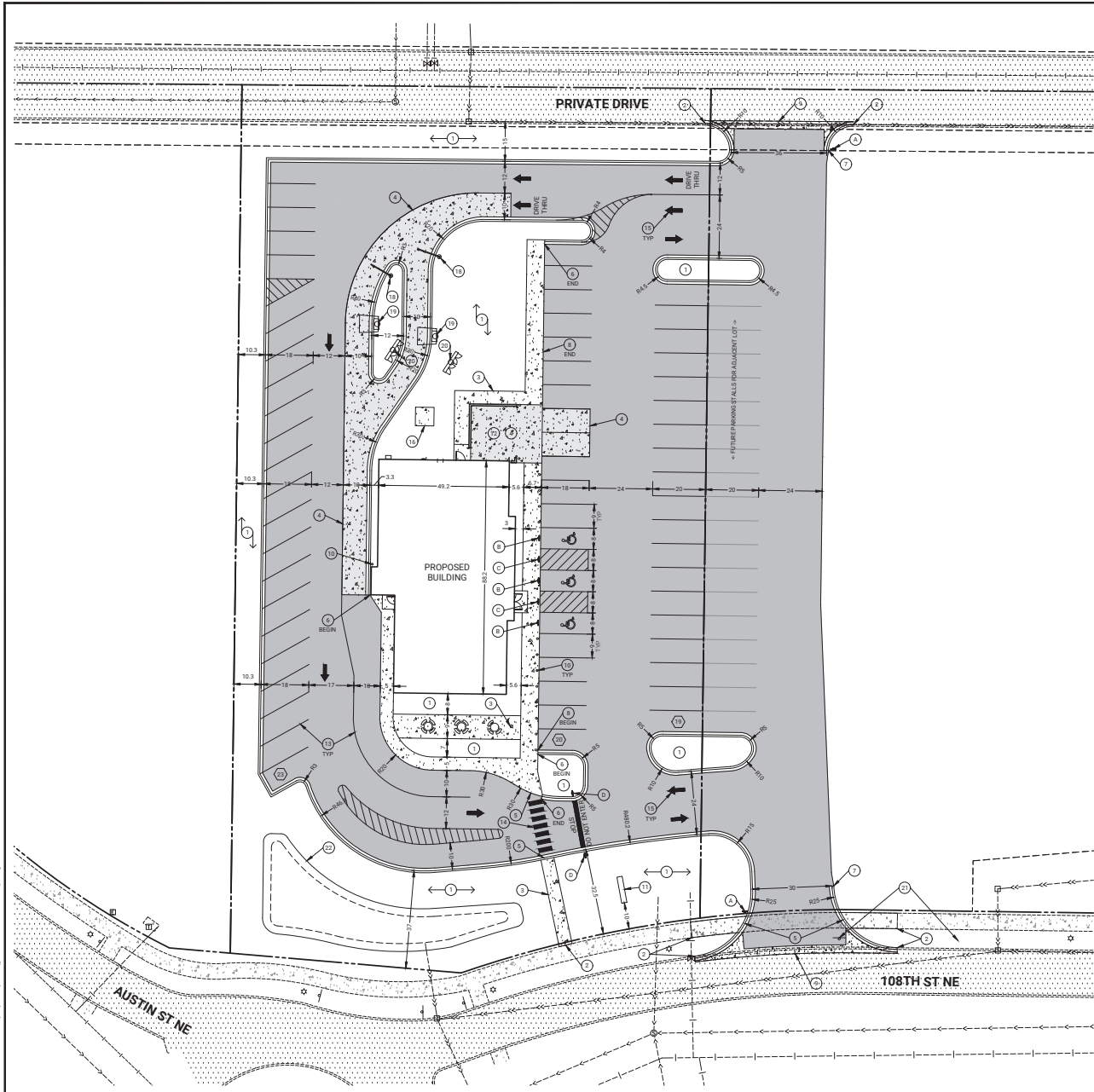
~for~ VAN HOUTAN HOLDINGS, LLC
~of~ OUTLOT B, LEXINGTON MEADOWS 4TH ADDITION



SHEET 3 OF 3 SHEETS



DRAWN BY: KCM		JOB NO: 221201PP	DATE: 11/22/22
CHECK BY: KCM		FIELD CREW: RW	
1			
2			
3			
NO.	DATE	DESCRIPTION	BY



SITE DATA

LAND USE DESIGNATION:	PLANNED COMMERCIAL
EXISTING ZONING:	PB1, PLANNED BUSINESS DISTRICT
PROPOSED ZONING:	PB1, PLANNED BUSINESS DISTRICT
PARCEL AREA:	57,880 SF
IMPERVIOUS AREA (LOT ONLY):	
BUILDING:	4,223 SF 7%
PAVEMENT:	28,651 SF 44%
TOTAL:	40,874 SF 71%
PERVIOUS AREA (LOT ONLY):	17,006 SF 29%

PARKING SUMMARY

STANDARD STALLS:	59
HANDICAP STALLS:	2
TOTAL STALLS:	61

KEYNOTES

- SEE ARCHITECTURAL SITE PLANS FOR ADDITIONAL SITE PLAN NOTES.
- LANDSCAPE AREA. SEE LANDSCAPE PLAN.
- MATCH EXISTING CURB/SIDEWALK/PAVEMENT.
- CONCRETE WALK/PATIO.
- CONCRETE PAVEMENT/APRON.
- PEDESTRIAN CURB RAMP.
- INTEGRAL CONCRETE WALK/CURB.
- 3 FT. TAPER OUT CURB.
- FLUSH CURB.
- CONCRETE VALLEY GUTTER.
- 6" CONCRETE FILLED PIPE BOLLARD.
- MONUMENT SIGN.
- TRASH ENCLOSURE, SEE ARCHITECTURAL PLANS.
- 4" SOLID WHITE LINE.
- CROSS WALK PAVEMENT MARKINGS SOLID WHITE.
- SOLID WHITE PAVEMENT MARKING.
- TRANSFORM PAD. FINAL LOCATION TO BE CONFIRMED BY CONTRACTOR AND ELECTRIC PROVIDER.
- LIGHT POLE AND BASE, TBD.
- CLEARANCE/HEIGHT RESTRICTION BAR.
- DRIVE THRU ORDER SCREEN WITH CANOPY.
- MENU BOARD.
- RELOCATE NO PARKING SIGN FROM HERE TO HERE.
- INFILTRATION BASIN.

LEGEND

EXISTING	PROPOSED	PROPERTY LINE
		EASEMENT LINE
		BITUMINOUS PAVEMENT
		CONCRETE WALK/STOOP
		CONCRETE PAVEMENT
		CURB LINE
		STORM SEWER
		SANITARY SEWER
		WATER MAIN
		UNDERGROUND ELECTRIC
		UNDERGROUND GAS
		UNDERGROUND DATA
		STORM CATCH BASIN
		STORM MANHOLE
		STORM FLARED END SECTION
		HYDRANT
		GATE VALVE
		LIGHT POLE
		OTHER SYMBOLS

BENCHMARK

MINNESOTA DEPARTMENT OF TRANSPORTATION
GSD STATION #823, NAMED LIND MINDOT
ELEVATION: 929.35 (NAVD 88)

SITE PLAN NOTES

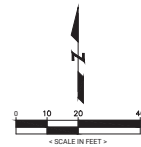
- ALL DIMENSIONS ARE TO FACE OF CURB AND OUTSIDE FACE OF BUILDING UNLESS OTHERWISE NOTED.
- ALL CURB AND GUTTER SHALL BE 8012 UNLESS OTHERWISE NOTED.
- TYPICAL PARKING STALLS ARE 9' X 18' FOR STANDARD STALLS AND 8' X 18' FOR HANDICAP STALLS.
- ALL PEDESTRIAN RAMPS SHALL MEET CURRENT ADA STANDARDS.
- UNLESS OTHERWISE SHOWN IN THE PLANS, CONTRACTOR SHALL PROVIDE CONTROL JOINTS AND EXPANSION JOINTS IN SLAB ON GRADE, SIDEWALKS, AND DRIVES PER THE FOLLOWING REQUIREMENTS:
CONTROL JOINTS: WALKS @ 8' SPACING
OTHERS @ 10' SPACING
SAWCUT CONTROL JOINTS MINIMUM 1/8" CONCRETE THICKNESS.
EXPANSION JOINTS: WALKS @ 24' SPACING
OTHERS @ 48' SPACING
PROVIDE EXPANSION JOINT AT ALL POINTS WHERE A CHANGE IN PAVEMENT THICKNESS OCCURS AND WHERE NEW PAVEMENT WILL MATCH EXISTING PAVEMENT.
DOWEL ALL EXPANSION JOINTS AT 24' SPACING MAX.

SIGNAGE AND PAVEMENT MARKING NOTES

- ALL SIGNS SHALL BE PLACED 10' MINIMUM BEHIND BACK OF CURB UNLESS OTHERWISE NOTED.
- SIGNS SHALL INCLUDE HARDWARE, POST, FOOTING, CASING, AND ALL APPURTENANCES REQUIRED FOR TYPICAL INSTALLATION.
- PARKING LOT STRIPING AND PAVEMENT MARKINGS SHALL BE 4" SOLID WHITE PAINT. ALL PAVEMENT LETTERING SHALL BE 12" HEIGHT.
- ALL SIGNS AND PAVEMENT MARKINGS SHALL BE PER THE LATEST EDITION OF THE MINNESOTA MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).

SIGN SCHEDULE

STOP SIGN	R1-1 (24" X 24")
HANDICAP PARKING SIGN ON 6" CONCRETE BOLLARD	R7-6m W/R7-6b (12" X 18")
NO PARKING SIGN ON 6" CONCRETE BOLLARD	R8-3a (12" X 18")
DO NOT ENTER SIGN	R5-1 (24" X 24")
MOBILE ORDER PICKUP SIGN	PER TENANT, TBD
THANK YOU/EXIT SIGNAGE	PER TENANT
DIGITAL ORDER PICKUP SIGN	PER TENANT



8145 VISION STREET, ROCKFORD, MN 55079
TEL: 612-952-2525 | WWW.CONTOURCIVIL.COM

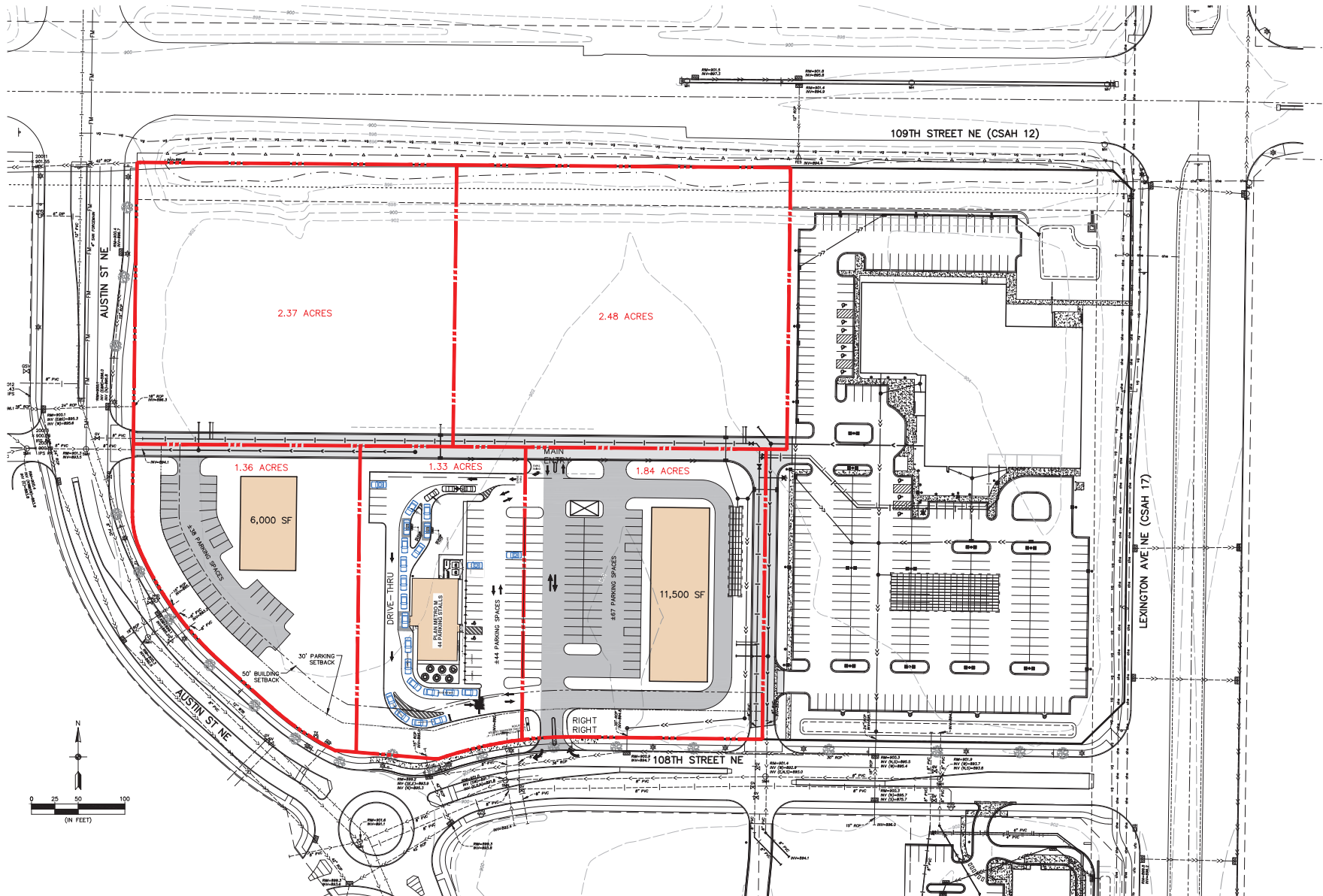
I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A FULLY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.
NAME: JOSEPH T. RADACH PE
SIGNATURE: [Signature]
DATE: 12/02/22 LIC # 45889

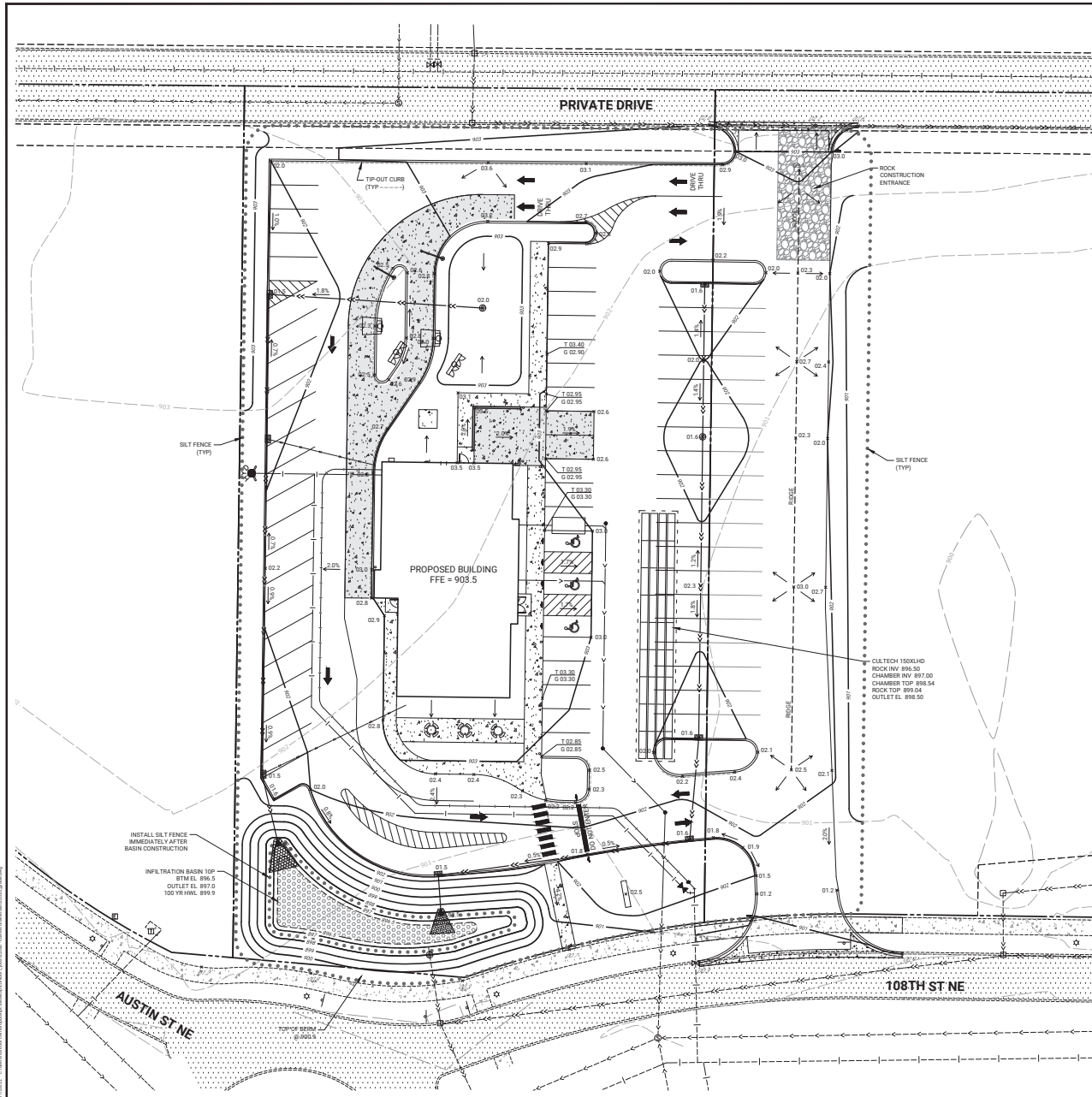
REVISIONS	DATE	BY	APP
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4			
5			
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7			

VAN HOUTAN HOLDINGS, LLC
P.O. Box 505
Becker, MN 55308

SITE PLAN
CULVER'S RESTAURANT
Austin Street NE & 108th Street NE
Blaine, Minnesota

SHEET NUMBER
C2.1





LEGEND

EXISTING	PROPOSED	PROPERTY LINE
---	---	---
---	---	EASEMENT LINE
---	---	STIMULOUS PAVEMENT
---	---	CONCRETE WALK/STOOP
---	---	CONCRETE PAVEMENT
---	---	CURB LINE
---	---	STORM SEWER
---	---	SANITARY SEWER
---	---	WATER MAIN
---	---	UNDERGROUND ELECTRIC
---	---	UNDERGROUND GAS
---	---	UNDERGROUND DATA
---	---	STORM CATCH BASIN
---	---	STORM MANHOLE
---	---	STORM FLARED END SECTION
---	---	HYDRANT
---	---	GATE VALVE
---	---	LIGHT POLE
---	---	OTHER SYMBOLS
---	---	S' CONTOUR
---	---	T' CONTOUR
---	---	SPOT ELEVATION (CURB ELEVATIONS ARE TO GUTTER LINE)
---	---	SILT FENCE
---	---	BIKUP

BENCHMARK

MINNESOTA DEPARTMENT OF TRANSPORTATION
GSD STATION 852.2 NAMED LINDA MINDY
ELEVATION: 929.35 (NAVD 83)

- GOVERNING SPECIFICATIONS**
- THE LATEST EDITION OF THE MINNESOTA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR CONSTRUCTION AND THE CITY OF BLAINE SPECIFICATIONS.
 - THE LATEST EDITION OF THE MINNESOTA MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
 - THE LATEST EDITION OF THE CITY ENGINEERS ASSOCIATION OF MINNESOTA (CEAM) STANDARD SPECIFICATIONS.

- GRADING NOTES**
- VEHICLE TRACKING REDUCTION DEVICE, SILT FENCE, AND EXISTING CATCH BASIN INLET PROTECTION SHALL BE INSTALLED PRIOR TO GRADING CONSTRUCTION, AND SHALL BE MAINTAINED UNTIL THE SITE HAS BEEN STABILIZED.
 - CONTRACTOR SHALL FIELD VERIFY THE LOCATIONS AND ELEVATIONS OF EXISTING UTILITIES PRIOR TO THE START OF GRADING CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY OF DISCREPANCIES OR VARIATIONS FROM THE PLAN.
 - CONTRACTOR SHALL STRIP, STOCKPILE AND RESPREAD SUFFICIENT TOPSOIL TO PROVIDE A MINIMUM OF 8" OF TOPSOIL OVER ALL DISTURBED AREAS THAT WILL BE SOILED, SEED, OR LANDSCAPED.
 - ALL DISTURBED AREAS MUST BE STABILIZED WITHIN 7 CALENDARS DAYS AFTER LAND-DISTURBING WORK HAS TEMPORARILY OR PERMANENTLY CEASED.
 - ALL SLOPES STEEPER THAN 3:1 SHALL HAVE MNDOT CAT 1 EROSION CONTROL BLANKET AND SEED OR APPROVED EQUIV.
 - STOCKPILES SHALL BE STABILIZED WITHIN 7 DAYS OF ROUGH GRADING OR INACTIVITY.
 - ALL WORK WITHIN THE ADJACENT STREET RIGHTS OF WAY MUST BE COORDINATED WITH AND APPROVED BY THE CITY PUBLIC WORKS DEPARTMENT.

0 10 20 40
SCALE IN FEET

811
Know what's below.
Call before you dig.

OWNER

VAN HOUTAN HOLDINGS, LLC
P.O. Box 505
Becker, MN 55309

GRADING AND DRAINAGE PLAN

CULVER'S RESTAURANT
Austin Street NE & 108th Street NE
Blaine, Minnesota

SHEET NUMBER

C4.1

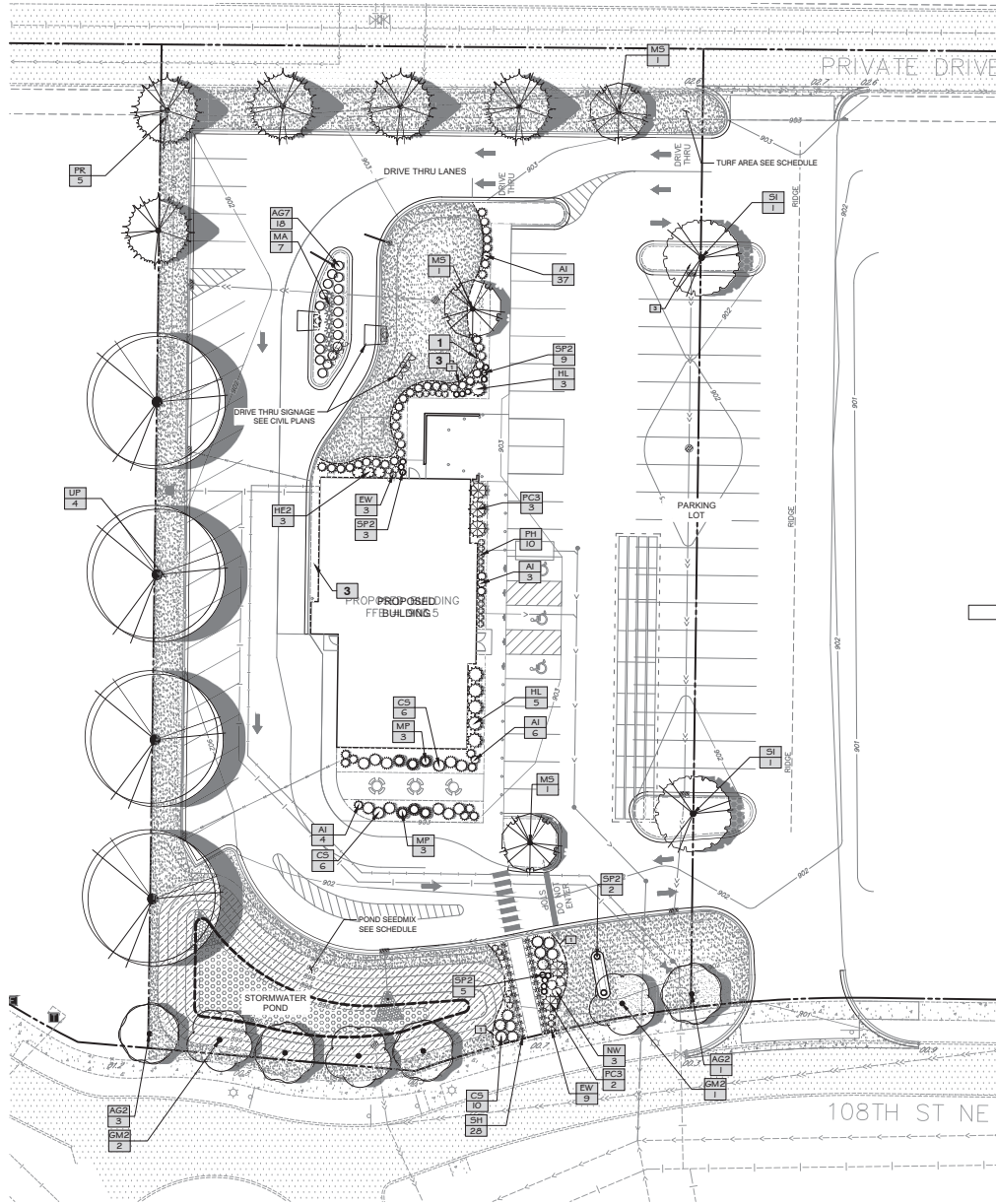
CONTOUR CIVIL DESIGN
8145 VISION STREET, ROCKFORD, MN 55079
TEL: 612-952-2551 | WWW.CONTOURSD.COM

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A FULLY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

NAME: JOSEPH T. RADACH PE
SIGNATURE: [Signature]
DATE: 12/02/22, LIC #: 45889

REVISIONS	DATE	BY	APP
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12/02/2023: \\sawyer\p\projects\documents\340_000000\340\landscape\340\landscape.dwg



CITY OF BLAINE LANDSCAPE REQUIREMENTS

- (1) OVERSTORY DECIDUOUS SHADE TREE FOR EVERY TWO THOUSAND (2,000) SQUARE FEET OF TOTAL BUILDING FLOOR AREA OR ONE (1) TREE FOR EVERY ONE HUNDRED (100) FEET OF SITE PERIMETER, WHICHEVER IS GREATER.
CALCULATION = (4,224 SF BUILDING / 2000 = 2, OR 1000 LF SITE PERIMETER / 100 = 10)
TOTAL REQUIRED = 10 OVERSTORY TREES
TOTAL PROVIDED = 11 OVERSTORY TREES
- (2) CONIFEROUS TREE FOR EVERY TWO THOUSAND (2,000) SQUARE FEET OF BUILDING OR ONE (1) CONIFEROUS TREE FOR EVERY TWO HUNDRED (200) FEET OF SITE PERIMETER, WHICHEVER IS GREATER.
CALCULATION = (4,224 SF BUILDING / 2000 = 2, OR 1,000 LF SITE PERIMETER / 200 = 5)
TOTAL REQUIRED = 5 CONIFEROUS TREES
TOTAL PROVIDED = 5 CONIFEROUS TREES
- (3) ONE (1) SHRUB FOR EVERY THIRTY (30) FEET OF SITE PERIMETER, WHICHEVER IS GREATER.
CALCULATION = (4,224 SF BUILDING / 300 = 14, OR 1,000 LF SITE PERIMETER / 30 = 33)
TOTAL REQUIRED = 33 UNDERSTORY SHRUBS
TOTAL PROVIDED = 33 UNDERSTORY SHRUBS
- (4) (1) ORNAMENTAL TREE FOR EVERY TWO THOUSAND (2,000) SQUARE FEET OF BUILDING OR ONE (1) ORNAMENTAL TREE FOR EVERY TWO HUNDRED (200) FEET OF SITE PERIMETER, WHICHEVER IS GREATER.
CALCULATION = (4,224 SF BUILDING / 2000 = 2, OR 1,000 LF SITE PERIMETER / 200 = 5)
TOTAL REQUIRED = 5 ORNAMENTAL TREES
TOTAL PROVIDED = 5 ORNAMENTAL TREES
- (5) UNDERGROUND IRRIGATION SHALL BE REQUIRED FOR ALL LANDSCAPE AREAS. SUCH IRRIGATION SHALL EXTEND TO INCLUDE PUBLIC BOULEVARDS AND INTO LANDSCAPED PARKING ISLANDS, EXCEPT NATURAL AREAS TO BE PRESERVED.

REFERENCE NOTES SCHEDULE

SYMBOL	DESCRIPTION	QTY
1	Border Concept Commercial Grade Steel Edging Color: Black	238 lf
SYMBOL	DESCRIPTION	QTY
3	Trap Rock	36.26 cy

PLANT SCHEDULE

TREES	BOTANICAL / COMMON NAME	SIZE	QTY
AG2	Acer tataricum 'GaeAnn' / Hot Wings Tatarian Maple	2.5' B&B	4
GM2	Ginkgo biloba 'Magyer' / Magyar Maidenhair Tree	2.5' B&B	3
MS	Malus x 'Spring Snow' / Spring Snow Crab Apple	1.75'	3
PR	Pinus resinosa / Red Pine	8' HL	5
SI	Syringa reticulata 'Ivory Silk' / Ivory Silk Japanese Tree Lilac	8-9' B&B	2
UP	Ulmus americana 'Princeton' / Princeton American Elm	---	4
SHRUBS	BOTANICAL / COMMON NAME	SIZE	QTY
CS	Cornus stolonifera 'Arctic Fire' / Arctic Fire Dogwood	#2	22
HE2	Hosta x 'Elegans' / Plantain Lily	#10	3
HL	Hydrangea paniculata 'Little Lime' / Little Lime Hydrangea	#2	6
PC3	Pinus mugo 'Compacta' / Dwarf Mugo Pine	15 gal.	5
GRASSES	BOTANICAL / COMMON NAME	SIZE	QTY
AG7	Andropogon gerardi / Big Blue Stem	#2	18
AI	Andropogon gerardi 'Indian Warrior' / Indian Warrior Big Bluestem	#1	50
MA	Miscanthus purpurascens 'Autumn Red' / Autumn Red Flame Grass	#1	7
MP	Miscanthus sinensis 'Purpureus' / Flame Grass	#1	6
SH	Sporobolus heterolepis / Prairie Dropseed	#10	28
PERENNIALS	BOTANICAL / COMMON NAME	SIZE	QTY
EW	Echinacea purpurea 'PowWow Wild Berry' / PowWow Wild Berry Coneflower	#10	17
ANNUALS/PERENNIALS	BOTANICAL / COMMON NAME	SIZE	QTY
NW	Nipeta x faassonii 'Walkers Low' / Walkers Low Catmint	#1	3
PH	Penstemon digitalis 'Husker Red' / Beardtongue	#1	10
SP2	Sedum x 'Purple Emperor' / Purple Emperor Stonecrop	#1	16
GROUND COVERS	BOTANICAL / COMMON NAME	SIZE	QTY
	Native Seed/Grasses / High Altitude Grasses	Seed	3,082 sf
	Poa pratensis / Kentucky Bluegrass	sod	15,481 sf

LANDSCAPE PLAN NOTES

- EXISTING CONDITIONS. CONTRACTOR SHALL VERIFY EXISTING CONDITIONS PRIOR TO BIDDING AND CONSTRUCTION START. ANY DISCREPANCIES FOUND THAT AFFECT THE WORK SHALL BE REPORTED TO THE OWNER/LANDSCAPE ARCHITECT FOR CLARIFICATION PRIOR TO BIDDING OR APPROVING ANY ADDITIONAL WORK REQUIRED.
- UTILITY LOCATES. CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND VERIFYING ALL PUBLIC AND PRIVATE UTILITIES, INCLUDING IRRIGATION LINES, AT LEAST 48 HOURS BEFORE EXCAVATING OR IN ACCORDANCE WITH STATE LAW. IN MINNESOTA, CALL Gopher State One-Call at 800-454-0002 FOR FIELD LOCATION OF PUBLIC UNDERGROUND UTILITY LINES. ALL LOCATES AND ITEMS NOTED AS FIELD VERIFY ON THE PLANS SHALL BE VERIFIED BY THE CONTRACTOR AT THEIR EXPENSE.
- PERMITS. CONTRACTOR SHALL VERIFY WITH THE OWNER/LANDSCAPE ARCHITECT THAT THE REQUIRED PERMITS HAVE BEEN OBTAINED PRIOR TO CONSTRUCTION START. CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE CODES, REGULATIONS, AND PERMITS GOVERNING THE WORK.
- EXISTING ITEMS TO REMAIN. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING PAVEMENT, STRUCTURES, UTILITIES, TREES, SITE AMENITIES, ETC. THAT ARE TO REMAIN FROM DAMAGE DURING CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR CORRECTING ANY DAMAGE (AT CONTRACTOR'S EXPENSE) TO EXISTING ITEMS TO REMAIN.
- CONSTRUCTION STAGING AND ACCESS. CONTRACTOR SHALL VERIFY THE LOCATION FOR CONSTRUCTION STAGING AND SITE ACCESS WITH THE OWNER/LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION START. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING PEDESTRIAN AND VEHICLE ACCESS WITHIN AND ADJACENT TO THE SITE THROUGHOUT THE CONSTRUCTION PERIOD UNLESS OTHERWISE NOTED. LONG-TERM STORAGE OF MATERIALS OR SUPPLIES ON-SITE WILL NOT BE PERMITTED. ALL WASTE AND/OR UNUSED MATERIAL SHALL BE PROMPTLY REMOVED FROM THE SITE.
- SITE REMOVALS. REFER TO CIVIL PLANS FOR GENERAL SITE REMOVALS. ALL ITEMS NOTED TO BE REMOVED SHALL BE COMPLETED BY THE CONTRACTOR AND IMMEDIATELY DISPOSED OF OFF-SITE, IN ACCORDANCE WITH LOCAL REGULATIONS, UNLESS OTHERWISE NOTED. COORDINATE WITH OWNER/LANDSCAPE ARCHITECT FOR ANY ITEMS NOTED AS REMOVED BY OTHERS OR REMOVE AND SALVAGE.
- UTILITY COORDINATION. REFER TO CIVIL PLAN SHEETS FOR INFORMATION RELATED TO PROPOSED UTILITIES. COORDINATE WITH ELECTRICAL CONTRACTORS FOR SITE ELECTRICAL WORK AND LIGHTING.
- CONSTRUCTION STAGING. UNLESS OTHERWISE NOTED, CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING CONTROL POINTS AND ALL CONSTRUCTION FIELD STAGING DURING THE COURSE OF THE PROJECT.
- DIMENSIONS. DIMENSIONS TAKE PRECEDENCE OVER SCALE. DIMENSIONS ARE TO FACE DIMENSIONS TAKE PRECEDENCE OVER SCALE. DIMENSIONS ARE TO FACE OF CURB, EDGE OF PAVEMENT/DRIVEWAY, OR OUTSIDE FACE OF BUILDING UNLESS OTHERWISE NOTED.
- PLAN QUANTITIES. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL PLAN QUANTITIES. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL MATERIAL QUANTITIES PER PLAN. MATERIAL SCHEDULES ARE PROVIDED SOLELY FOR CONTRACTOR'S CONVENIENCE.
- REFERENCE SPECIFICATIONS. THE FOLLOWING SPECIFICATIONS SHALL GOVERN THE REFERENCE SPECIFICATIONS. THE FOLLOWING SPECIFICATIONS SHALL GOVERN THE FOLLOWING SPECIFICATIONS SHALL GOVERN THIS PROJECT ACCORDING TO THE FOLLOWING ORDER:
 - 11.1. ADDENDA, WITH THOSE OF A LATER DATE HAVING PRECEDENCE OVER THOSE OF AN EARLIER DATE.
 - 11.2. LANDSCAPE SPECIFICATIONS.
 - 11.3. PLAN DRAWINGS.
 - 11.4. PLANT MATERIAL SCHEDULES.
 - 11.5. CITY STANDARD SPECIFICATIONS AND DETAILS.
 - 11.6. MNDOT STANDARD SPECIFICATIONS FOR CONSTRUCTION, LATEST EDITION.

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.
DATE: 12/02/23 JC # 55038

REVISIONS	DATE	ISSUE DATE	BY
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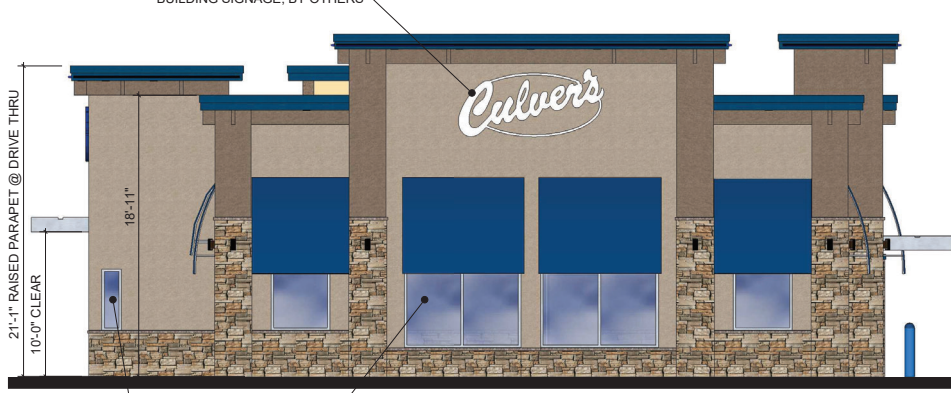
OWNER
VAN HOUTAN HOLDINGS, LLC
P.O. Box 505
Becker, MN 55508

CULVER'S RESTAURANT
Austin Street NE & 108th St NE
Blaine, Minnesota

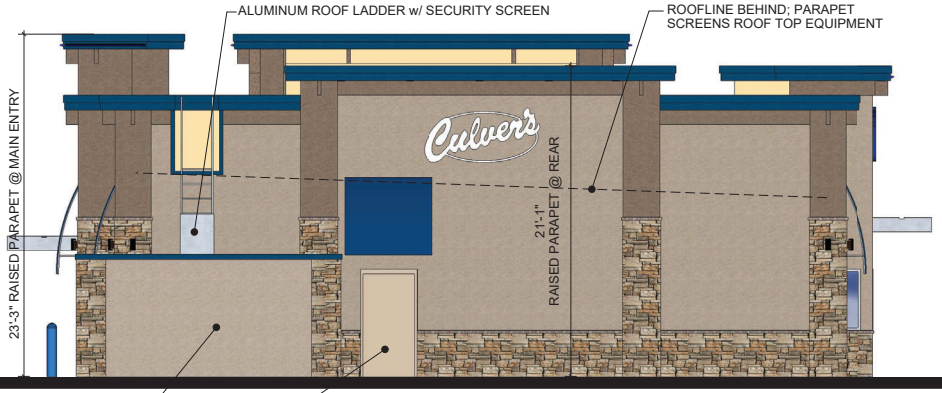
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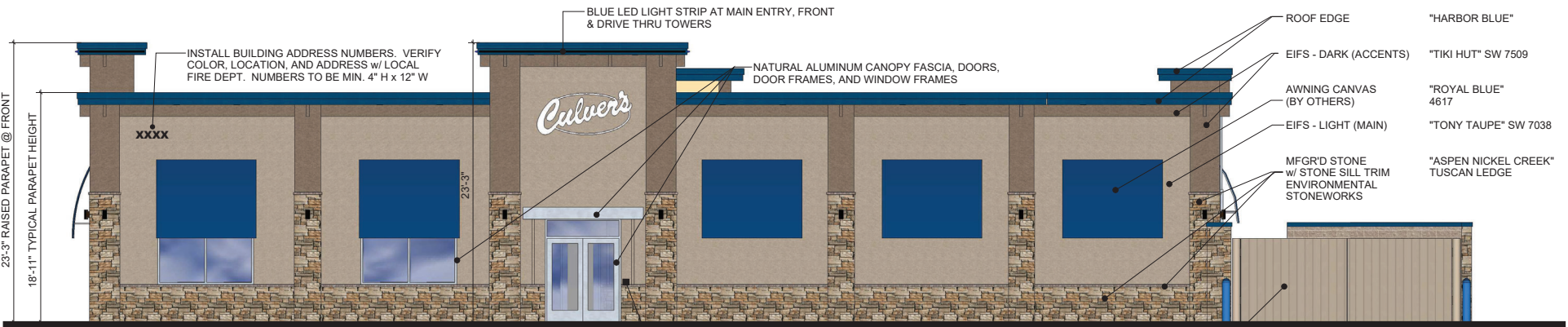
DRIVE THRU (WEST) ELEVATION



FRONT (SOUTH) ELEVATION



REAR (NORTH) ELEVATION



MAIN ENTRY (EAST) ELEVATION

REPRESENTATION	MATERIAL	COLOR
ROOF EDGE		"HARBOR BLUE"
EIFS - DARK (ACCENTS)		"TIKI HUT" SW 7509
AWNING CANVAS (BY OTHERS)		"ROYAL BLUE" 4617
EIFS - LIGHT (MAIN)		"TONY TAUPE" SW 7038
MFG'D STONE w/ STONE SILL TRIM ENVIRONMENTAL STONEWORKS		"ASPEN NICKEL CREEK" TUSCAN LEDGE

EXAMPLE COLORS SHOWN; OWNER'S ACTUAL SELECTIONS MAY VARY

©2022

NEW CULVER'S RESTAURANT

Lexington Meadows

Blaine, MN 55449

County of ANOKA

Culver's Franchising System, Inc.
Prairie du Sac, WI 53578
800-554-7780

OLLMANN ERNEST MARTIN
ARCHITECTS, P.C.
200 South State Street
Belvidere Illinois 61008
815-544-7790 Phone

ELEVATIONS

NOTE: THOUGH THESE IMAGES HAVE PHOTO REALISTIC QUALITIES, THE ACTUAL BUILDING MATERIALS MAY VARY IN APPEARANCE.

Date: 12-2-2022
Revision:

2022-153

A1



REAR LEFT VIEW (NWC)



REAR RIGHT VIEW (NEC)



FRONT RIGHT VIEW (SEC)



FRONT LEFT VIEW (SWC)



LEFT PERSPECTIVE (WEST)



RIGHT PERSPECTIVE (EAST)

EXAMPLE COLORS SHOWN; OWNER'S ACTUAL SELECTIONS MAY VARY

	<p>NEW CULVER'S RESTAURANT Lexington Meadows Blaine, MN 55449 County of ANOKA</p>
<p>Culver's Franchising System, Inc. 1240 Wacker Street Prairie du Sac, WI 53578 800-554-7790</p>	<p>OLLMANN ERNEST MARTIN ARCHITECTS, P.C. 200 South State Street Belvidere Illinois 61008 815-544-7790 Phone</p> <p>ELEVATIONS NOTE: THOUGH THESE IMAGES HAVE PHOTO REALISTIC QUALITIES, THE ACTUAL BUILDING MATERIALS MAY VARY IN APPEARANCE.</p> <p>Date: 12-2-2022 Revision:</p> <p>2022-153</p> <p>A2</p>

OWNER FURNISHED, FOOD SERVICE EQUIPMENT CONTRACTOR (FSEC) INSTALLED			
ITEM	EQUIPMENT SCHEDULE	ITEM	EQUIPMENT SCHEDULE
1	WALK IN COOLER BOX, LINE SETS, & COOL DRAIN PIPES	44	GRILL BEE WARMER CART
2	WALK IN FREEZER BOX, LINE SETS, & COOL DRAIN PIPES	45	STAINLESS STEEL WALL CAP, ELEC CHASE COVER
3	WALK IN COOLER RACKS	46	FRONT PASS-THRU STAINLESS STEEL CHANNEL TRIM
4	WALK IN COOLER DRAINAGE RACKS	47	REACH IN REFRIGERATOR
5	MOBILE CUSTARD VAN RACKS	48	REFRIGERATED MEAT CART
6	WALK IN FREEZER SHELVING	49	MOBILE WORKTABLE
7	WALK IN COOLER DRAINAGE RACKS	50	MOBILE WORKTABLE
8	WORKTABLE / BINK	51	GRILL AND STAND
9	WALL SHELF	52	STAINLESS STEEL DRINK-THRU COUNTER
10	WALK IN COOLER DRAINAGE RACKS	53	STAINLESS STEEL DRINK-THRU COUNTER
11	WORKTABLE / BINK	54	COOKER BARS
12	WALL SHELF	55	STAINLESS STEEL REFRIGERATION CHASE COVER
13	LOCKERS	56	FRY STATION HEAT LAMP
14	STAINLESS STEEL WALL CORNER GUARDS, SHOWN	57	FRYERS
15	WIRE SHELVING	58	CUSTOM FISH REFRIGERATOR
16	DEBITABLES AND UTENSIL BINKS	59	OPEN NUMBER
17	WALL SHELF	60	MOBILE STAINLESS STEEL WORKTABLE
18	OPEN NUMBER	61	ICE MACHINE WITH BIN - ROUGH-IN ONLY
19	SLANTING WALL SHELF	62	REMOTE-TEC MAKER
20	CLEAN PAN SHELVING	63	WALL SHELF
21	JAMFROST SHELVING	64	WORKTABLE
22	REACH-IN FREEZER	65	REFRIGERATED TOPPING TABLE
23	NOT USED	66	CUSTARD SPRING CABINET
24	REFRIGERATED DRAINAGE BASE	67	CAKE CONE DISPENSER
25	OPEN NUMBER	68	SUNDAE TOPPING SYSTEM
26	OPEN NUMBER	69	CRAN CUP DISPENSERS
27	REFRIGERATED WORKTABLE	70	MOBILE WORKTABLE / OVERSHELF
28	MOBILE WORKTABLE / OVERSHELF	71	WALL SHELVES

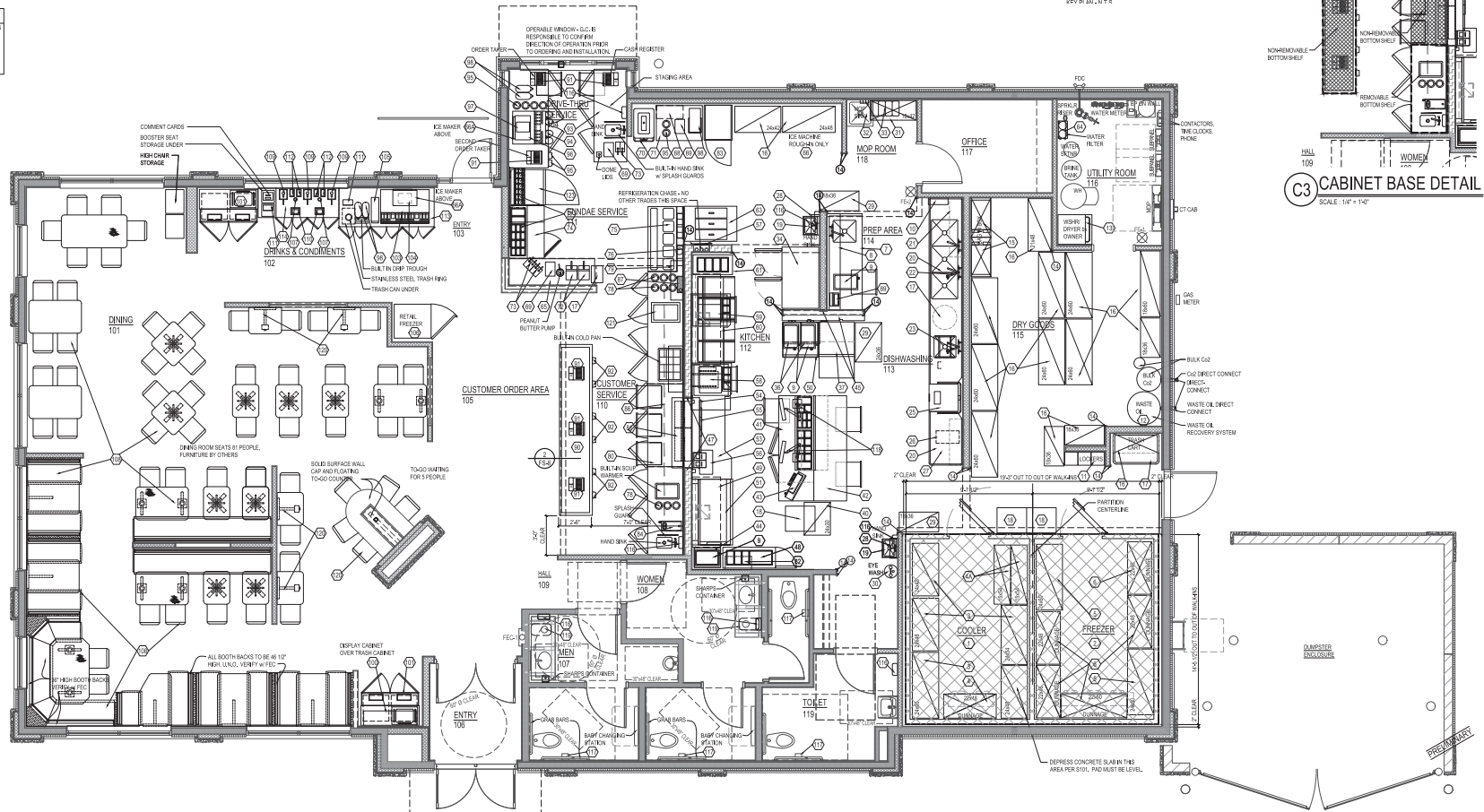
OWNER FURNISHED, VENDOR INSTALLED			
ITEM	EQUIPMENT SCHEDULE	ITEM	EQUIPMENT SCHEDULE
1	COOKER WARMERS	98	ICE TO BROWNE DISPENSER
2	WASTE OIL RECOVERY SYSTEM	99	GRAB-N-SHU (B) DISPENSER - NOT INCLUDED
3	BACON-MADE SYSTEM	100	ICE AND SOUP DISPENSER
4	TRASH CAN - CART	101	CARBONATOR
5	SOUP MAKER	102	SELF-SERVICE LID DISPENSER
6	CHEMICAL DISPENSING SYSTEM	103	STRAIN DISPENSERS
7	MICROWAVE OVEN	104	CONDIMENT PANS
8	BUN TOASTER	105	MONITOR BRACKETS
9	OPEN NUMBER	106	
10	WRAP PAPER HOLDERS	107	
11	HEATED BUN WARMER	108	
12	TRIPLE COFFEE MACHINE	109	
13	ASTRO BLENDERS	110	
14	MILKSHAKE MACHINE	111	
15	HEATED SWIRL DISPENSERS	112	
16	LIQUID TOPPING DISPENSERS	113	
17	COFFEE MAKER	114	
18	POWER WARMER - NOT INCLUDED	115	
19	MENU BOARD / DRINKAGE PACKAGE	116	
20	WAPLE CONE DISPENSER	117	
21	OPEN NUMBER	118	
22	FOOD LABEL MARKER	119	
23	CASH REGISTER / POS SYSTEM	120	
24	ICE AND SOUP DISPENSER	121	
25	CARBONATOR	122	

OWNER FURNISHED, CONTRACTOR INSTALLED			
ITEM	EQUIPMENT SCHEDULE	ITEM	EQUIPMENT SCHEDULE
1	KETCHUP VOL PKA DISPENSER	101	TOILET PAPER DISPENSERS
2	WARMER DRYER	102	TOILET PAPER DISPENSERS
3	HAND DRYER	103	TOILET PAPER DISPENSERS
4	PRE-PAID SPRAY ASSEMBLY	104	TOILET PAPER DISPENSERS
5	PRE-PAID SPRAY ASSEMBLY	105	TOILET PAPER DISPENSERS
6	DISHWASHER	106	TOILET PAPER DISPENSERS
7	BOOSTER HEATER	107	TOILET PAPER DISPENSERS
8	EYE WASH STATION (CONTRACTOR TO PROVIDE MING)	108	TOILET PAPER DISPENSERS
9	VALVE PER PLUMBING SCHEDULE	109	TOILET PAPER DISPENSERS
10	WATER FILTER	110	TOILET PAPER DISPENSERS
11	HAND TOWEL DISPENSERS	111	TOILET PAPER DISPENSERS
12	TOILET PAPER DISPENSERS	112	TOILET PAPER DISPENSERS
13	TRIM PACKAGE (SEE H-1 A103)	113	TOILET PAPER DISPENSERS
14	FOOD SERVICE SCOP, COUNTER BASES (SEE FINISH PLAN)	114	TOILET PAPER DISPENSERS
15	SHARPS CONTAINERS	115	TOILET PAPER DISPENSERS
16	ASED OPTIONAL - CONFIRM WITH OWNER	116	TOILET PAPER DISPENSERS
17	MOP HANDLER	117	TOILET PAPER DISPENSERS
18	WATERJOCK (SEE SHEET A103.1)	118	TOILET PAPER DISPENSERS

CONTRACTOR FURNISHED, CONTRACTOR INSTALLED

ITEM	EQUIPMENT SCHEDULE
1	DISHWASHER CONDENSATE HOOD - NOT INCLUDED
2	FIRE SUPPRESSION SYSTEMS
3	MOP BINK
4	EXHAUST HOOD - GRIDDLE
5	EXHAUST HOOD - FRYERS

SEATING SUMMARY	
2	DISPERSON TABLES = 12 SEATS
11	DISPERSON TABLES = 44 SEATS
11	DISPERSON TABLES = 3 SEATS
11	DISPERSON TABLES = 22 SEATS
23	TOPS
81	SEATS



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NEW CULVER'S RESTAURANT
Lexington Meadows
Blaine, MN 55449
County of ANOKA

OWNER

CLIMBERNIST MARTIN
ARCHITECTS
200 South State Street
Blaine, MN 55449
815-544-7000
Atty: 12/2/2022

DATE: 12-2-2022

REVISION:

FOOD SERVICE PLAN

2022-153

FS-1