

BlaineMN.gov

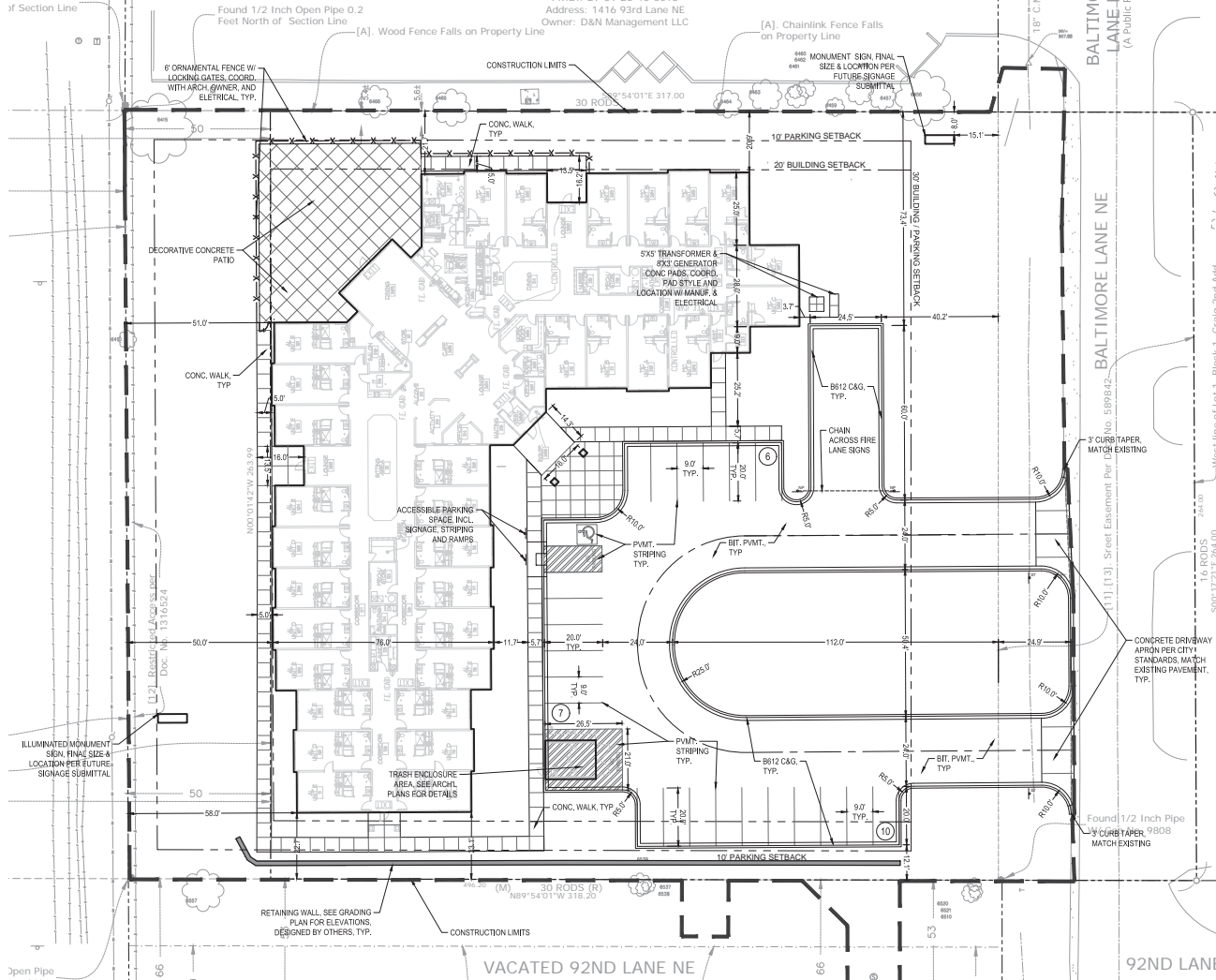
## Case File No. 21-0071 Suite Living of Blaine

Blaine Planning Department / 10801 Town Square Dr NE / Blaine, MN 55449 / (763) 785-6180



ent No. M-415  
of Section Line

P.I.D.: 29-31-23-43-0016  
Address: 1416 93rd Lane NE  
Owner: D&N Management LLC



CITY OF BLAINE SITE SPECIFIC NOTES:

- RESERVED FOR CITY SPECIFIC NOTES.

SITE DATA

EXISTING ZONING	N2
PROPOSED ZONING	N2
NUMBER OF UNITS	100
PARKING SPACE	9 X 18'
DRIVE AISLE	24'

OPERATIONAL NOTES:

SNOW REMOVAL	ALL SNOW SHALL BE STORED ON-SITE OUTSIDE PARKING LOT. WHEN FULL, REMOVAL CO. SHALL REMOVE EXCESS OFF-SITE.
TRASH REMOVAL	TRASH SHALL BE PLACED IN EXTERIOR TRASH AREA AND REMOVED BY COMMERCIAL CO. WEEKLY.
DELIVERIES	DELIVERIES SHALL OCCUR AT THE FRONT DOOR VIA STANDARD COMMERCIAL DELIVERY VEHICLES (UPS, FED-EX, USPS).

SITE AREA TABLE:

SITE AREA CALCULATIONS			
	EXISTING CONDITION	PROPOSED CONDITION	
BUILDING COVERAGE	4,785 SF	2,346 SF	24.3%
ALL PAVEMENTS	4,345 SF	5,446 SF	26.6%
ALL NON-PAVEMENTS	73,004 SF	87,312 SF	47.2%
TOTAL SITE AREA	82,134 SF	95,104 SF	100.0%

SUPERFICIAL SURFACES			
	EXISTING CONDITION	PROPOSED CONDITION	
ASPHALT	4,785 SF	2,346 SF	24.3%
CONCRETE	4,345 SF	5,446 SF	26.6%
TOTAL	9,130 SF	7,792 SF	85.3%

SITE LAYOUT NOTES:

- ALL EXISTING UTILITY LOCATIONS SHOWN ARE APPROXIMATE. CONTACT "GOPHER STATE ONE CALL" (855-454-0002 OR 800-252-1196) FOR UTILITY LOCATIONS, 48 HOURS PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL REPAIR OR REPLACE ANY UTILITIES THAT ARE DAMAGED DURING CONSTRUCTION AT NO COST TO THE OWNER.
- THE CONTRACTOR SHALL VERIFY LOCATIONS AND LAYOUT OF ALL SITE ELEMENTS PRIOR TO BEGINNING CONSTRUCTION, INCLUDING BUT NOT LIMITED TO, LOCATIONS OF EXISTING AND PROPOSED PROPERTY LINES, EASEMENTS, SETBACKS, UTILITIES, BUILDINGS AND PAVEMENTS. CONTRACTOR IS RESPONSIBLE FOR FINAL LOCATIONS OF ALL ELEMENTS FOR THE SITE. ANY REVISIONS REQUIRED AFTER COMMENCEMENT OF CONSTRUCTION, DUE TO LOCATION ADJUSTMENTS SHALL BE CORRECTED AT NO ADDITIONAL COST TO OWNER. ADJUSTMENTS TO THE LAYOUT SHALL BE APPROVED BY THE ENGINEER/LANDSCAPE ARCHITECT PRIOR TO INSTALLATION OF MATERIALS. STAKE LAYOUT FOR APPROVAL.
- THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS PRIOR TO CONSTRUCTION, INCLUDING A RIGHT-OF-WAY AND STREET OPENING PERMIT.
- THE CONTRACTOR SHALL VERIFY RECOMMENDATIONS NOTED IN THE GEO TECHNICAL REPORT PRIOR TO INSTALLATION OF SITE IMPROVEMENT MATERIALS.
- CONTRACTOR SHALL FIELD VERIFY COORDINATES AND LOCATION DIMENSIONS OF THE BUILDING AND STAKE FOR REVIEW AND APPROVAL BY THE OWNERS REPRESENTATIVE PRIOR TO INSTALLATION OF FOOTING MATERIALS.
- LOCATIONS OF STRUCTURES, ROADWAY PAVEMENTS, CURBS AND GUTTERS, BOLLARDS, AND WALKS ARE APPROXIMATE AND SHALL BE STAKED IN THE FIELD, PRIOR TO INSTALLATION, FOR REVIEW AND APPROVAL BY THE ENGINEER/LANDSCAPE ARCHITECT.
- CURB DIMENSIONS SHOWN ARE TO FACE OF CURB. BUILDING DIMENSIONS ARE TO FACE OF CONCRETE FOUNDATION. LOCATION OF BUILDING IS TO BUILDING FOUNDATION AND SHALL BE AS SHOWN ON THE DRAWINGS.
- THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OR SAMPLES AS SPECIFIED FOR REVIEW AND APPROVAL BY THE ENGINEER/LANDSCAPE ARCHITECT PRIOR TO FABRICATION FOR ALL PREFABRICATED SITE IMPROVEMENT MATERIALS SUCH AS, BUT NOT LIMITED TO THE FOLLOWING: FURNISHINGS, PAVEMENTS, WALLS, RAILINGS, BENCHES, FLAGPOLES, LANDING PADS FOR CURB RAMPS, AND LIGHT AND POLES. THE OWNER RESERVES THE RIGHT TO REJECT INSTALLED MATERIALS NOT PREVIOUSLY APPROVED.
- PEDESTRIAN CURB RAMPS SHALL BE CONSTRUCTED WITH TRUNCATED DOME LANDING AREAS IN ACCORDANCE WITH A.D.A. REQUIREMENTS-SEE DETAIL.
- CROSSWALK STRIPING SHALL BE 24" WIDE WHITE PAINTED LINE, SPACED 48" ON CENTER PERPENDICULAR TO THE FLOW OF TRAFFIC. WIDTH OF CROSSWALK SHALL BE 9' WIDE. ALL OTHER PAVEMENT MARKINGS SHALL BE WHITE IN COLOR UNLESS OTHERWISE NOTED OR REQUIRED BY ADA OR LOCAL GOVERNING BODIES.
- SEE SITE PLAN FOR CURB AND GUTTER TYPE, TAPER BETWEEN CURB TYPES-SEE DETAIL.
- ALL CURB RADIUS ARE MINIMUM 3' UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL REFER TO FINAL PLAN FOR LOT BOUNDARIES, NUMBERS, AREAS AND DIMENSIONS PRIOR TO SITE IMPROVEMENTS.
- FIELD VERIFY ALL EXISTING SITE CONDITIONS, DIMENSIONS.
- PARKING IS TO BE SET PARALLEL OR PERPENDICULAR TO EXISTING BUILDING UNLESS NOTED OTHERWISE.
- ALL PARKING LOT PAINT STRIPING TO BE WHITE, 4" WIDE TYP.
- BITUMINOUS PAVING TO BE "LIGHT DUTY" UNLESS OTHERWISE NOTED. SEE DETAIL SHEETS FOR PAVEMENT SECTIONS.
- ALL TREES THAT ARE TO REMAIN ARE TO BE PROTECTED FROM DAMAGE WITH A CONSTRUCTION FENCE AT THE DRIP LINE. SEE LANDSCAPE DOCUMENTS.
- ALL EXISTING UTILITY LOCATIONS SHOWN ARE APPROXIMATE. CONTACT "GOPHER STATE ONE CALL" (855-454-0002 OR 800-252-1196) FOR UTILITY LOCATIONS, 48 HOURS PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL REPAIR OR REPLACE ANY UTILITIES THAT ARE DAMAGED DURING CONSTRUCTION AT NO COST TO THE OWNER.

SITE PLAN LEGEND:

- LIGHT DUTY BITUMINOUS PAVEMENT (IF APPLICABLE). SEE GEOTECHNICAL REPORT FOR AGGREGATE BASE & WEAR COURSE DEPTH. SEE DETAIL.
- HEAVY DUTY BITUMINOUS PAVEMENT (IF APPLICABLE). SEE GEOTECHNICAL REPORT FOR AGGREGATE BASE & WEAR COURSE DEPTH. SEE DETAIL.
- CONCRETE PAVEMENT (IF APPLICABLE) AS SPECIFIED (PAD OR WALK) SEE GEOTECHNICAL REPORT FOR AGGREGATE BASE & CONCRETE DEPTHS. SEE DETAIL.
- PROPERTY LINE
- CONSTRUCTION LIMITS
- CURB AND GUTTER-SEE NOTES (T.O.) TIP OUT GUTTER WHERE APPLICABLE-SEE PLAN
- TRAFFIC DIRECTIONAL ARROW PAVEMENT MARKINGS (IF APPLICABLE)
- SIGN AND POST ASSEMBLY (IF APPLICABLE). SHOP DRAWINGS REQUIRED. NC = ACCESSIBLE SIGN NP = NO PARKING FIRE LANE ST = STOP CP = COMPACT CAR PARKING ONLY
- ACCESSIBILITY ARROW (IF APPLICABLE) DO NOT PAINT.



Know what's below.  
Call before you dig.



1" = 20'-0"  
10'-0" 0 20'-0"

CivilSite  
Civil Engineering • Surveying • Landscaping Architecture

4091 W. 35th Street, Suite 200  
St. Louis Park, MN 55416  
civilsitegroup.com 952.615.0965

PRELIMINARY:  
NOT FOR CONSTRUCTION

SUITE LIVING - BLAINE

9284 BALTIMORE STREET NE, BLAINE, MN 55404

SUITE LIVING/HAMPTON COMPANIES, LLC  
1824 BUEKLE ROAD, WHITE BEAR LAKE, MN 55110

PROJECT

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

Joseph Diederichs  
DATE: 10/06/2021 LICENSE NO.: 50988

ISSUE/SUBMITTAL SUMMARY

DATE	DESCRIPTION
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09/06/2021 PRELIMINARY SUBMITTAL

09/06/2021 CIVIL SUBMITTAL

DRAWN BY: JN REVIEWED BY: JD  
PROJECT NUMBER: 21195

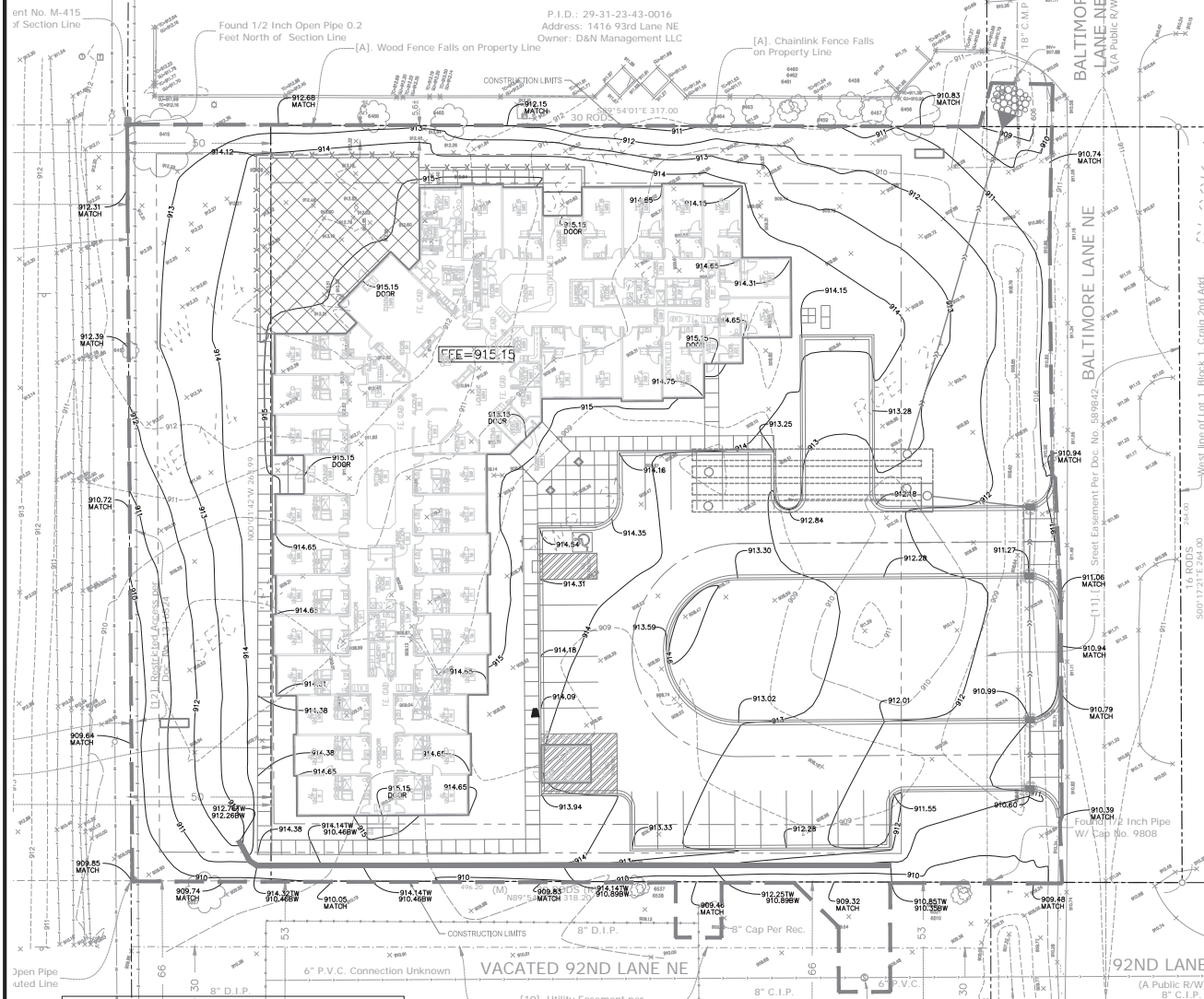
REVISION SUMMARY

DATE	DESCRIPTION
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SITE PLAN

C2.0

CivilSite GROUP INC.



### GENERAL GRADING NOTES:

1. ALL EXISTING UTILITY LOCATIONS SHOWN ARE APPROXIMATE. CONTACT "GOPHER STATE ONE CALL" (851-454-0002 OR 800-553-1166) FOR UTILITY LOCATIONS. 48 HOURS PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL REPAIR OR REPLACE ANY UTILITIES THAT ARE DAMAGED DURING CONSTRUCTION AT NO COST TO THE OWNER.
2. SEE SITE PLAN FOR HORIZONTAL LAYOUT & GENERAL GRADING NOTES.
3. THE CONTRACTOR SHALL COMPLETE THE SITE GRADING CONSTRUCTION (INCLUDING BUT NOT LIMITED TO SITE PREPARATION, SOIL CORRECTION, EXCAVATION, EMBANKMENT, ETC.) IN ACCORDANCE WITH THE REQUIREMENTS OF THE OWNER'S SOILS ENGINEER. ALL SOIL TESTING SHALL BE COMPLETED BY THE OWNER'S SOILS ENGINEER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL REQUIRED SOIL TESTS AND INSPECTIONS WITH THE SOILS ENGINEER.
4. GRADING AND EXCAVATION ACTIVITIES SHALL BE PERFORMED IN ACCORDANCE WITH THE NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT REQUIREMENTS & PERMIT REQUIREMENTS OF THE CITY.
5. ALL EXISTING UTILITY LOCATIONS SHOWN ARE APPROXIMATE. CONTACT "GOPHER STATE ONE CALL" (851-454-0002 OR 800-553-1166) FOR UTILITY LOCATIONS. 48 HOURS PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL REPAIR OR REPLACE ANY UTILITIES THAT ARE DAMAGED DURING CONSTRUCTION AT NO COST TO THE OWNER.
6. PROPOSED SPOT GRADES ARE FLOW-LINE FINISHED GRADE ELEVATIONS, UNLESS OTHERWISE NOTED.
7. GRADES OF WALKS SHALL BE INSTALLED WITH 5% MAX. LONGITUDINAL SLOPE AND 1% MIN. AND 2% MAX. CROSS SLOPE, UNLESS OTHERWISE NOTED.
8. PROPOSED SLOPES SHALL NOT EXCEED 3:1 UNLESS INDICATED OTHERWISE ON THE DRAWINGS. MAXIMUM SLOPES IN MAINTAINED AREAS IS 4:1.
9. PROPOSED RETAINING WALLS, FREESTANDING WALLS, OR COMBINATION OF WALL TYPES GREATER THAN 4' IN HEIGHT SHALL BE DESIGNED AND ENGINEERED BY A REGISTERED RETAINING WALL ENGINEER. DESIGN DRAWINGS SHALL BE SUBMITTED FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTENANCE OF GRADE STAKES THROUGHOUT THE DURATION OF CONSTRUCTION TO ESTABLISH PROPER GRADES. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR A FINAL FIELD CHECK OF FINISHED GRADES ACCEPTABLE TO THE ENGINEER/LANDSCAPE ARCHITECT PRIOR TO TOPSOILS, AND SODDING ACTIVITIES.
11. IF EXCESS OR SHORTAGE OF SOIL MATERIAL EXISTS, THE CONTRACTOR SHALL TRANSPORT ALL EXCESS SOIL MATERIAL OFF THE SITE TO AN AREA SELECTED BY THE CONTRACTOR, OR IMPORT SUITABLE MATERIAL TO THE SITE.
12. EXCAVATE TOPSOIL FROM AREAS TO BE FURTHER EXCAVATED OR REGRADED AND STOCKPILE IN AREAS DESIGNATED ON THE SITE. THE CONTRACTOR SHALL SALVAGE ENOUGH TOPSOIL FOR RESPREADING ON THE SITE AS SPECIFIED. EXCESS TOPSOIL SHALL BE PLACED IN EMBANKMENT AREAS, OUTSIDE OF BUILDING PADS, ROADWAYS AND PARKING AREAS. THE CONTRACTOR SHALL SUBROUT CUT AREAS, WHERE TURF IS TO BE ESTABLISHED, TO A DEPTH OF 6 INCHES. RESPREAD TOPSOIL IN AREAS WHERE TURF IS TO BE ESTABLISHED TO A MINIMUM DEPTH OF 6 INCHES.
13. FINISHED GRADING SHALL BE COMPLETED. THE CONTRACTOR SHALL UNIFORMLY GRADE AREAS WITHIN LIMITS OF GRADING, INCLUDING ADJACENT TRANSITION AREAS. PROVIDE A SMOOTH FINISHED SURFACE WITHIN SPECIFIED TOLERANCES, WITH UNIFORM LEVELS OR SLOPES BETWEEN POINTS WHERE ELEVATIONS ARE SHOWN, OR BETWEEN SUCH POINTS AND EXISTING GRADES. AREAS THAT HAVE BEEN FINISHED GRADED SHALL BE PROTECTED FROM SUBSEQUENT CONSTRUCTION OPERATIONS, TRAFFIC AND EROSION. REPAIR ALL AREAS THAT HAVE BECOME RUTTED BY TRAFFIC OR ERODED BY WATER OR HAS SETTLED BELOW THE CORRECT GRADE. ALL AREAS DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE RESTORED TO EQUAL OR BETTER THAN ORIGINAL CONDITION OR TO THE REQUIREMENTS OF THE NEW WORK.
14. PRIOR TO PLACEMENT OF THE AGGREGATE BASE, A TEST ROLL WILL BE REQUIRED ON THE STREET AND/OR PARKING AREA SUBGRADE. THE CONTRACTOR SHALL PROVIDE A LOADED TANDEM AXLE TRUCK WITH A GROSS WEIGHT OF 25 TONS. THE TEST ROLLING SHALL BE AT THE DIRECTION OF THE SOILS ENGINEER AND SHALL BE COMPLETED IN AREAS AS DIRECTED BY THE SOILS ENGINEER. THE SOILS ENGINEER SHALL DETERMINE WHICH SECTIONS OF THE STREET OR PARKING AREA ARE UNSTABLE. CORRECTION OF THE SUBGRADE SOILS SHALL BE COMPLETED IN ACCORDANCE WITH THE REQUIREMENTS OF THE SOILS ENGINEER. NO TEST ROLL SHALL OCCUR WITHIN 10' OF ANY UNDERGROUND STORM RETENTION/DETENTION SYSTEMS.
15. TOLERANCES
- 15.1. THE BUILDING SUBGRADE FINISHED SURFACE ELEVATION SHALL NOT VARY BY MORE THAN 0.30 FOOT ABOVE, OR 0.30 FOOT BELOW, THE PRESCRIBED ELEVATION AT ANY POINT WHERE MEASUREMENT IS MADE.
- 15.2. THE STREET OR PARKING AREA SUBGRADE FINISHED SURFACE ELEVATION SHALL NOT VARY BY MORE THAN 0.05 FOOT ABOVE, OR 0.10 FOOT BELOW, THE PRESCRIBED ELEVATION OF ANY POINT WHERE MEASUREMENT IS MADE.
- 15.3. AREAS WHICH ARE TO RECEIVE TOPSOIL SHALL BE GRADED TO WITHIN 0.30 FOOT ABOVE OR BELOW THE REQUIRED ELEVATION, UNLESS DIRECTED OTHERWISE BY THE ENGINEER.
- 15.4. TOPSOIL SHALL BE GRADED TO PLUS OR MINUS 1/2 INCH OF THE SPECIFIED THICKNESS.
16. MAINTENANCE
- 16.1. THE CONTRACTOR SHALL PROTECT NEWLY GRADED AREAS FROM TRAFFIC AND EROSION, AND KEEP AREA FREE OF TRASH AND DEBRIS.
- 16.2. CONTRACTOR SHALL REPAIR AND REESTABLISH GRADES IN SETTLED, ERODED AND RUTTED AREAS TO SPECIFIED TOLERANCES, DURING THE CONSTRUCTION, IF REQUIRED, AND DURING THE WARRANTY PERIOD. ERODED AREAS WHERE TURF IS TO BE ESTABLISHED SHALL BE RESEEDED AND MULCHED.
- 16.3. WHERE COMPLETED COMPACTED AREAS ARE DISTURBED BY SUBSEQUENT CONSTRUCTION OPERATIONS OR ADVERSE WEATHER, CONTRACTOR SHALL SCARIFY, SURFACE, RESHAPE, AND COMPACT TO REQUIRED DENSITY PRIOR TO FURTHER CONSTRUCTION.

### GRADING PLAN LEGEND:

- EX. 1' CONTOUR ELEVATION INTERVAL
- 1' CONTOUR ELEVATION INTERVAL
- SPOT GRADE ELEVATION (GUTTER/FLOW LINE UNLESS OTHERWISE NOTED)
- SPOT GRADE ELEVATION GUTTER
- SPOT GRADE ELEVATION TOP OF CURB
- SPOT GRADE ELEVATION BOTTOM OF STAIRS/TOP OF STAIRS
- SPOT GRADE ELEVATION MATCH EXISTING
- GRADE BREAK - HIGH POINTS
- CURB AND GUTTER (1.0' x TIP OUT)

EOFF=1135.52

EMERGENCY OVERFLOW



1" = 20'-0"  
10'-0" 0 20'-0"

**CITY OF BLAINE GRADING NOTES:**  
1. RESERVED FOR CITY SPECIFIC GRADING NOTES.

**EROSION CONTROL NOTES:**  
SEE SWPPP ON SHEETS SW1.0 - SW1.5

**CivilSite**  
Civil Engineering • Surveying • Landscaping • Architecture  
4931 W. 35th Street, Suite 200  
St. Louis Park, MN 55416  
civilsitegroup.com 952.615.0865

**PRELIMINARY:  
NOT FOR  
CONSTRUCTION**

**SUITE LIVING - BLAINE**  
9284 BALTIMORE STREET NE, BLAINE, MN 55434  
**SUITE LIVING/HAMPTON COMPANIES, LLC**  
1824 BUEKLE ROAD, WHITE BEAR LAKE, MN 55110

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.  
*Joseph Diederichs*  
DATE: 10/06/2021 LICENSE NO. 50888

**ISSUE/SUBMITTAL SUMMARY**  
DATE: 10/06/2021  
PROJECT: 21106  
SUBMITTAL: 001 SUBMITTAL

**REVISION SUMMARY**  
DATE: 10/06/2021  
DESCRIPTION: 001 SUBMITTAL

**GRADING PLAN**

**C3.0**



ent No. M-415  
of Section Line

Found 1/2 Inch Open Pipe 0.2  
Feet North of Section Line

P.I.D.: 29-31-23-43-0016  
Address: 1416 93rd Lane NE  
Owner: D&N Management LLC

[A]. Wood Fence Falls on Property Line  
[A]. Chainlink Fence Falls  
on Property Line

BALTIMORE  
LANE NE  
(A Public R/W)

#### GENERAL UTILITY NOTES:

1. ALL EXISTING UTILITY LOCATIONS SHOWN ARE APPROXIMATE. CONTACT "Gopher State One-Call" (651-454-0882 OR 800-252-1166) FOR UTILITY LOCATIONS, 48 HOURS PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL REPAIR OR REPLACE ANY UTILITIES THAT ARE DAMAGED DURING CONSTRUCTION AT NO COST TO THE OWNER.
2. SEE SITE PLAN FOR HORIZONTAL DIMENSIONS AND LAYOUT.
3. CONTRACTOR SHALL FIELD VERIFY LOCATION AND ELEVATION OF EXISTING UTILITIES AND TOPOGRAPHIC FEATURES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF DISCREPANCIES OR VARIATIONS FROM THE PLANS.
4. UTILITY INSTALLATION SHALL CONFORM TO THE CURRENT EDITION OF "STANDARD SPECIFICATIONS FOR WATER MAIN AND SERVICE LINE INSTALLATION" AND "SANITARY SEWER AND STORM SEWER INSTALLATION" AS PREPARED BY THE CITY ENGINEERS ASSOCIATION OF MINNESOTA (CEAM), AND SHALL CONFORM WITH THE REQUIREMENTS OF THE CITY AND THE PROJECT SPECIFICATIONS.
5. CASTINGS SHALL BE SALVAGED FROM STRUCTURE REMOVALS AND RE-USED OR PLACED AT THE DIRECTION OF THE OWNER.
6. ALL WATER PIPE SHALL BE CLASS 52 DUCTILE IRON PIPE (DIP) AWWA C151, ASME B16.4, AWWA C110, AWWA C153 UNLESS OTHERWISE NOTED.
7. ALL SANITARY SEWER SHALL BE SDR 35 POLY(VINYL CHLORIDE) (PVC) ASTM D3034 & F679, OR SCH 40 ASTM D1785, 2665, ASTM F794, 1866 UNLESS OTHERWISE NOTED.
8. ALL STORM SEWER PIPE SHALL BE HOPE ASTM F714 & F2306 WITH ASTM D3212 SPEC FITTINGS UNLESS OTHERWISE NOTED.
9. PIPE LENGTHS SHOWN ARE FROM CENTER TO CENTER OF STRUCTURE OR TO END OF FLARED END SECTION.
10. UTILITIES ON THE PLAN ARE SHOWN TO WITHIN 5' OF THE BUILDING FOOTPRINT. THE CONTRACTOR IS ULTIMATELY RESPONSIBLE FOR THE FINAL CONNECTION TO BUILDING LINES. COORDINATE WITH ARCHITECTURAL AND MECHANICAL PLANS.
11. CATCH BASINS AND MANHOLES IN PAVED AREAS SHALL BE SUMPED 0.34 FEET. ALL CATCH BASINS IN GUTTERS SHALL BE SUMPED 1.51 FEET PER DETAIL. RIM ELEVATIONS SHOWN ON THIS PLAN DO NOT REFLECT SUMPED ELEVATIONS.
12. ALL FIRE HYDRANTS SHALL BE LOCATED 5 FEET BEHIND BACK OF CURB UNLESS OTHERWISE NOTED.
13. HYDRANT TYPE, VALVE, AND CONNECTION SHALL BE IN ACCORDANCE WITH CITY REQUIREMENTS. HYDRANT EXTENSIONS ARE INCIDENTAL.
14. A MINIMUM OF 8 FEET OF COVER IS REQUIRED OVER ALL WATERMAIN, UNLESS OTHERWISE NOTED. EXTRA DEPTH MAY BE REQUIRED TO MAINTAIN A MINIMUM OF 18" VERTICAL SEPARATION TO SANITARY OR STORM SEWER LINES. EXTRA DEPTH WATERMAIN IS INCIDENTAL.
15. A MINIMUM OF 18 INCHES OF VERTICAL SEPARATION AND 10 FEET OF HORIZONTAL SEPARATION IS REQUIRED FOR ALL UTILITIES, UNLESS OTHERWISE NOTED.
16. ALL CONNECTIONS TO EXISTING UTILITIES SHALL BE IN ACCORDANCE WITH CITY STANDARDS AND COORDINATED WITH THE CITY PRIOR TO CONSTRUCTION.
17. CONNECTIONS TO EXISTING STRUCTURES SHALL BE CORE-DRIILLED.
18. COORDINATE LOCATIONS AND SIZES OF SERVICE CONNECTIONS WITH THE MECHANICAL DRAWINGS.
19. COORDINATE INSTALLATION AND SCHEDULING OF THE INSTALLATION OF UTILITIES WITH ADJACENT CONTRACTORS AND CITY STAFF.
20. ALL STREET REPAIRS AND PATCHING SHALL BE PERFORMED PER THE REQUIREMENTS OF THE CITY. ALL PAYMENT CONNECTIONS SHALL BE SAWCUT. ALL TRAFFIC CONTROLS SHALL BE PROVIDED BY THE CONTRACTOR AND SHALL BE ESTABLISHED PER THE REQUIREMENTS OF THE MINNESOTA MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MMUTCD) AND THE CITY. THIS SHALL INCLUDE BUT NOT BE LIMITED TO SKIING, BARRICADES, FLASHERS, AND FLAGGERS AS NEEDED. ALL PUBLIC STREETS SHALL BE OPEN TO TRAFFIC AT ALL TIMES. NO ROAD CLOSURES SHALL BE PERMITTED WITHOUT APPROVAL BY THE CITY.
21. ALL STRUCTURES, PUBLIC AND PRIVATE, SHALL BE ADJUSTED TO PROPOSED GRADES WHERE REQUIRED. THE REQUIREMENTS OF ALL OWNERS MUST BE COMPLIED WITH. STRUCTURES BEING RESET TO PAVED AREAS MUST MEET OWNERS REQUIREMENTS FOR TRAFFIC LOADING.
22. CONTRACTOR SHALL COORDINATE ALL WORK WITH PRIVATE UTILITY COMPANIES.
23. CONTRACTOR SHALL COORDINATE CONNECTION OF IRRIGATION SERVICE TO UTILITIES. COORDINATE THE INSTALLATION OF IRRIGATION SLEEVES NECESSARY AS TO NOT IMPACT INSTALLATION OF UTILITIES.
24. CONTRACTOR SHALL MAINTAIN AS-BUILT PLANS THROUGHOUT CONSTRUCTION AND SUBMIT THESE PLANS TO ENGINEER UPON COMPLETION OF WORK.
25. ALL JOINTS AND CONNECTIONS IN STORM SEWER SYSTEM SHALL BE GASTIGHT OR WATERTIGHT. APPROVED RESILIENT RUBBER JOINTS MUST BE USED TO MAKE WATERTIGHT CONNECTIONS TO MANHOLES, CATCH BASINS, OR OTHER STRUCTURES.
26. ALL PORTIONS OF THE STORM SEWER SYSTEM LOCATED WITHIN 10 FEET OF THE BUILDING OR WATER SERVICE LINE MUST BE TESTED IN ACCORDANCE WITH MN RULES, CHAPTER 4714, SECTION 1109.0.
27. FOR ALL SITES LOCATED IN CLAY SOIL AREAS, DRAIN TILE MUST BE INSTALLED AT ALL LOW POINT CATCH BASINS 25' IN EACH DIRECTION. SEE PLAN AND DETAIL. INSTALL LOW POINT DRAIN TILE PER PLANS AND GEOTECHNICAL REPORT RECOMMENDATIONS AND REQUIREMENTS.

#### UTILITY LEGEND:

- CATCH BASIN
- MANHOLE
- GATE VALVE AND VALVE BOX
- PROPOSED FIRE HYDRANT
- WATER MAIN
- SANITARY SEWER
- STORM SEWER
- FES AND RIP RAP



Know what's below.  
Call before you dig.



1" = 20'-0"  
10'-0" 0 20'-0"

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4091 W. 35th Street, Suite 200  
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**SUITE LIVING - BLAINE**

9284 BALTIMORE STREET NE, BLAINE, MN 55434

**SUITE LIVING/HAMPTON COMPANIES, LLC**  
1824 BURKLE ROAD, WHITE BEAR LAKE, MN 55110

PROJECT

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

DATE: 10/06/2021 LICENSE NO.: 50888

ISSUE/SUBMITTAL SUMMARY

DATE DESCRIPTION  
10/06/2021 PRELIMINARY SUBMITTAL  
10/06/2021 CITY SUBMITTAL

DRAWN BY: JN REVIEWED BY: JD

PROJECT NUMBER: 21106

REVISION SUMMARY

DATE DESCRIPTION

#### CITY OF BLAINE UTILITY NOTES:

1. RESERVED FOR CITY SPECIFIC UTILITY NOTES.

VACATED BALTIMORE LANE NE

P.I.D.: 32-31-23-12-0014  
Address: 9260 Baltimore Street NE  
Owner: Gregg A. Kroll

(FIELD VERIFY PRIOR  
TO CONSTRUCTION)  
PROF. IE N44042  
COORD. W/ CITY

92ND LANE  
(A Public R/W)  
8" C.I.P.





# SUITE LIVING OF BLAINE

## BLAINE, MINNESOTA

Rosa  
Architectural  
Group  
Inc.

1084 Sterling Street  
St. Paul, MN 55119  
tel: 651-739-7988  
fax: 651-739-3165



*Suite Living*  
of Blaine

9284 Baltimore St NE  
Blaine, MN 55449

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

PRINT NAME:

SIGNED:

REG. NO. DATE:

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.

PRINT NAME:

SIGNED:

REG. NO. DATE:

CITY SUBMITTAL  
NOT FOR  
CONSTRUCTION

PROJECT #: 22130  
DATE: OCT. 6, 2021  
DRAWN BY: JIL  
CHECKED BY: RR  
REVISIONS:

TITLE SHEET &  
PROJECT INFO

SHEET

T1.1

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ROSA ARCHITECTURAL GROUP

## PROJECT TEAM

### DEVELOPER

HAMPTON COMPANIES LLC  
1824 BUERKLE ROAD  
WHITE BEAR LAKE, MN 55110

### ARCHITECT

ROSA ARCHITECTURAL GROUP, INC.  
1084 STERLING STREET N  
ST. PAUL, MN 55119

### CIVIL ENGINEER

CIVIL SITE GROUP  
4931 W. 35th STREET, SUITE 200  
ST. LOUIS PARK, MN 55416

### SURVEYOR

CIVIL SITE GROUP  
4931 W. 35th STREET, SUITE 200  
ST. LOUIS PARK, MN 55416

## SHEET INDEX

### ARCHITECTURAL

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A11 OVERALL FLOOR PLAN  
A21 BUILDING ELEVATIONS  
A31 BUILDING SECTIONS  
A41 COLORED ELEVATIONS  
A51 ROOF PLAN AND DETAILS

### CIVIL

C0.0 TITLE SHEET  
V10 SITE SURVEY  
C10 REMOVALS PLAN  
C11 TREE PRESERVATION PLAN  
C12 TREE PRESERVATION PLAN  
C2.0 SITE PLAN  
C3.0 GRADING PLAN  
C4.0 UTILITY PLAN  
C5.0 CIVIL DETAILS  
C5.1 CIVIL DETAILS  
C5.2 CIVIL DETAILS  
L10 LANDSCAPE PLAN  
L11 LANDSCAPE PLAN NOTES & DETAILS  
SWPPP - EXISTING CONDITIONS  
SW11 SWPPP - PROPOSED CONDITIONS  
SW12 SWPPP - DETAILS  
SW13 SWPPP - NARRATIVE  
SW14 SWPPP - ATTACHMENTS  
SW15 SWPPP - ATTACHMENTS





7  
AL.1  
TRASH ENCLOSURE ELEV.  
3/16" = 1'-0" (ON 24x36 SHEET)



8  
AL.1  
TRASH ENCLOSURE ELEV.  
3/16" = 1'-0" (ON 24x36 SHEET)



9  
AL.1  
TRASH ENCLOSURE ELEV.  
3/16" = 1'-0" (ON 24x36 SHEET)



10  
AL.1  
TRASH ENCLOSURE ELEV.  
3/16" = 1'-0" (ON 24x36 SHEET)



1  
AL.1  
PROPOSED FRONT ELEVATION  
3/32" = 1'-0" (ON 24x36 SHEET)



2  
AL.1  
PROPOSED SIDE ELEVATION (MEMORY CARE)  
3/32" = 1'-0" (ON 24x36 SHEET)



3  
AL.1  
PROPOSED SIDE ELEVATION (ASSISTED LIVING)  
3/32" = 1'-0" (ON 24x36 SHEET)



4  
AL.1  
PROPOSED REAR ELEVATION (ASSISTED LIVING)  
3/32" = 1'-0" (ON 24x36 SHEET)



6  
AL.1  
PROPOSED REAR ELEVATION  
3/32" = 1'-0" (ON 24x36 SHEET)



5  
AL.1  
PROPOSED EAST ELEVATION  
3/32" = 1'-0" (ON 24x36 SHEET)

Rosa  
Architectural  
Group  
Inc.

1084 Sterling Street  
St. Paul, MN 55119  
tel: 651-739-7988  
fax: 651-739-3165

Suite Living  
of Blaine

9284 Baltimore St NE  
Blaine, MN 55449

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PRINT NAME \_\_\_\_\_

SIGNATURE \_\_\_\_\_

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REG. NO. \_\_\_\_\_ DATE \_\_\_\_\_

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NOT FOR  
CONSTRUCTION

PROJECT #: 22130  
DATE: OCT. 6, 2021  
DRAWN BY: JL  
CHECKED BY: RR  
REVISIONS: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

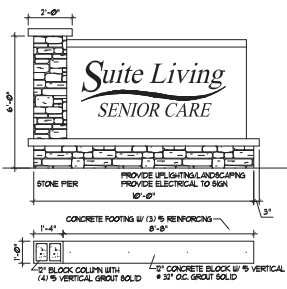
PROPOSED  
COLOR  
ELEVATIONS

SHEET

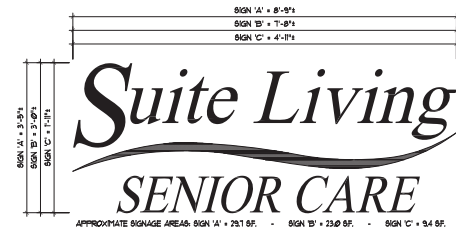
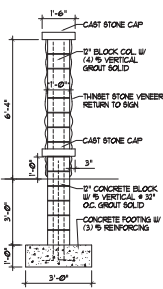
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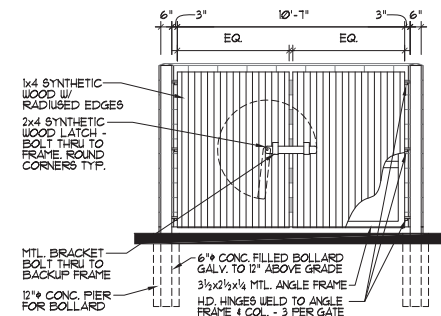




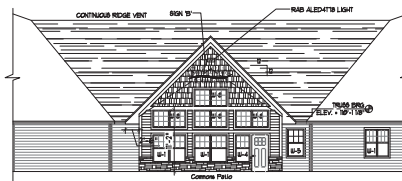
13 BUILDING MONUMENT SIGN  
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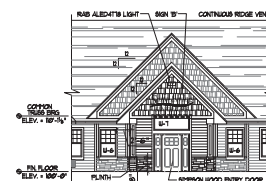
14 SIGNAGE DETAIL  
1/2" = 1'-0" (ON 24x36 SHEET)



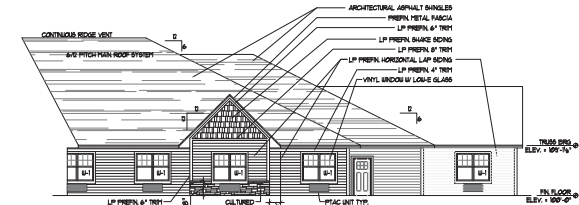
9 TRASH ENCLOSURE FRONT ELEVATION  
3/8" = 1'-0" (ON 24x36 SHEET)



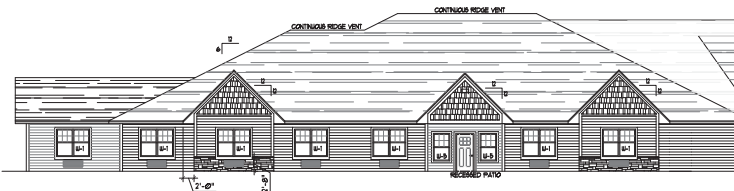
1 BUILDING ELEVATION  
3/32" = 1'-0" (ON 24x36 SHEET)



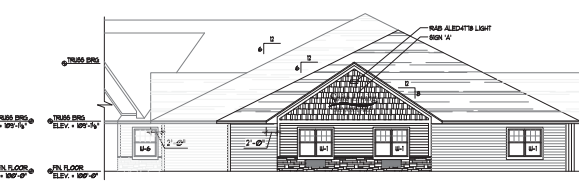
2 BUILDING ELEVATION  
3/32" = 1'-0" (ON 24x36 SHEET)



3 BUILDING ELEVATION  
3/32" = 1'-0" (ON 24x36 SHEET)



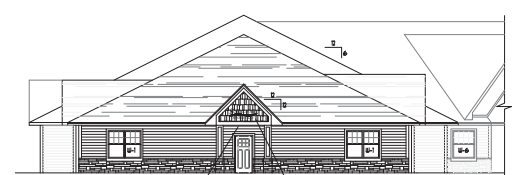
4 BUILDING ELEVATION  
3/32" = 1'-0" (ON 24x36 SHEET)



5 BUILDING ELEVATION  
3/32" = 1'-0" (ON 24x36 SHEET)



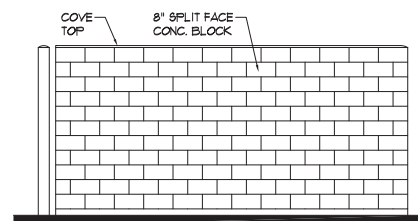
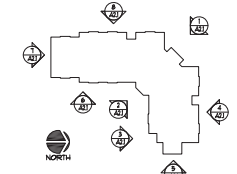
6 BUILDING ELEVATION  
3/32" = 1'-0" (ON 24x36 SHEET)



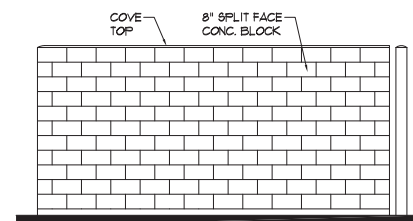
7 BUILDING ELEVATION  
3/32" = 1'-0" (ON 24x36 SHEET)



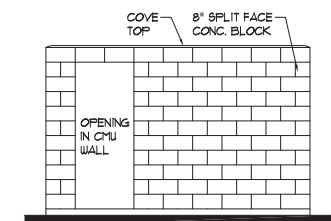
8 BUILDING ELEVATION  
3/32" = 1'-0" (ON 24x36 SHEET)



10 TRASH ENCLOSURE SIDE ELEVATION  
3/8" = 1'-0" (ON 24x36 SHEET)



11 TRASH ENCLOSURE SIDE ELEVATION  
3/8" = 1'-0" (ON 24x36 SHEET)



12 TRASH ENCLOSURE REAR ELEVATION  
3/8" = 1'-0" (ON 24x36 SHEET)

Rosa  
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NOT FOR  
CONSTRUCTION

PROJECT #: 22130  
DATE: OCT. 6, 2021  
DRAWN BY: JLL  
CHECKED BY: RR  
REVISIONS: \_\_\_\_\_

BUILDING  
ELEVATIONS

SHEET

A2.1

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INTERIOR AREA CALCULATIONS:  
TOTAL BUILDING AREA:  
(TO INSIDE FACE OF WALLS) 202,211 SF.

ASSISTED LIVING CORE:	
AREA DESCRIPTION:	TOTAL SF.
INDIVIDUAL UNITS	1,141.7 SF.
CORRIDORS	1,930.0 SF.
SITTING/DINING AREA	350.9 SF.
LAUNDRY ROOM	141.7 SF.
UNISEX COMMON RESTROOM	100.1 SF.
MECH/STORAGE ROOM	223.6 SF.
NURSE STATION	14.1 SF.
LOUNGE	213.8 SF.
TOTAL	10,223.5 SF.

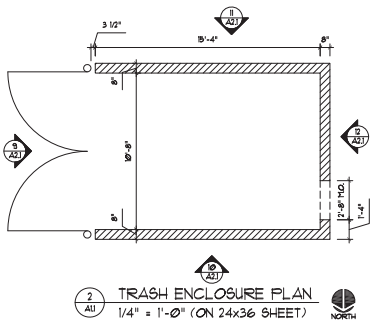
SUPPORT AREAS:	
AREA DESCRIPTION:	TOTAL SF.
KITCHEN AREA	459.1 SF.
SALON AREA	210.1 SF.
MECHANICAL/ELECTRIC	151.4 SF.
STAFF OFFICES	384.8 SF.
UNISEX COMMON RESTROOM	86.6 SF.
KITCHEN DRY STORAGE	141.0 SF.
TOTAL	1,433.6 SF.

MEMORY CARE CORE:	
AREA DESCRIPTION:	TOTAL SF.
INDIVIDUAL UNITS	4,119.0 SF.
CORRIDORS	1,341.0 SF.
LOUNGE AREA	202.3 SF.
DINING AREA	230.9 SF.
NURSE STATION	14.6 SF.
STORAGE ROOM	82.5 SF.
LAUNDRY ROOM	115.1 SF.
UNISEX COMMON RESTROOM	100.0 SF.
MECHANICAL/ELECTRIC	141.1 SF.
VESTIBULE	61.5 SF.
TOTAL	6,416.6 SF.

COMMON AREAS:	
AREA DESCRIPTION:	TOTAL SF.
COMMON LOUNGES	666.4 SF.
COMMON DINING	367.3 SF.
COMMON CIRCULATION AREAS	1210.1 SF.
(NOT INCLUDED IN OCC. LOAD CALC.)	
TOTAL	22,444.4 SF.

BASIC ALLOWABLE BUILDING AREA CALCULATIONS:  
BASIC ALLOWABLE AREA = (AL) = 38,000 SF. (NS) = 9,500 SF.  
FRONTAGE INCREASE = (856/856 - 0.25) / (292/30) + 0.13  
9,500 x 0.13 = 6,335 SF.  
ALLOWABLE AREA: A<sub>0</sub> + A<sub>1</sub> + (NS x IF)  
38,000 + 6,335 = 44,335 SF. MAX. > THAN 209,411 SF. THEREFORE OK

SLEEPING UNIT COUNT:  
MEMORY CARE UNITS: 12 UNIT A = 3  
UNIT B = 1  
UNIT C = 2  
ASSISTED LIVING UNITS: 20 UNIT D = 1  
UNIT E = 13  
TOTAL UNITS = 32  
10% ACCESSIBLE UNITS = 4  
REMAINING 28 UNITS ARE TYPE B UNITS



2 TRASH ENCLOSURE PLAN  
1/4" = 1'-0" (ON 24x36 SHEET)



1 OVERALL FLOOR PLAN  
3/32" = 1'-0" (ON 24x36 SHEET)



NOTE: ALL EXTERIOR WALL DIMENSIONS ARE TO FACE OF EXTERIOR FLYWD.

3 UNIT A FLOOR PLAN (B & C SIMILAR)  
3/8" = 1'-0" (ON 24x36 SHEET)

4 UNIT D FLOOR PLAN (E SIMILAR)  
3/8" = 1'-0" (ON 24x36 SHEET)

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PROJECT #: 22130  
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CHECKED BY: RR  
REVISIONS: \_\_\_\_\_

OVERALL  
FLOOR PLAN

SHEET  
A1.1

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Hampton Companies, LLC  
Suite Living Senior Care of Blaine, LLC  
1824 Buerkle Road  
White Bear Lake, MN 55110

**STATEMENT OF PROPOSAL:** City of Blaine

**PROJECT NAME:** Suite Living Senior Care of Blaine

**PROPERTY ADDRESS:** 9284 Baltimore St. NE  
PID #32-31-23-12-0001

**APPLICANT:** Hampton Companies, LLC  
1824 Buerkle Road  
White Bear Lake, MN 55110  
Jeremy Larson: 651-253-8924  
Jeremy@hamptoncos.com

**DESCRIPTION OF PROPOSED DEVELOPMENT:**

Hampton Companies and Suite Living is proposing to develop a memory care and assisted living community to serve the care needs of the elderly citizens of Blaine and those with elderly family members in need of memory care and assisted living services. Suite Living Senior Care of Blaine community will feature a total of 32 private suites with 20 of them providing assisted living services and the other 12 providing memory care services. The assisted living residents will be able to enjoy a home-like atmosphere in a setting that allows them the freedom to participate in many amenities that not only help assist them in their daily care needs but also provide them with a higher quality of life than that offered in a more institutional setting. The memory care residents are provided with their own secured area of the building that has its own separate amenities like a congregate dining room sunroom, activity/craft area and a secure outdoor porch. These residents benefit from a life enrichment program that is specially designed for residents with Alzheimer's and Dementia. At Suite Living Senior Care of Blaine our goal is to provide our residents with the right care at the right time.

**Building Description:** Total Land Size: 1.8 Acres-Approx.  
Building Size: 20,277 Sq. Ft.-Approx.  
Occupancy: 32 Private Suites  
Floor 1: 20 Assisted Living Units / 12 Memory Care Units

**Parking and Access:** Hard Surface Parking (23 stalls, 1 designated handicapped will be designed with dimensions and area in accordance with state law) will provide parking for resident friends and family members along with Suite Living Senior Care staff. Since none of our residents drive there will not be a significant need for parking.



### Analysis currently and forward

The difference between transient building occupants i.e.: those driving and with cars and fixed immobile occupants i.e.: residents

32 residents at any one time (immobile)

3 to 5 employees

1 to 3 visitors for a total of 4 to 8 transient occupants

There will be a circular drive through turn around with a covered walkway to the entrance of the building which has a small portico which extends from the vestibule entry over the walkway and partially into the circular driveway. The portico will allow for enough clearance to allow for emergency vehicles to pass and thus be able to enter and exit the site freely.

**Illumination:** Lighting from the installation of outdoor flood or spot lighting and illuminated signs shall be of an intensity that is reasonable for the purpose served and will be appropriately shielded minimizing the effects on the use and enjoyment of adjoining properties.

**Architectural Design:** The building will combine stone, residential exterior materials, columns, roofline gables, extending porches and entrances to the building. The overall look is themed after a residential building providing a feeling of warmth and comfort for the residents.

### **CONCLUSION:**

Thank you for your time to review our proposal. Suite Living Senior Care of Blaine will provide great economic benefits to the city and community with 32 assisted living and memory care suites, 25 plus full and part time jobs with annual payroll of \$750,000 and a significant contribution to the tax rolls for this property and provide services to the residents of the City and surrounding area. The opportunity for the city to provide senior care options in a very demanding market well into the future is a compelling reason to approve this application.

The project is designed and intended to accommodate the needs of development for benefit to the community, as Suite Living's high level of care, access to hospice and respite will bring.

Great care has been taken to make the building attractive both as a city and neighborhood friendly addition, utilizing high quality finishes like LP smart siding, colored hard shingle in the staggered edge notched panels, cultured stone accents and wainscoting, an extensive landscape plan with special attention to maintaining the existing buffer between the neighbors and the building.

The project will be designed exceeding the "required" landscaping and other basic requirements of code to upgrade the appearance of the building. The project will manage to maintain the required setbacks from the building to lot line front and back. Landscaping is for decorative purposes and can be moved when and if needed but provides a buffer and ornamental screening.

As we work thru the grading plan, special attention will be paid to the drainage and excavation plan to assure that the drainage of this site does not disturb the neighborhood.

By approving this project, the city is gaining an attractive, tax paying member to the community. The building is a secure building, noise is not an issue, and the neighbors should appreciate a relatively peaceful co-existence with the new project. The project will bring many benefits to the community of Blaine.

Such benefits will include:

- Local Chamber of Commerce Membership
- Meeting room space including use for business, choir practice, piano recitals, girl/boy scouts, book clubs, churches etc.
- Be of host to community events
- Offer wellness clinics
- Charity drop off site for food and clothing
- Partnerships with local daycare centers
- Internship options for nursing students
- Volunteer opportunities
- Promote local businesses

We look forward to continuing to work with the City of Blaine during the review and approval process for this application. Please contact me with any questions you have on any item as I would be more than happy to discuss it in further detail.

Sincerely,

Jeremy Larson  
Executive Vice President  
Hampton Companies