

PUBLIC NOTIFICATION LINE

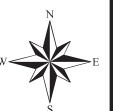
**Property
Location**

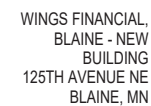


BlaineMN.gov

**Case File No. 21-0073
Wings Financial Credit Union**

Blaine Planning Department / 10801 Town Square Dr NE / Blaine, MN 55449 / (763) 785-6180





NOT FOR CONSTRUCTION

SITE PLAN REVIEW 10/08/21

Architect Name

Architect Name
Date: 10-08-2021 Lic. No. 51570

83537-21095

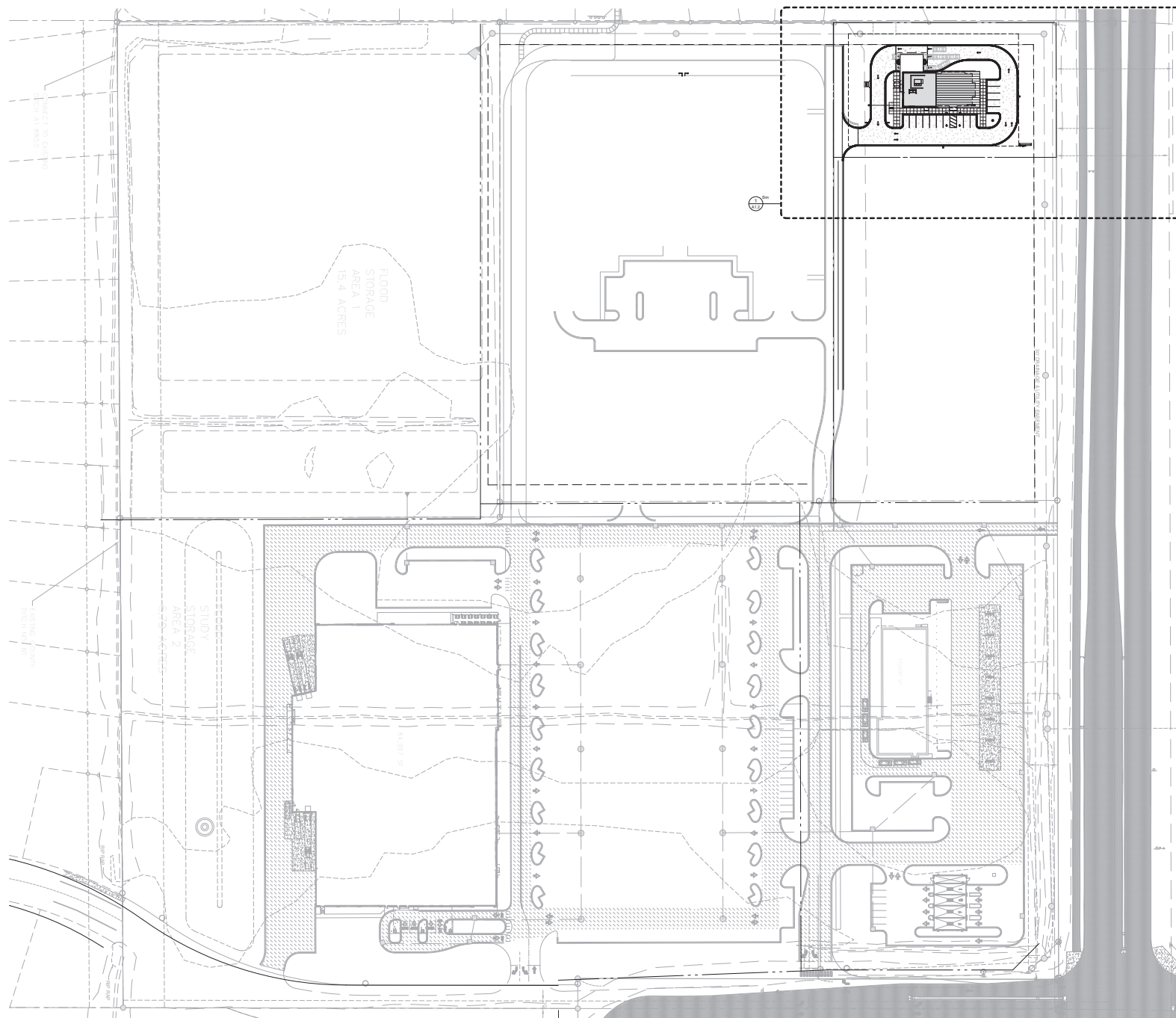
Tracy, CA 94588

GV

SHEET

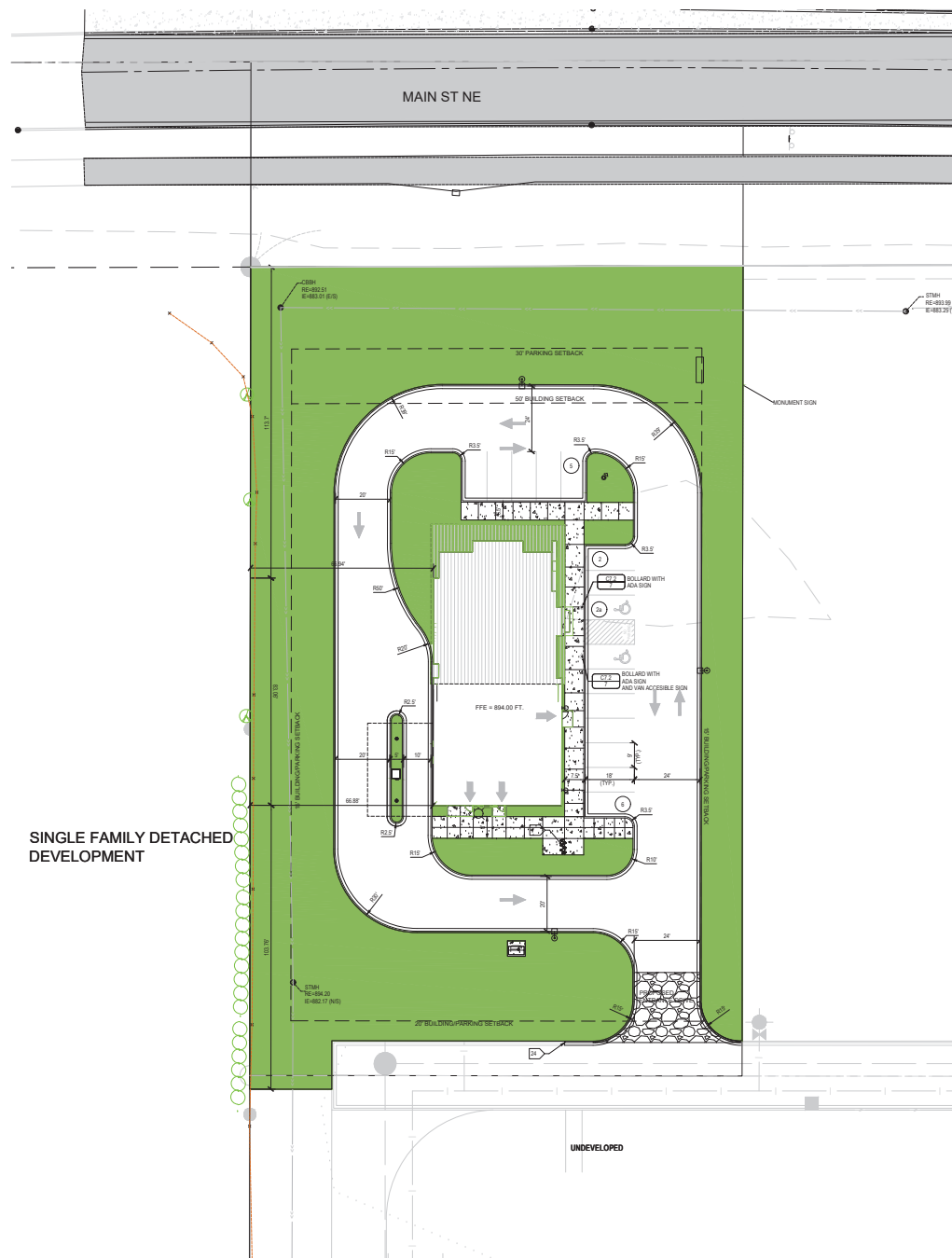
A1.1

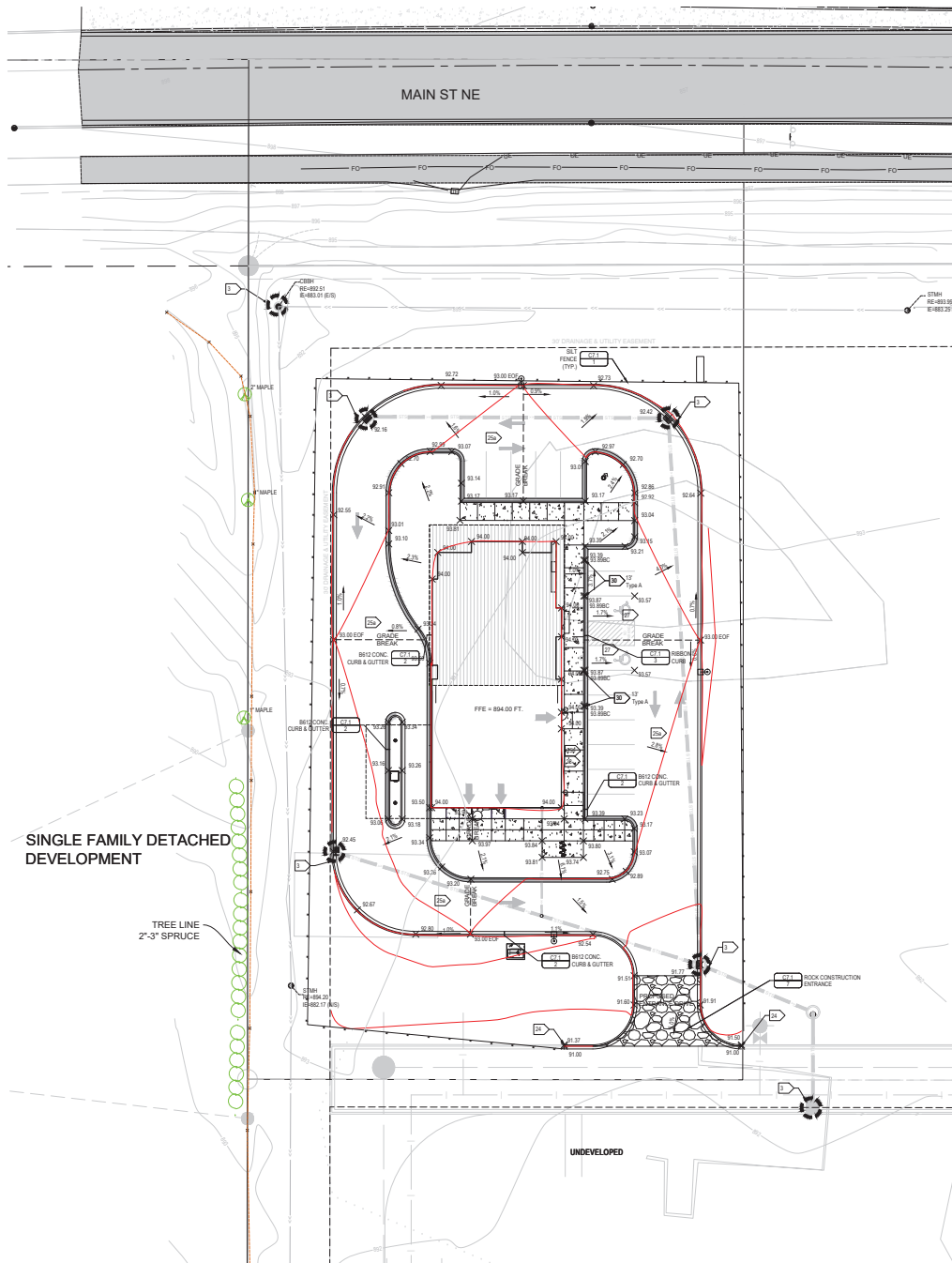
G:\Rev020198337-21061_Wings-Blacks_R10_Damon_PN.rst



1 OVERALL ARCHITECTURAL SITE PLAN
A1.1 1" = 50'-0"







GENERAL NOTES

1. For construction staking and surveying services contact Landform at 612.252.9070.

2. Install perimeter sediment controls prior to beginning work and maintain for duration of construction. Remove controls after areas contributing runoff are permanently stabilized and dispose of off site.

3. Install weed protection: Vinex PG or CG matting as appropriate, or approved equal. Maintain protection until project is stabilized.

4. Limit soil disturbance to the grading limits shown. Schedule operations to minimize length of exposure of disturbed areas.

5. Marginalized practices shown are the minimum requirement. Install and maintain additional controls as work proceeds to prevent erosion and control sediment carried by wind or water.

6. Reserved.

7. Reserved.

8. Reserved.

9. All exposed soil areas must be stabilized within 72 hours of completion of work in each area.

Seed, Sod, Mulch, Erosion Control Blanket, and Fertilizer shall meet the following Specifications, as modified:

Item	Specification Number	Estimated Quantity
Sod	MINDOT 3876	25,155 s.f.
Seed	MINDOT 3876	
Mulch	MINDOT 3862	
Erosion Control Blanket	MINDOT 3865	
Fertilizer	MINDOT 3881	
General Placement	MINDOT 2976	

10. See Landscape Sheets for permanent turf and landscape establishment.

11. Storage adjacent streets clean daily and sweep clean weekly.

EROSION PREVENTION AND SEDIMENT CONTROL NOTES

12. Contact utility service providers for field location of service 72 hours prior to beginning grading.

13. Refer to the Geotechnical Report prepared by Brian Interlic, dated 05/12/2017, for additional information on backfill material and groundwater conditions.

14. Remove topsoil from grading areas and stockpile sufficient quantity for reuse. Materials may be mined from landscape areas for use on site and replaced with source organic material with prior Owner approval.

15. Remove surface and ground water from excavations. Provide initial fill of stable foundation material if exposed soils are wet and unstable.

16. Rough grade Building Pad to 12 inches below Finished Floor Elevation (FFE).

17. Refer to Structural Specifications for setback requirements for building pads.

18. An Independent Testing Firm shall verify the removal of organic and unsuitable soils, soil correction, and compaction and provide periodic reports to the Owner.

19. Place and compact fill using 18 inch maximum match to soil type and compaction equipment to obtain specified compaction throughout the fill.

20. Compact on-site soils in paved areas to 95% of maximum dry density. Standard Proctor (ASTM D698) except the top 3 feet which shall be compacted to 100%. Compact to 95% density where fill depth exceeds 15 feet. The soils shall be within 2% of optimum moisture content to granular soils all portions of the embankment shall be compacted to not less than 95% of Modified Proctor Density (ASTM D1557).

21. Coordinate with Architectural for building siting locations. Slopes shown on adjacent walks and pavements should continue over stoops.

PAVING NOTES

22. Spot Elevations at curbsides indicate finished unless noted otherwise. See Sheet C4.1 for rim elevations of catch basins.

23. Grades between proposed spot elevations shall be continuous and nonvariable. Spot Elevations shall govern over contour lines.

24. Meet and Match existing curb. Transition as needed.

25. Paving Sections (Refer to Geotech Report by Brian Interlic on 05/12/2017 for pavement sections)

- a. Bituminous Paving (Light Duty)
- b. Concrete Walkways
- c. Concrete Drives, Aprons, and Exterior Stairs

26. Concrete joints

- Install joints as shown and align across sidewalks, curbs, and pavement, paying attention to spacing of expansion joints.
- Joint spacing shall be as follows:
 - a. Tied joints: Divide joints into normally equal areas unless shown otherwise.
 - b. Expansion joints: Sidewalks - 40 feet max.; Curb - 30 feet max.; Pavement - 80 feet max.; Adjacent to building foundations and stairs.
 - c. Contraction joints: Sidewalks - 8 to 10 feet; Curb and Aprons - 12 to 15 feet.

27. Accessible Parking Stalls and adjacent access aisles shall not exceed a 2.0% slope in any direction.

28. Accessible Routes shall have a maximum cross slope of 2.0% and a maximum running slope of 5.0%.

29. Adjust all structure lines to match pavement elevations.

30. Transition from 812 curb & gutter to ribbon curbs. See detail C7.14.

31. Emergency overflow route.

LEGEND

SYMBOL	DESCRIPTION	ESTIMATED QUANTITY
	Inlet Protection	6 ea.
	55# Fence	624 ft.
	Pavement Sawcut	
	Tip Out Curb	
	GRAVEL	

DEVELOPER

WINGS FINANCIAL CREDIT UNION
14985 GLAZIER AVENUE, SUITE 100
APPLE VALLEY, MN 55124

MUNICIPALITY

BLAINE

PROJECT

WINGS FINANCIAL CREDIT UNION
BLAINE, MN

ISSUE REVISION HISTORY

DATE	ISSUE REVISION	REASON
07/20/2021	PROPOSED	001
08/02/2021	001	001

CERTIFICATION

PRELIMINARY
NOT FOR
CONSTRUCTION

CITY SUBMITTAL

10.08.2021

LANDFORM

105 South Fifth Avenue Suite 510
Minneapolis, MN 55401
Tel: 612-252-9070
Fax: 612-252-9077
Web: landform.net

PROJECT NO.

WFC21003

GRADING, DRAINAGE, PAVING & EROSION CONTROL

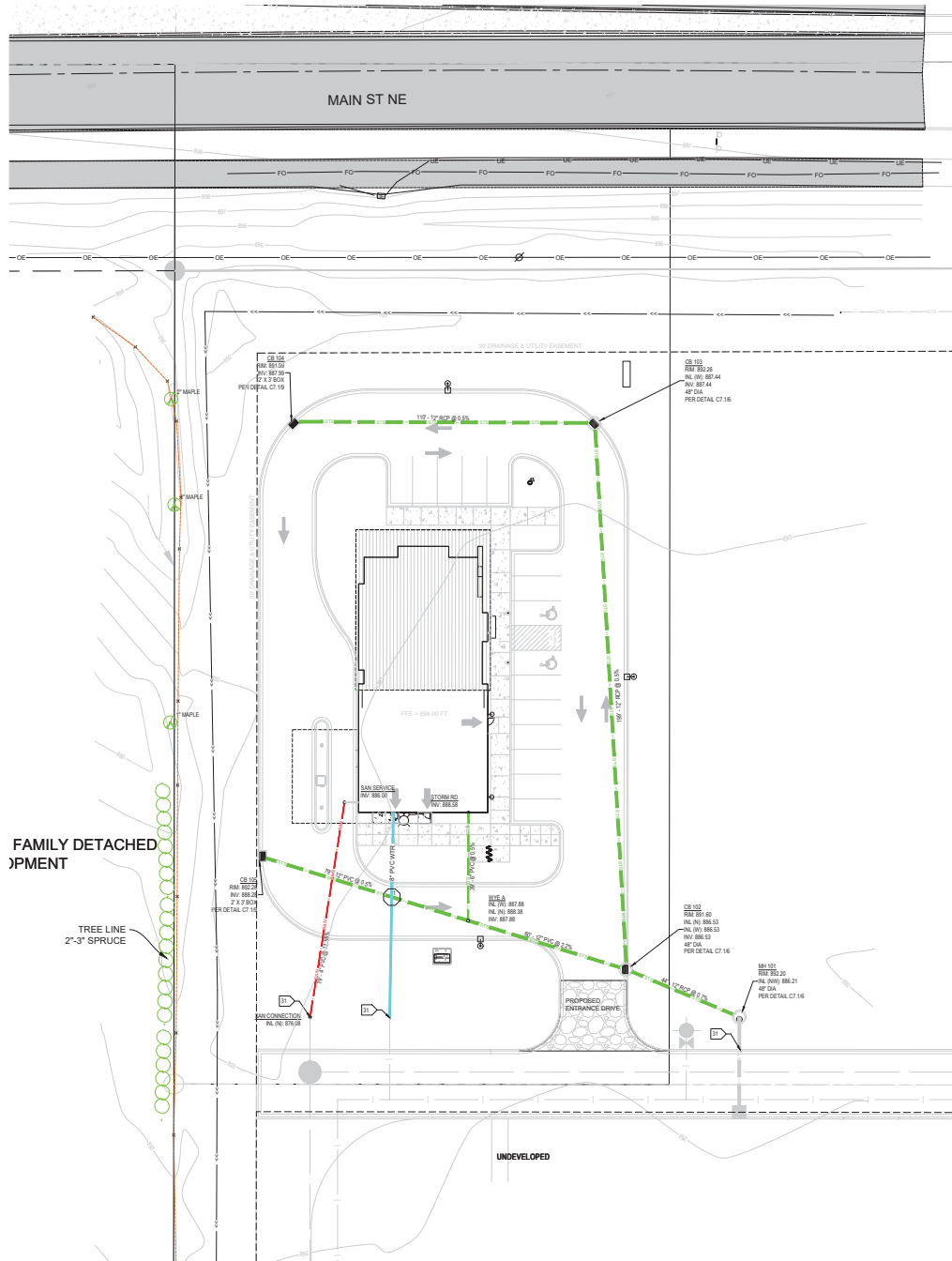
C3.1

Know what's Below.
Call before you dig.

811

NORTH

0 20 40



- ### GENERAL NOTES
- For construction staking and surveying services contact Landform at 612.252.9070.
- ### UTILITY NOTES
- Pipe Materials:
 - Watermain: C900 PVC
 - Water Service: Copper Type K (ASTM B88)
 - Public Sanitary Sewer: PVC SDR 35
 - Private Sanitary Sewer: PVC Schedule 40 (ASTM D1785, D2065, F754, & F1966)
 - Storm Sewer: PVC Schedule 40 (ASTM D1785, D2065, F754, & F1966)
 - Contract utility service providers for field location of services 72 hours prior to beginning.
 - Contractor to field verify location and elevation of all utility points of connection prior to construction of any proposed utilities. Contractor to notify Engineer immediately if there is any discrepancy.
 - Contractor to provide all utility crossings prior to construction of new utilities to verify depths of existing lines. Contact Engineer immediately if any conflicts are discovered.
 - Provide means and measures to protect adjacent property from damage during utility installation.
 - Pipe lengths shown are from center of structure to center of structure or end of end section.
 - Install tracer wire with all non-conductive utilities in accordance with City of Blaine Standards.
 - Connect to city utilities in accordance with City of Blaine Standards.
 - Reserved.
 - Maintain 7.5 feet min. of cover on water.
 - Deflect water to maintain 18-inch minimum outside separation at sewer crossings. Center pipe lengths to provide greatest separation between joints.
 - Contact City of Blaine Engineering Department at 763.765-6170 for building and pressure test inspections.
 - The water distribution system shall be distributed per Minnesota Rules, Part 4714.
 - Provide 4-inch light foam (ASTM D1027) insulation on sanitary sewer less than 6 feet deep.
 - Reserved.
 - All portions of the storm sewer system, located within 10 feet of the building or water service line must be tested in accordance with Minnesota Rules, Part 4714.
 - All joints and connections in the storm sewer system shall be gasketed or water tight. Approved resilient rubber joints must be used to make watertight connections to manholes, catch basins, and other structures.
 - Catch basins in curb and gutter are spaced 2 inches below the gutter grade. Refer to Detail 6 on Sheet C7.1.
 - Reserved.
 - Irrigation sleeves to be 4 inch Schedule 80 PVC buried 24\"/>
 - The primary electric feed, transformer, and meter are provided and installed by 112 Energy. The transformer pad design is provided by the utility and connections to the transformer. Contact Utility for pad design. The secondary electric and conductors shall be installed by the Electrical Contractor.
 - See site lighting plan for additional information.
 - Kyle will furnish and install gas service piping from the mainline to the meter and the meter. Gas service from the meter shall be installed by the Mechanical Contractor.
 - Provide one 3/4 inch PVC conduit with pulling from existing telephone service to building.
 - Provide conduits for cable television and other electronic communication.
 - Coordinate with Mechanical, Plumbing, and Electrical Drawings for locations of service connections and continuation of services within building.
 - Compact cohesive soils in paved areas to 95% of maximum dry density. Standard Proctor (ASTM D698), except the top 3 feet shall be compacted to 100%, compact to 95% density where fill depth exceeds 10 feet. The soils shall be within 3% of optimum moisture content. In granular soils all portions of the embankment shall be compacted to not less than 95% of Modified Proctor Density (ASTM D1557).
 - Adjust structures to final grade where disturbed. Comply with requirements of Utility. Meet requirements for traffic loading in paved areas.

- ### UTILITY CROSSINGS
- Crossing 1:
 - Sanitary Sewer Over a Storm S.
 - Watermain Top 885.9 E
 - Clearance 12.7 ft.

DEVELOPER
WINGS FINANCIAL CREDIT UNION
14895 GLAZIER AVENUE, SUITE 100
APPLE VALLEY, MN 55124

MUNICIPALITY
BLAINE
PROJECT
WINGS FINANCIAL CREDIT UNION
BLAINE, MN
ISSUE REVISION HISTORY

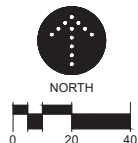
DATE	ISSUE REVISION	DESIGN
27 SEP 2021	PROPOSED SUT	SSS
08 OCT 2021	UTL SUBMITTAL	SSS

CERTIFICATION
PRELIMINARY NOT FOR CONSTRUCTION
CITY SUBMITTAL
10.08.2021

LANDFORM
Transforming Public

105 South Fifth Avenue Tel: 612-252-9070
Suite 510 Fax: 612-252-9077
Minneapolis, MN 55401 Web: landform.net
FILE NAME: C401WFC033.dwg
PROJECT NO: WFC21003

UTILITIES
C4.1



EXTERIOR MATERIAL FINISH SCHEDULE

MATERIAL ID	MATERIAL	MANUFACTURER	FINISH	COLOR	LOCATION
CSTN-1	STONE VENEER BASE	AMERICAN ARTSTONE	SMOOTH	103-03 MME	GRADE SILLS, MONUMENT SIGN CAP STONE
MP-1	METAL PANEL	ALUCOBOND	FEVE	BRUSHED CARBON	NORTH, EAST, AND SOUTH SIDES
MP-2	METAL PANEL	ALUCOBOND	FEVE	NATURAL BRUSHED STAINLESS	VESTIBULE CANOPY AND CEILING
MP-3	METAL PANEL	ALUCOBOND	PVD	WINGS FINANCIAL CUSTOM COLOR - PMS 285	SOUTHEAST SIGNAGE FIN
MP-4	METAL PANEL	ALUCOBOND	PVD	NATURAL ZINC	ROOF PARADA AND SOFFIT, DRIVE-THRU
FLASH-1	CAP FLASHING	ALUCOBOND	PVD	BRUSHED CARBON	PARAPET CAP AT MP-1
FLASH-2	CAP FLASHING	ALUCOBOND	FEVE	NATURAL BRUSHED STAINLESS	PARAPET CAP AT MP-2
FLASH-3	CAP FLASHING	ALUCOBOND	PVD	WINGS FINANCIAL CUSTOM COLOR - PMS 285	PARAPET CAP AT MP-3
FLASH-4	CAP FLASHING	PACOLAD	KYNAR 600	WEATHERED ZINC	PARAPET CAP AT BRICK-1, RTU SCREEN
AFS FLASH-1	WINDOW SILL FLASHING	PACOLAD	KYNAR 600	SILVERSMITH	CURTAIN WALL AND STOREFRONT SILLS
AFS-1	ALUMINUM WINDOW FRAMES	KARNEER	XXXX	CLEAR ANODIZED ALUMINUM	2-10" x 7-10" CURTAIN WALL
AFS-2	ALUMINUM WINDOW FRAMES	KARNEER	XXXX	CLEAR ANODIZED ALUMINUM	2' x 4-1/2" STOREFRONT
BRICK-1	FACE BRICK	SOLIX CITY BRICK	XXXX	OXFORD GRAY VELOUR	NORTH, WEST, AND SOUTH OFFICE, MONUMENT SIGN BASE
RS-2	STANDING SEAM METAL ROOF	PACOLAD	KYNAR 600	WEATHERED ZINC	EAST BUILDING ROOF, DRIVE-THRU ROOF
SS-1	SUN SCREEN	INDUSTRIAL LOUVERS	KYNAR 600	MATCH CLEAR ANODIZED	CURTAIN WALL SCREEN

NOTE:
THE "BASIS OF DESIGN" MATERIALS FOR THE PROJECT ARE LISTED ON THE SCHEDULE ABOVE. SEE SPECIFICATIONS FOR ADDITIONAL MATERIAL INFORMATION AND OTHER APPROVED SUBSTITUTIONS.



BRUSHED CARBON
MP-1, FLASH-1

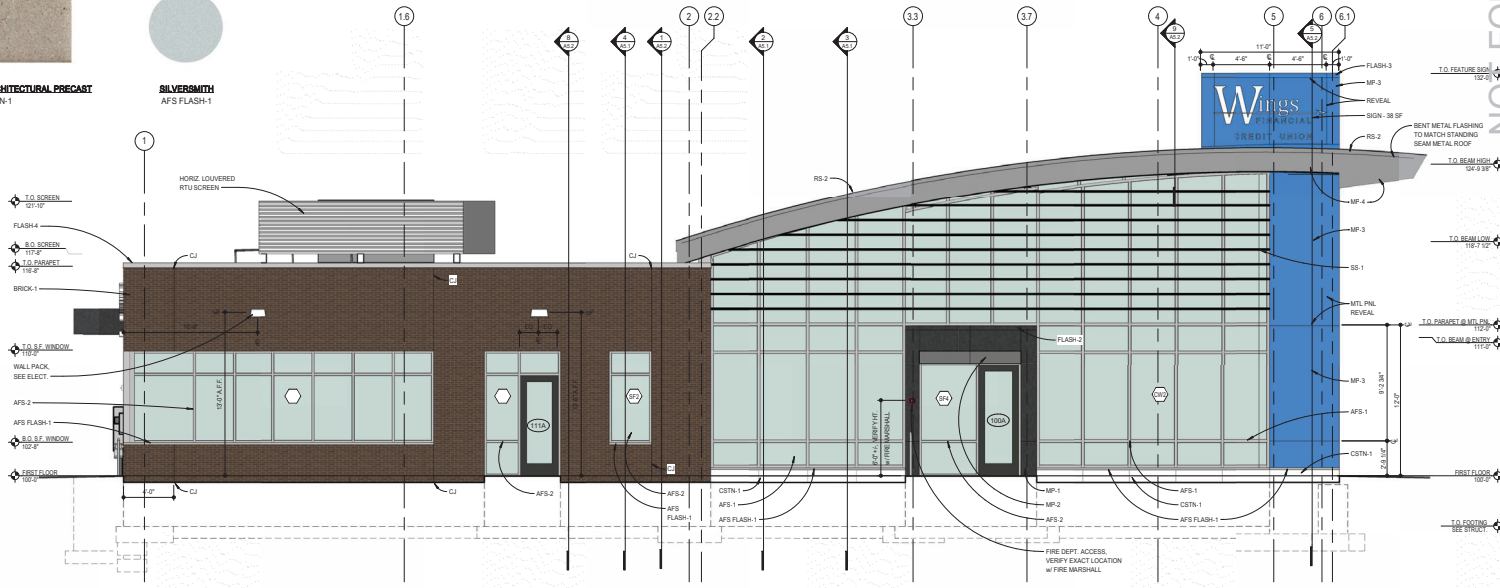
WINGS CUSTOM COLOR - PMS 285
MP-3, FLASH-3

ARCHITECTURAL PRECAST
CSTN-1

SILVERSMITH
AFS FLASH-1

NOTE:
E.G.C. TO PROVIDE 2" DIA. HEAVY DUTY WELL ANCHORED STAINLESS STEEL EYE HOOKS, CONFIRM SIZE AND INSTALLATION LOCATION PER OWNER'S DIRECTION

2 NORTH BUILDING ELEVATION
1/4" = 1'-0"



1 EAST BUILDING ELEVATION
1/4" = 1'-0"

POPE
ARCHITECTS

POPE ARCHITECTS, INC.
1205 RANDALL BLVD. SUITE 200
ST. PAUL, MN 55108-2735
(651) 642-9390 | FAX (651) 642-3331
www.popearch.com

Wings
FINANCIAL
CREDIT UNION

WINGS FINANCIAL
BLAINE - NEW
BUILDING
125TH AVENUE NE
BLAINE, MN

NOT FOR CONSTRUCTION

EXTERIOR
ELEVATIONS,
EXTERIOR MATERIAL
FINISH SCHEDULE

SITE PLAN REVIEW 10/08/21

I hereby certify that this plan specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the State of Minnesota.

Architect Name
Date: 10-08-2021 Lic. No. 51570

33537-21095
DO
GV

SHEET

A3.1

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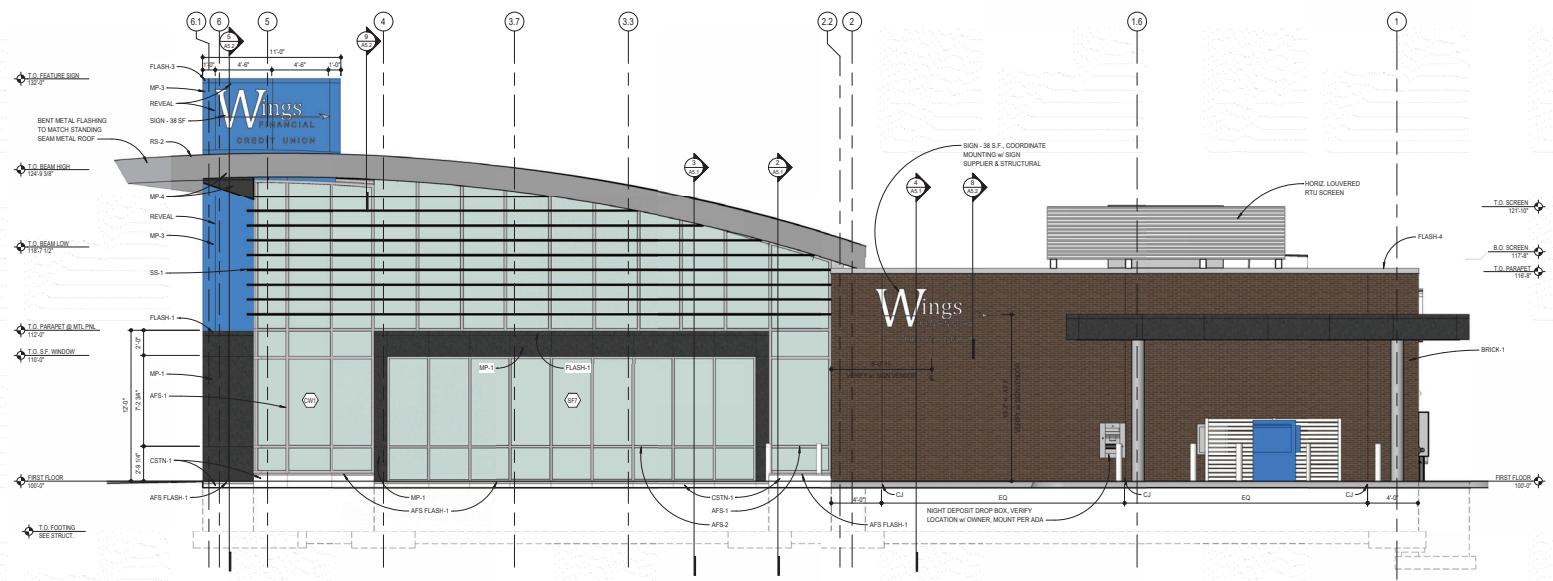
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S.C. TO PROVIDE 2" DIA. HEAVY DUTY WELL-ANCHORED STAINLESS STEEL EYE HOOKS, CONFIRM SIZE AND INSTALLATION LOCATION PER OWNER'S DIRECTION.



2 SOUTH BUILDING ELEVATION
1/4" = 1'-0"



1 WEST BUILDING ELEVATION
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NOT FOR CONSTRUCTION

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WINGS FINANCIAL
BLAINE - NEW BUILDING
125TH AVENUE NE
BLAINE, MN

EXTERIOR ELEVATIONS, EXTERIOR MATERIAL FINISH SCHEDULE

SITE PLAN REVIEW 10/08/21

I hereby certify that this plan specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the State of Minnesota.

[Signature]
Architect Name
Date: 10-08-2021 Lic. No. 51570

83537-21095
DO
GV

SHEET

A3.2

- A) DO NOT SCALE DRAWINGS.
- B) NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES.
- C) IN THE CASE OF AMBIGUITIES, DISCREPANCIES, OR IRREGULARITIES IN THE DRAWINGS AND/OR SPECIFICATIONS, THE CONTRACTOR SHALL IMMEDIATELY REQUEST FOR CLARIFICATION FROM THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
- D) ALL IN-PLACE CONSTRUCTIONS SHALL BE WOOD UNLESS THE FOLLOWING LOGS ARE TO BE PRESERVATION TREATED:
 1. WOOD IN CONTACT WITH GROUND OR WATER.
 2. WOOD ON EXTERIOR FOUNDATION WALLS.
 3. WOOD IN CONTACT WITH CONCRETE SLABS ON GRADE, OR IN CONTACT WITH CONCRETE OR MASONRY FOUNDATION.
 4. WOOD WITH A CRACK, SPAIL OR EXPOSED HOLE.
 5. AT OTHER LOCATIONS NOTED ON THE CONSTRUCTION DOCUMENTS.
- E) ALL WOOD USED IN BUILDINGS OF TYPE I OR II CONSTRUCTION (SEE CODE DATA SHEET), IS TO BE FIRE-RETARDANT-TREATED WITH THE FOLLOWING INFORMATION:
 1. PRESERVATION TREATED WOOD IS NOT TO BE USED IN GENERAL. NOTE "E" DATA SHEET.
 2. INTERIOR FLOOR FINISH AND INTERIOR FINISHES, TRIM AND MILLWORK SUCH AS CABINETS, DOORS, DOOR FRAMES AND WINDOWS.
 3. EXTERIOR PORCH HANDRAILS, MILLWORK, CABINETS, AND WINDOW AND DOOR FRAMES.
- F) SEE SPECIFICATIONS FOR SYMBOLS, INDICATION OF MATERIALS, PARTITION TYPE DETAILS & ABREVIATIONS.



1
A2.1 FLOOR PLAN
1/4" = 1'-0"



Robinson, Patricia

From: Kelsey Brodt <kelseybrodt@gmail.com>
Sent: Thursday, November 4, 2021 10:25 AM
To: Sellman, Sheila; Robinson, Patricia
Cc: cperkinsncrb@gmail.com <cperkinsncrb@gmail.com>
Subject: Wings Financial & Summerville Meadows project

Hello there!

I am writing in opposition to the development on 125th in Blaine.

The nearby wetlands would be better supported with a project that did not create more pavement/runoff, shallow rooted lawns & potential pollution from yard chemicals and street salt . Any consideration to using the acreage for distributed renewable energy? It could help the nearby school & homes, as well as provide a place for pollinators & plants to help keep our waters clean. <https://acespace.org/2021/09/03/distributed-renewable-energy-101/>

It appears that there are two other Wings locations just about 4 miles away, one in Blaine and one in Coon Rapids. Perhaps this bank should utilize one of the many vacant commercial properties along University Ave or around Northtown Mall & Northtown Commons instead.

The world is increasingly threatened by habitat loss, biodiversity loss, pesticides, invasive species and natural disasters. I think humanity needs to do everything it can to heal the land & ensure our survival. No land is too trivial or project too small to make a difference.

Thank you for listening.

Kelsey Brodt

Sent from [Mail](#) for Windows

From: [JON HUSBY](#)
To: [Robinson, Patricia](#)
Subject: Case 21-0073 - Wings Financial location
Date: Monday, November 8, 2021 1:16:15 PM

Dear Pat,

This email is concerning case #21-0073. I cannot make tonight's meeting so here is my plea in writing.

I am writing you to move the currently planned location of the Wings Financial Credit Union to another location on that plot of land. This location was supposed to be for a senior living apartment complex, which we are fine with but do not put a bank building right in our backyard. Move it to a different area, there is plenty of land to work with. Please be considerate of the people who are living in this neighborhood and all of the changes the city has proposed of this land. Adding the bank will cause the value of our houses will drop greatly, it will be an eye sore for us to sit on our deck and have to look out at it every night and it will be a safety hazard for all of the kids that walk through our backyard going to and from school if you put the entrance right off 125th/Main St.

I can be reached at 763-300-4540 if you have any comments you would like to discuss.

Thank you,
Jon Husby

[Sent from Yahoo Mail for iPhone](#)

