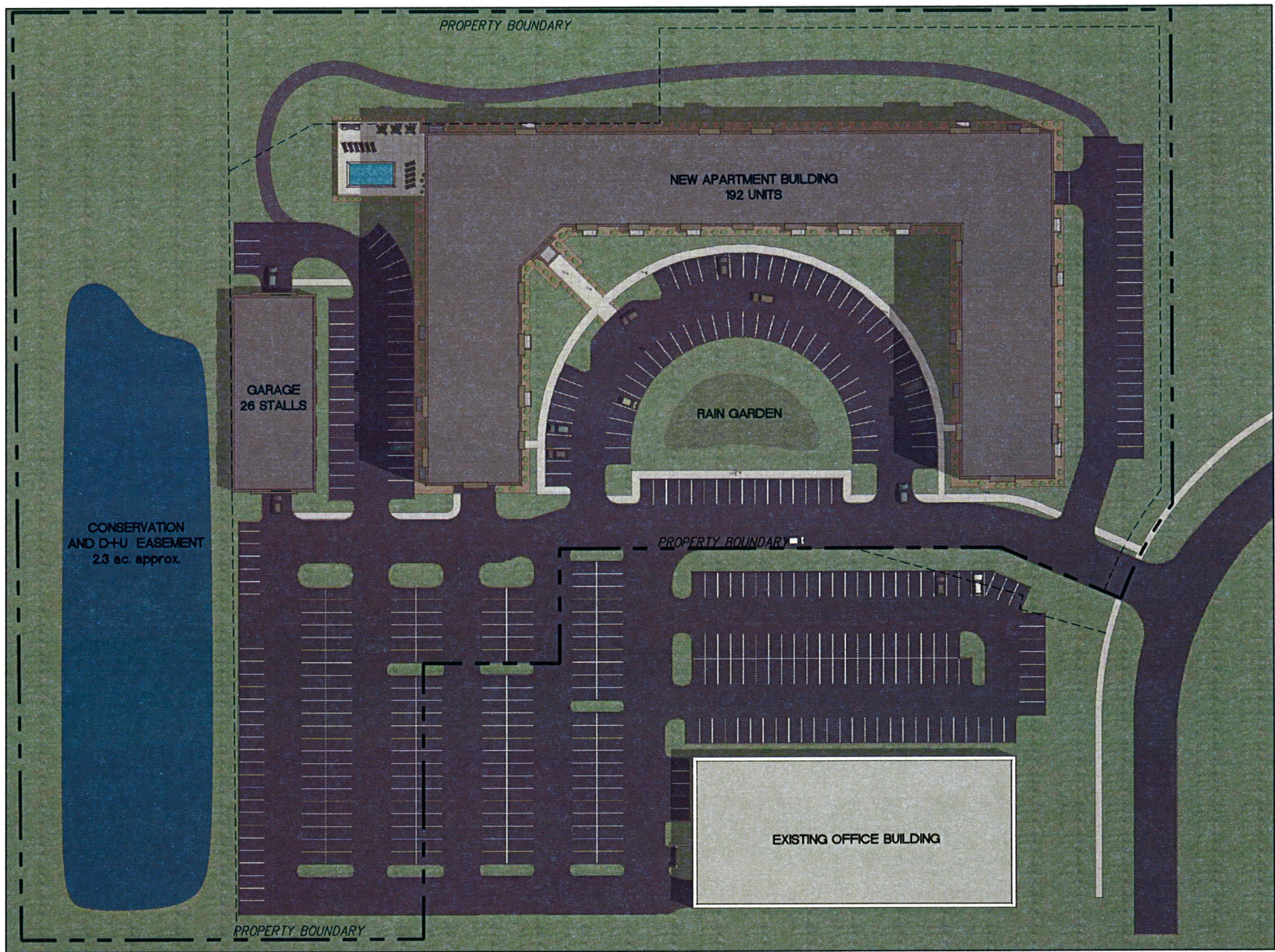


Case File No. 12-0044

Blaine Planning Department / 10801 Town Square Dr NE / Blaine, MN 55449 / (763) 785-6180





PARKING SUMMARY

GARAGE PARKING STALLS	142
OUTDOOR PARKING STALLS	261
OUTDOOR GARAGE STALLS	26
TOTAL PARKING	429 (2.23/APT)

APARTMENT TYPES

GUEST	1	(.5%)
STUDIO	26	(13.5%)
1 BEDROOM	78	(41%)
2 BEDROOM	79	(41%)
3 BEDROOM	8	(4%)
TOTAL APTS	192	

SITE AREA SUMMARY

TOTAL SITE AREA (NOT INCLUDING 2.3 AC. CONSERVATION EASMT.)	299,977 S.F. - 6.89 AC
SITE COVERAGE BY BUILDINGS (INCLUDES GARAGES)	67,807 S.F. (22.6%)
SITE COVERAGE BY PAVING	106,836 S.F. (35.6%)
TOTAL COVERAGE	174,643 S.F. (58.2%)

PRELIMINARY SITE PLAN



CERTIFICATION

DESIGNED BY	DATE	SCALE
CHECKED BY		
DATE		

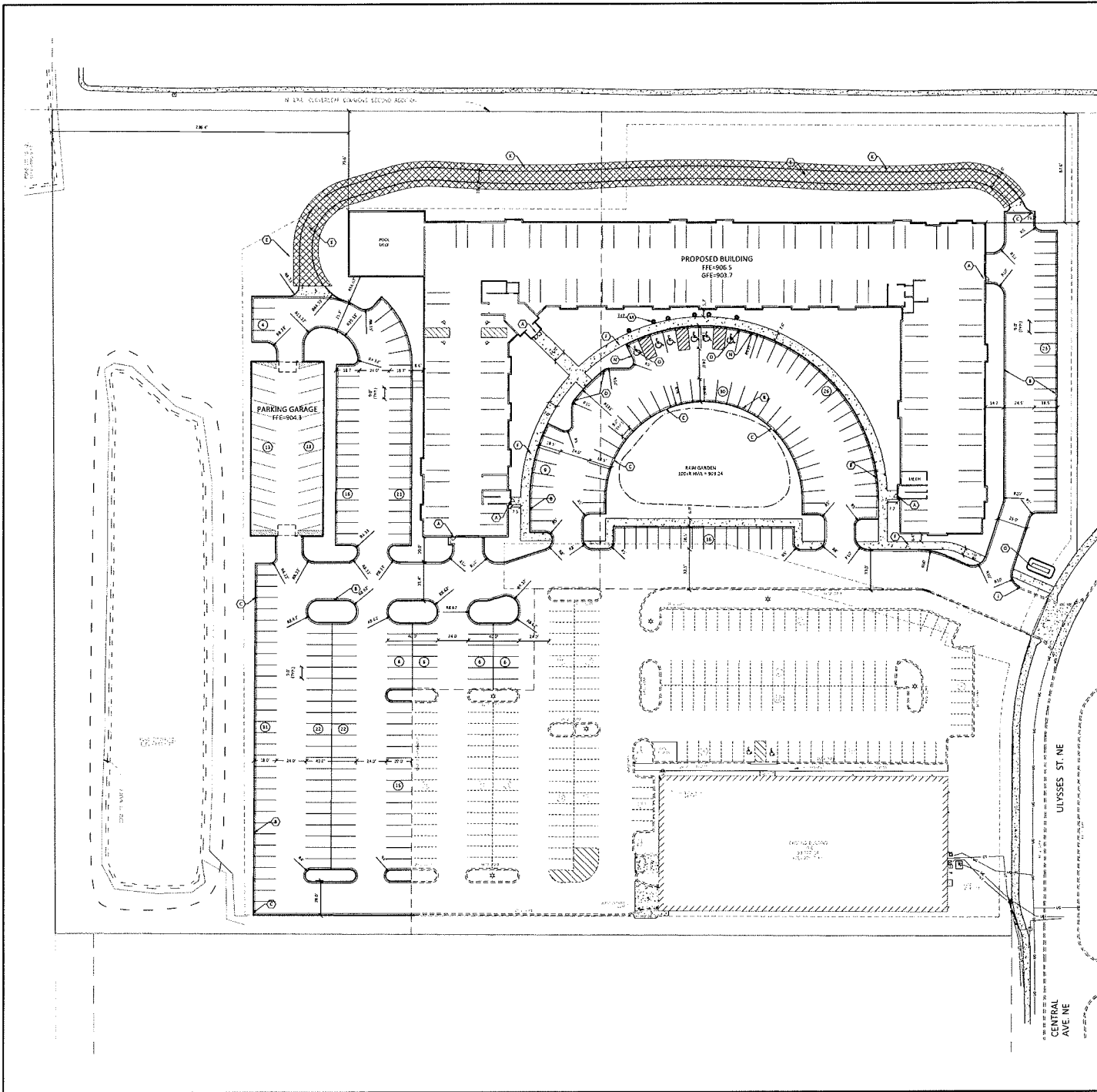
PROPOSED
BLAINE APARTMENTS
 BLAINE, MINNESOTA

REVISIONS

△	City Schedule 12.07.2012
△	City Schedule 1.11.2013
△	City Schedule # 2.10.2014
△	City Schedule # 3.10.2014
△	City Schedule # 3.27.2014

PRELIMINARY SITE PLAN

<input checked="" type="checkbox"/> PRELIMINARY FOR CONSTRUCTION	DATE
<input type="checkbox"/> FINAL/NO SET	12.7.2012
<input type="checkbox"/> CONSTRUCTION SET	A0
<input type="checkbox"/> AS-BUILT SET	PROJECT NO.
<input type="checkbox"/> NOT TO SCALE	07/102



LEGEND

	PROPOSED	EXISTING	
PROPERTY LIMIT	---	---	STANDARD DUTY ASPHALT PAVING
CURB & GUTTER	---	---	BITUMINOUS TRAIL
EASEMENT	---	---	CONCRETE PAVING
BUILDING	---	---	NET PAVE
RETAINING WALL	---	---	
UTILITY LIMITS	---	---	
YIELDING	---	---	
SIEN	---	---	
PIPE BOLLARD	---	---	
NUMBER OF PARKING STALLS PER ROW	---	---	
KEY NOTE	---	---	

- DEVELOPMENT NOTES**
- ALL DIMENSIONS ARE SHOWN TO THE NEAREST TENTH FOOT.
 - ALL DIMENSIONS SHOWN ARE TO THE FACE OF CURB TO FACE OF CURB UNLESS OTHERWISE NOTED.
 - ALL AREAS ARE EQUIPPED TO THE NEAREST SQUARE FOOT.
 - ALL PARKING STALLS TO BE 9' IN WIDTH AND 18' IN LENGTH UNLESS OTHERWISE INDICATED.
 - CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF EXISTING POLES, KAMPS, PILES, BUILDING DIMENSIONS AND EXACT BUILDING UTILITY FRAMES LOCATIONS.
 - SEE ARCHITECTURAL PLANS FOR SIGNAGE DETAILS.
 - SEE ARCHITECTURAL PLANS FOR LIGHT POLE FOUNDATION DETAIL AND FOR EXACT LOCATIONS OF EXISTING POLE.
 - REFER TO PAVEMENT PLAN FOR LOT BOUNDARIES, LOT NUMBERS, LOT AREAS, AND LOT DIMENSIONS.
 - ALL EXISTING SIDEWALKS ALONG THE ROAD RIGHTS SHALL HAVE A MAXIMUM LONGITUDINAL SLOPE OF 4% AND ALL EXISTING CURBS SHALL BE 4" HIGH AND A MAXIMUM CROSS SLOPE OF 2% IN 1' 4". THE MAXIMUM SLOPE IN ANY DIRECTION ON AN ADA PARKING STALL OF ACCESSIBLE SHALL BE 2% IN 1' 4". THE CONTRACTOR SHALL REVIEW AND VERIFY THE EXISTING TO BE REMOVED FOR ADA ACCESSIBILITY FROM TO PLACING CONCRETE OR BITUMINOUS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY IF THERE IS A DISCREPANCY BETWEEN THE EXISTING IN THE FIELD VERSUS THE DESIGNER'S RECORD.
 - NO PARKING SIGNS SHALL BE PLACED ALONG ALL DRIVEWAYS AS REQUIRED BY CITY.
 - STREET NAMES ARE SUBJECT TO APPROVAL BY THE CITY.
 - DRAINAGE AND UTILITY EASEMENTS SHALL BE PROVIDED AS REQUIRED. DRAINAGE AND UTILITY EASEMENTS WILL BE PROVIDED OVER ALL PUBLIC UTILITIES AND UP TO THE HIGH WATER LEVEL OF ALL PONDS.

DEVELOPMENT SUMMARY

PARKING REQUIREMENTS	2.27 DWELLING
NUMBER OF PROPOSED DWELLINGS	322 DWELLINGS
TOTAL PARKING REQUIRED	432 STALLS
PARKING PROVIDED:	
GARAGE PARKING STALLS	140 STALLS
OUTDOOR PARKING STALLS	248 STALLS
OUTDOOR GARAGE STALLS	28 STALLS
TOTAL PARKING PROVIDED	429 STALLS
AREA CALCULATIONS	
TOTAL SITE AREA	236,863 SF
TOTAL AREA	196,782 SF
PERCENT IMPERVIOUS	47.6%

- KEY NOTES**
- BUILDING, STAIRS, SEE ARCHITECTURAL PLANS.
 - 6-622 CONCRETE CURB AND GUTTER
 - CURB CUT
 - FLAT CURB SECTION
 - BITUMINOUS PATH
 - CONCRETE SIDEWALK
 - MONUMENT SIGN (BY OTHERS)
 - ACCESSIBLE RAMP
 - NOT USED
 - 1/2" X 1/2" X 1/2" EXISTING CURB
 - NET PAVE
 - NOT USED
 - HANDICAP PARKING (SEE "H") CONCRETE PIPE BOLLARD
 - 10' TRANSITION TO FLAT CURB



Client
BALDWIN PARTNERS I, LLC
 3120 WOODBURY DRIVE, STE 100
 WOODBURY, MN 55124

Project
BLAINE APARTMENTS

Location
BLAINE, MINNESOTA
 ULYSSES STREET

Certification
 I hereby certify that the plan, specification, report or map prepared by me or under my direct supervision and that I am a duly licensed professional engineer in the State of Minnesota.
 [Signature]
 License No. 22641 Date: 03/13/2024

Summary
 Designed: 1/16 Drawn: 1/17
 Approved: MJD Book: 1/16 Page: 1/16 of 41
 Plan: 1/16/2024 Title: BAL19477

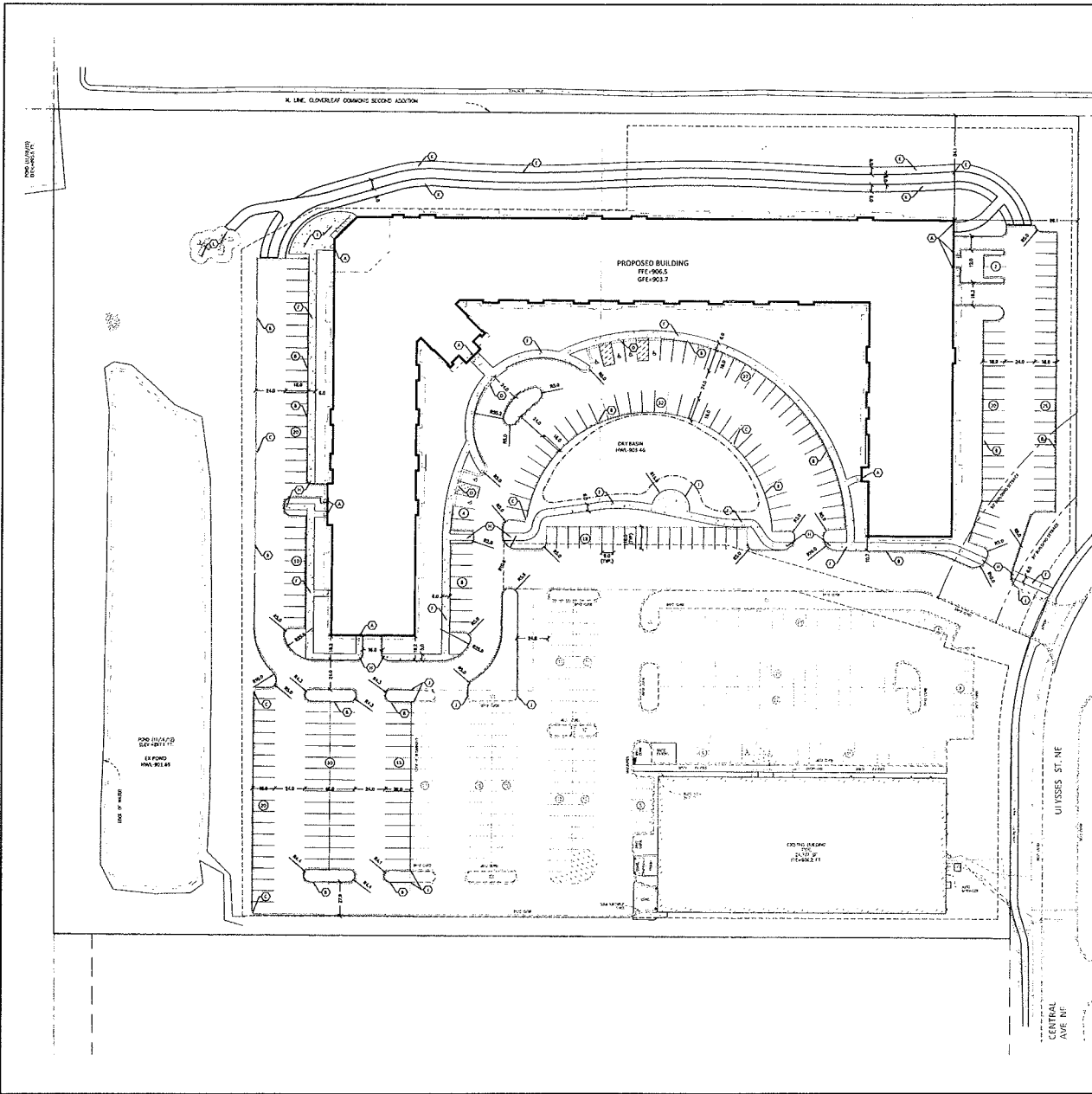
Revision History

No.	Date	By	Submitted / Revision
1	01/16/24	MP	PRELIMINARY
2	01/16/24	MP	REVISED PLAN
3	01/16/24	MP	REVISED PLAN
4	01/16/24	MP	REVISED PLAN
5	01/16/24	MP	REVISED PLAN
6	01/16/24	MP	REVISED PLAN

Sheet Title
CIVIL SITE PLAN

Sheet No. Revision
C3.01 F

Project No. BAL19477



LEGEND

PROPOSED	EXISTING	STANDARD DUTY ASPHALT PAVING
PROPOSED CURB & GUTTER	EXISTING CURB & GUTTER	EXISTING ASPHALT PAVING
PROPOSED PAVEMENT	EXISTING PAVEMENT	PROPOSED ASPHALT PAVING
PROPOSED RETAINING WALL	EXISTING RETAINING WALL	PROPOSED BITUMINOUS TREAT
PROPOSED WETLANDS	EXISTING WETLANDS	PROPOSED CONCRETE PAVING
PROPOSED ELEVATION	EXISTING ELEVATION	PROPOSED NET PAVES

- DEVELOPMENT NOTES**
- ALL DIMENSIONS ARE ROUNDED TO THE NEAREST TENTH FOOT.
 - ALL DIMENSIONS SHOWN ARE TO THE BACK OF CURB TO BACK OF CURB UNLESS OTHERWISE NOTED.
 - ALL AREAS ARE ROUNDED TO THE NEAREST SQUARE FEET.
 - ALL PARKING SPACES TO BE 9' IN WIDTH AND 18' IN LENGTH UNLESS OTHERWISE INDICATED.
 - CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF EXISTING PORCHES, RAMPS, PRECAST BUILDING DRIVeways AND EXIST BUILDING UTILITY ENTRANCE LOCATIONS.
 - SEE ARCHITECTURAL PLANS FOR PILEON SKID DETAILS.
 - SEE ARCHITECTURAL PLANS FOR LIGHT POLE FOUNDATION DETAIL AND FOR EXACT LOCATIONS OF SIGN POLE.
 - SEE NOTES TO FINAL PLAT FOR LOT BOUNDARIES, LOT NUMBER, LOT AREA, AND LOT DIMENSIONS.
 - ALL GRADIENTS ON SIDEWALKS ALONG THE ADA ROUTE SHALL HAVE A MAXIMUM LONGITUDINAL SLOPE OF 3% (1:33), EXCEPT AT CURB RAMPS (1:12) AND A MAXIMUM CROSS SLOPE OF 2.0% (1:50). THE MAXIMUM SLOPE IN ANY DIRECTION ON AN ADA PARKING SPACE OR ACCESS CUE SHALL BE 2.0% (1:50). THE CONTRACTOR SHALL ADVISE AND VERIFY THE GRADIENT AT THE FIELD ALONG THE ADA ROUTE BEFORE THE PAVING CONTRACTOR BEGINS WORK. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY IF THERE IS A DISCREPANCY BETWEEN THE GRADIENTS IN THE FIELD VERSUS THE DESIGN GRADIENT.
 - "NO PARKING" SIGNS SHALL BE PLACED ALONG ALL DRIVEWAYS AS REQUIRED BY CITY.
 - STREET NAMES ARE SUBJECT TO APPROVAL BY THE CITY.
 - DRAINAGE AND UTILITY ELEMENTS SHALL BE PROVIDED AS REQUIRED. DRAINAGE AND UTILITY ELEMENTS WILL BE PROVIDED OVER ALL PUBLIC UTILITIES AND UP TO THE HIGH WATER LEVEL OF ALL PONDS.

DEVELOPMENT SUMMARY

PARKING REQUIREMENTS	27 DWELLINGS
NUMBER OF PROPOSED DWELLINGS	354 DWELLINGS
TOTAL PARKING REQUIRED	348 STALLS
PARKING PROVIDED	348 STALLS
INDOOR PARKING STALLS	275 STALLS
OUTDOOR PARKING STALLS	275 STALLS
TOTAL PARKING PROVIDED	348 STALLS

AREA CALCULATIONS	200,712 SF
AREA PERIODS	193,412 SF
TOTAL AREA	278,205 SF
PERCENT IMPERVIOUS	43.7%

- KEY NOTES**
- BUILDING, STAIRS, STAIRS SEE ARCHITECTURAL PLANS.
 - 6-1/2" CONCRETE CURB AND GUTTER.
 - CURB CUT.
 - FLAT CURB SECTION.
 - BITUMINOUS PATH.
 - CONCRETE SIDEWALK.
 - NOT USED.
 - ACCESSIBLE RAMP.
 - CONCRETE PAVES.
 - MEET MATCH EXISTING CURB.
 - MEET RISE.
 - PLAYGROUND EQUIPMENT (BY OTHER).

Previous site Plan 2013



Client
BALDWIN PARTNERS I, LLC
 1120 WOODBURY DRIVE, STE. 100
 WOODBURY, MN 55324

Project
BLAINE APARTMENTS

Location
BLAINE, MINNESOTA
 ULYSSES STREET

Certification
 I certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly licensed professional engineer in the State of Minnesota.
 Signature: [Signature] Date: 08/05/2013
 License No. 07661 State: MN/00/7000

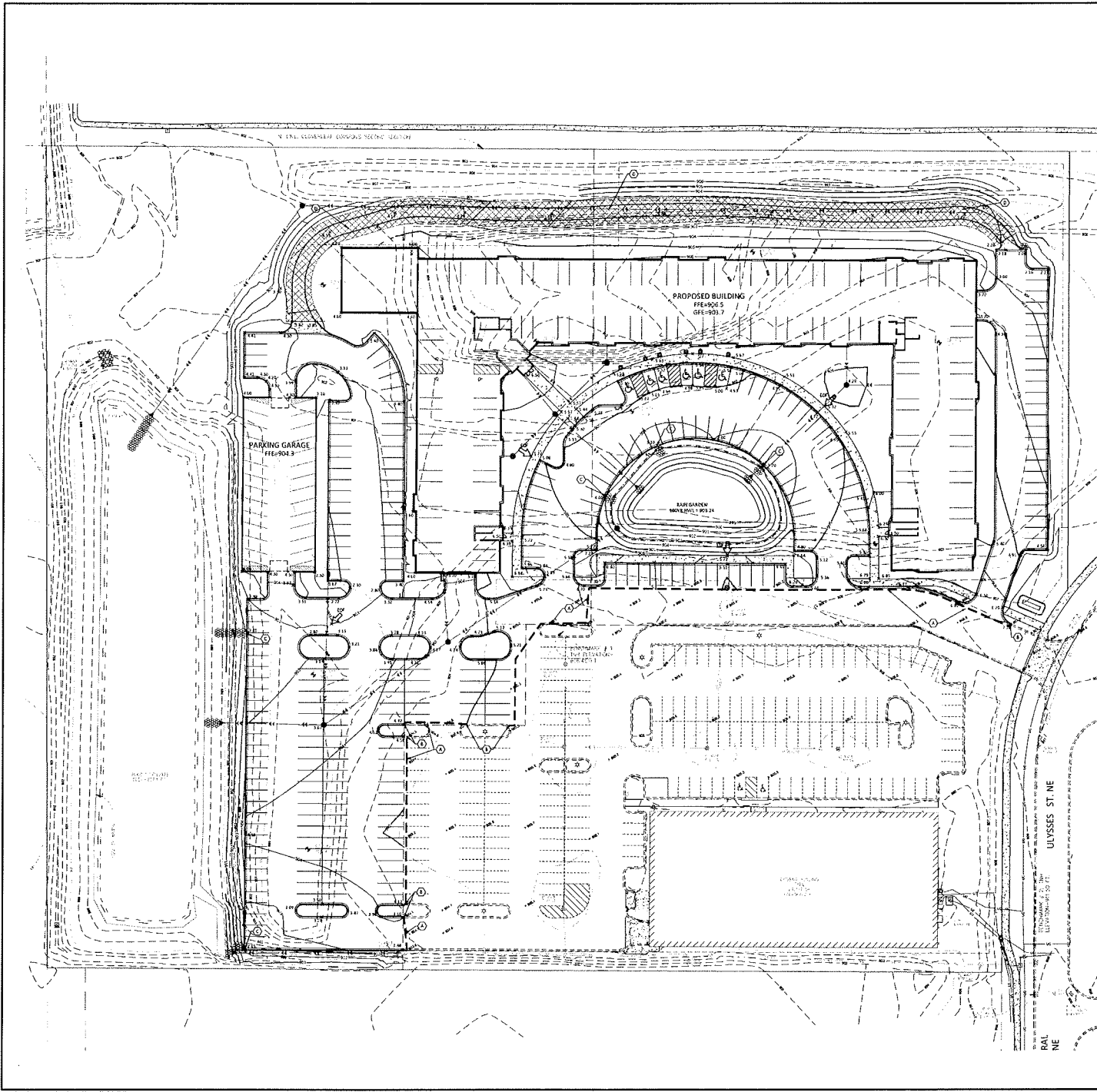
Summary
 Prepared by: [Name] Date: 08/05/2013
 Approved by: [Name] Date: 08/05/2013
 Please refer to the project location information.

Revision History
 No. Date By: [Name] / Revision
 1 08/05/2013 [Name]

Sheet Title
CIVIL SITE PLAN

Sheet No. Revision
C3.01 A

Project No. BAL19477



LEGEND

PROPOSED EXISTING

PRIORITY LIMIT
CURB & GUTTER
STORM SEWER
GRANITE
BUILDING
RETAINING WALL
OUTLOAD LIMITS
TIE LINE
SPOT ELEVATION
CONTOUR
P.P. R.P.
OVERFLOW ELEV.
SOIL BOUNDARY

- KEY NOTES**
- SHOW EXISTING UTILITIES AND MATCH EXISTING ELEVATION.
 - LOCATION OF UTILITY ELEVATION.
 - CURB CUT.
 - NET PAVE FRACTION SYSTEM SEE DETAIL C4.01.02.

GRADING NOTES

- PROPOSED CONTOURS ARE FOR FINISHED SURFACE ELEVATION. SPOT ELEVATIONS ARE FOR PROPOSED CUTS. CONOTE GUTTER GRADE.
- CONTRACTOR SHALL REVIEW PROPOSED GRADIENT AND CONDUIT "GUTTER CUT" WHERE WATER DRAINING AWAY FROM CURB. ALL OTHER AREAS SHALL CONFORM TO "GUTTER CUT" FORM.
- ALL GRADIENT ON SIDEWALKS ALONG THE ADA ROUTE SHALL HAVE A MAXIMUM LONGITUDINAL SLOPE OF SIX (6) PER CENT (6%) EXCEPT AT CURB RAMP (1:2) AND A MAXIMUM CROSS SLOPE OF 2.0% (1:50). THE MAXIMUM SLOPE PLAN OR SECTION ON ADA PARKING SHALL BE AS ACCESSIBLE AS POSSIBLE. THE CONTRACTOR SHALL REVIEW AND VERIFY THE GRADIENT IN THE FIELD ALONG THE ADA ROUTES PRIOR TO PAVING CONCRETE OR BITUMEN. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY IF THERE IS A DISCREPANCY BETWEEN THE GRADIENT IN THE FIELD VERSUS THE DESIGN GRADIENT.
- THE CONTRACTOR IS CAUTIONED THAT THE SURFACE UTILITIES INFORMATION SHOWN ON THESE PLANS IS A UTILITY QUANTITY LEVEL. THIS QUANTITY LEVEL WAS DETERMINED ACCORDING TO THE SOUNDINGS OF G.U. AND IS NOT A GUARANTEE OF THE DEPTH OR LOCATION OF THE UTILITY. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES BY CONDUCTING A UTILITY LOCATING SURVEY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR IDENTIFYING ALL UTILITIES AT 1:5 TO 1:100. THE CONTRACTOR AND/OR SUBCONTRACTOR SHALL BE RESPONSIBLE TO EXACTLY LOCATE AND PREPARE AND ALL UTILITIES UNDERGROUND AND OVERHEAD.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO ELUCIDATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED WORK AND/OR SHOWN ON THE PLANS.
- THE CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGES TO ADJACENT PROPERTIES DURING THE CONSTRUCTION PHASES OF THE PROJECT. THE CONTRACTOR SHALL BE HELD SOLELY RESPONSIBLE FOR ANY DAMAGES TO THE ADJACENT PROPERTY OCCURRING DURING THE CONSTRUCTION PHASES OF THE PROJECT.
- SAFETY WITHIN THE CONSTRUCTION AREA IS THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR ALL CONDITIONS ON THE JOB SITE. INCLUDING THE SAFETY OF ALL PERSONNEL AND PROPERTY OF THE ADJACENT PROPERTIES. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND SHALL BE RESPONSIBLE FOR THE SAFETY OF ALL PERSONNEL AND PROPERTY OF THE ADJACENT PROPERTIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY OF ALL PERSONNEL AND PROPERTY OF THE ADJACENT PROPERTIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY OF ALL PERSONNEL AND PROPERTY OF THE ADJACENT PROPERTIES.
- THE CONTRACTOR SHALL COMPLETE THE SITE GRADING CONSTRUCTION IN ACCORDANCE WITH THE REQUIREMENTS OF THE TOWN OF MINNESOTA. ALL SOIL TESTING SHALL BE COMPLETED BY THE OWNER'S SOIL ENGINEER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS AND INSPECTING WITH THE SOIL ENGINEER.

A GEOTECHNICAL ENGINEERING SOILS REPORT HAS BEEN COMPLETED BY:

COMPANY: BRAUNHART INC.
ADDRESS: 11003 HANNAH AVE. TORONTO, ONT. M2H 3G5
PHONE: 416-291-2200
DATED: 10-17-2013

THE CONTRACTOR SHALL OBTAIN A COPY OF THE SOILS REPORT.

THE CONTRACTOR SHALL COMPLETE DRAINAGE AS REQUIRED TO COMPLETE THE SITE GRADING CONSTRUCTION.

PRIOR TO PAYMENT OF THE ASSIGNMENT BASE, A TEST SOIL WILL BE REQUIRED ON THE STREET AND PARKING AREA. THE CONTRACTOR SHALL PROVIDE A 100MM SAND FILL TO THE TEST SOIL WITH A DEPTH OF 150MM. THE TEST SOILS SHALL BE AT THE INTERSECTION OF THE SOILS ENGINEER AND SHALL BE COMPLETED IN AREAS OUTLINED BY THE SAND FILL. THE SOILS ENGINEER SHALL DETERMINE WHETHER SECTION OF THE STREET OR PARKING AREA ARE USABLE. CONSTRUCTION OF THE SURROUNDING SOILS SHALL BE COMPLETED IN ACCORDANCE WITH THE REQUIREMENTS OF THE SOILS ENGINEER.

- REPLACE ALL SUBGRADE SOIL DISTURBED DURING THE CONSTRUCTION THAT MAY BECOME UNDESIRABLE AND WILL NOT PASS A TEST SOIL. REMOVE UNDESIRABLE SOIL FROM THE SITE AND IMPORT OUTSIDE SOIL AS NO ADJUSTMENT TO THE CONTOUR.
- THE TREES AND OTHER NATURAL VEGETATION WITHIN THE PROJECT AND/OR ADJACENT TO THE PROJECT ARE OF VARYING SIZE AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING THEM. TREES WHICH ARE TO BE REMOVED SHALL BE REMOVED PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL TREES AND OTHER NATURAL VEGETATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL TREES AND OTHER NATURAL VEGETATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL TREES AND OTHER NATURAL VEGETATION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL TREES AND OTHER NATURAL VEGETATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL TREES AND OTHER NATURAL VEGETATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL TREES AND OTHER NATURAL VEGETATION.
- FINISHED GRADING SHALL BE COMPLETED. THE CONTRACTOR SHALL UNFORMALLY GRADE AREAS WITHIN LIMITS OF GRADING INCLUDING EXISTING TRANSFER AREAS. PROVIDE A BAND OF FINISHED SURFACE WITHIN SPECIFIED TOLERANCES WITH UNIFORM LEVELS OR SLOPES BETWEEN POINTS WHERE ELEVATIONS ARE SHOWN, OR BETWEEN ELEVATIONS AND EXISTING GRADE. AREAS THAT HAVE BEEN FORMERLY GRADED SHALL BE PROTECTED FROM SUBSEQUENT CONSTRUCTION, TRAFFIC AND EROSION. REPAIR ALL AREAS THAT HAVE BECOME DISTURBED BY TRAFFIC OR EROSION BY USES OF THE SITE PRIOR TO THE CONSTRUCTION. ALL AREAS DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE RESTORED TO EQUAL OR BETTER THAN ORIGINAL CONDITION OR TO THE REQUIREMENTS OF THE NEW WORK.
- TOLERANCES
 - THE FINISHED SURFACE FINISHED SURFACE ELEVATION SHALL NOT VARY BY MORE THAN 10 FOOT ABOVE OR 10 FOOT BELOW THE PRESCRIBED ELEVATION FOR ANY POINT WHERE MEASUREMENT IS MADE.
 - THE STREET OR PARKING AREA FINISHED SURFACE ELEVATION SHALL NOT VARY BY MORE THAN 10 FOOT ABOVE OR 10 FOOT BELOW THE PRESCRIBED ELEVATION OF ANY POINT WHERE MEASUREMENT IS MADE.
 - AREAS WHICH ARE TO RECEIVE TOPSOIL SHALL BE GRADED TO WITHIN 10 FOOT ABOVE OR 10 FOOT BELOW THE PRESCRIBED ELEVATION, UNLESS SPECIFIED OTHERWISE BY THE ENGINEER.
 - TOPSOIL SHALL BE CALIBERED BY PILES OR SAMPLES TO THE DEPTH OF THE SPECIFIED TOLERANCES.
 - AFTER THE SITE GRADING IS COMPLETED, IN CASE OF A SHORTAGE OF SOIL MATERIAL ON SITE, THE CONTRACTOR SHALL TRANSPORT ALL EXCESS SOIL MATERIAL OFF THE SITE TO AN AREA SELECTED BY THE CONTRACTOR, OR IMPORT SUFFICIENT MATERIAL TO THE SITE.
 - THE CONTRACTOR SHALL DETERMINE THE LOCATION OF ALL SHAUL BODIES THAT MAY BE REQUIRED TO COMPLETE THE SITE GRADING CONSTRUCTION AND SHALL LOCATE AND MARK THEM AND REPORT TO THE ENGINEER. THE CONTRACTOR SHALL COMPLY WITH THE REQUIREMENTS OF THE TOWN OF MINNESOTA AND COMPLY WITH ALL CONSTRUCTION WHICH ARE REQUIRED BY EACH GOVERNING AGENCY OF EACH LOCALITY.
 - ALL FILL PLACED WITHIN THE BUILDING PAD AREAS SHALL BE IN CONFORMANCE WITH HEALTHY PRACTICES AND DATA SHEET 190.
 - IF THE CONTRACTOR ENCOUNTERS ANY OBSTACLES WITHIN THE SITE, HE OR SHE SHALL NOTIFY THE ENGINEER WITH THE LOCATION, SIZE, DEPTH AND IF THE TOLERANCE IS 4 FT OR MORE, NO ACTIVE DRAIN LINE SHALL BE BARRICADED WITHOUT 48 HOUR NOTICE AND APPROVAL FROM THE PROJECT ENGINEER.

Certification

I hereby certify that this plan, specification and report was prepared by me or under my direct supervision and that I am a duly licensed professional engineer in the state of Minnesota.

[Signature]
11/13/2013 10:43 AM Date: 11/13/2013
11/13/2013 10:43 AM Date: 11/13/2013

Summary

Project No.: BAL19477
Approved: [Signature]
E-mail: [Email]
Phone: 416-291-2200
Fax: 416-291-2200

Revision History

No.	Date	By	Submitted / Revision
1	11/13/2013	SPM	REVISED PLAN
2	11/13/2013	SPM	REVISED PLAN
3	11/13/2013	SPM	REVISED PLAN
4	11/13/2013	SPM	REVISED PLAN
5	11/13/2013	SPM	REVISED PLAN

Sheet Title
GRADING AND DRAINAGE PLAN

Sheet No. Revision
C4.01 F

Project No. BAL19477

mfra

1800 23rd Ave. S. Ste. 10
Minnetonka, Minnesota 55347
763-478-8810
763-478-8827
www.mfra.com

Client
BALDWIN PARTNERS I, LLC
3120 WOODBURY DRIVE, STE. 100
WOODBURY, MN 55124

Project
BLAINE APARTMENTS

Location
BLAINE, MINNESOTA
ULYSSES STREET

Certification

I hereby certify that this plan, specification and report was prepared by me or under my direct supervision and that I am a duly licensed professional engineer in the state of Minnesota.

[Signature]
11/13/2013 10:43 AM Date: 11/13/2013
11/13/2013 10:43 AM Date: 11/13/2013

Summary

Project No.: BAL19477
Approved: [Signature]
E-mail: [Email]
Phone: 416-291-2200
Fax: 416-291-2200

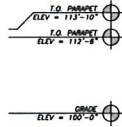
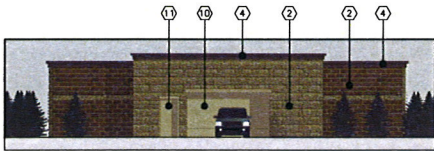
Revision History

No.	Date	By	Submitted / Revision
1	11/13/2013	SPM	REVISED PLAN
2	11/13/2013	SPM	REVISED PLAN
3	11/13/2013	SPM	REVISED PLAN
4	11/13/2013	SPM	REVISED PLAN
5	11/13/2013	SPM	REVISED PLAN

Sheet Title
GRADING AND DRAINAGE PLAN

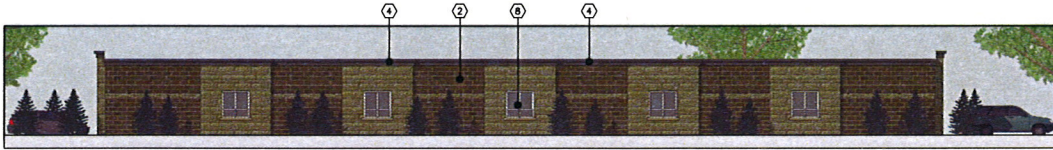
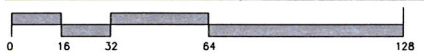
Sheet No. Revision
C4.01 F

Project No. BAL19477

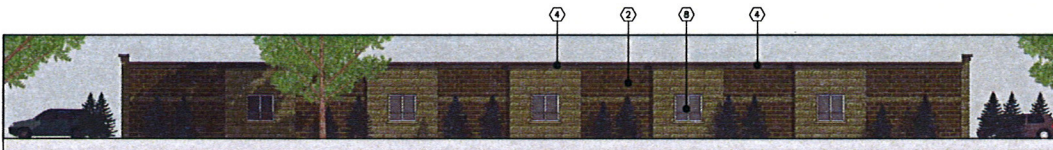


KEY NOTES		
① BRICK	④ PREFINISHED METAL TRIM	⑦ PATIO DOORS
② DECORATIVE C.M.U.	⑤ ALUM. DECK SYSTEM	⑧ SINGLE HUNG WINDOWS
③ FIBER-CEMENT PANEL SIDING	⑥ GLASS/ALUM STOREFRONT	⑨ MECHANICAL LOUVERS
		⑩ INSULATED OVERHEAD DOOR
		⑪ HOLLOW METAL DOOR

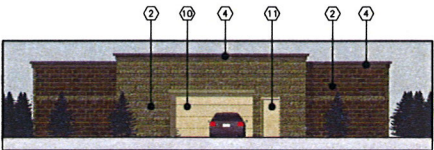
NORTH ELEVATION



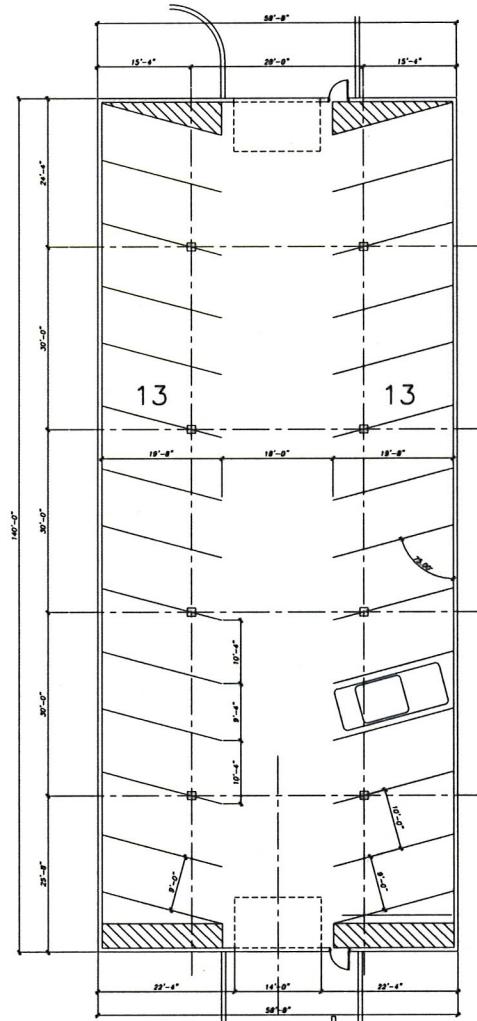
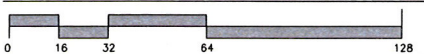
EAST ELEVATION



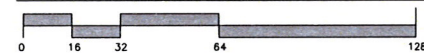
WEST ELEVATION



SOUTH ELEVATION



GARAGE PLAN



CERTIFICATION	
I, DAVID J. HANSEN , being duly sworn, depose and say that I am the author of the above drawings and specifications, and that I am a duly Licensed Professional Engineer in the State of Minnesota, License No. 0000000000 . My commission expires on 12/31/2014 . Executed on this 14 day of DEC , 2013. At the City of Blaine, Minnesota . Signature: DAVID J. HANSEN Title: Professional Engineer	I, DAVID J. HANSEN , being duly sworn, depose and say that I am the author of the above drawings and specifications, and that I am a duly Licensed Professional Engineer in the State of Minnesota, License No. 0000000000 . My commission expires on 12/31/2014 . Executed on this 14 day of DEC , 2013. At the City of Blaine, Minnesota . Signature: DAVID J. HANSEN Title: Professional Engineer

PROPOSED
BLAINE APARTMENTS
 BLAINE, MINNESOTA

REVISIONS	
▲	City Approval 10.02.2013
▲	City Approval 1.11.2013
▲	City Approval 2.13.2014
▲	City Approval 3.13.2014
▲	City Approval 4.13.2014

PRELIMINARY GARAGE ELEVATIONS

<input checked="" type="checkbox"/> PRELIMINARY SET FOR CONSTRUCTION	DATE 14 DEC 2013
<input type="checkbox"/> PERMIT/ASB SET	A21
<input type="checkbox"/> CONSTRUCTION SET	PROJECT NO. 071102
<input type="checkbox"/> AS-BUILT SET	
<input type="checkbox"/> NOT TO SCALE	



Blaine Apartments – Blaine, MN





Blaine Apartments – Blaine, MN





Blaine Apartments – Blaine, MN

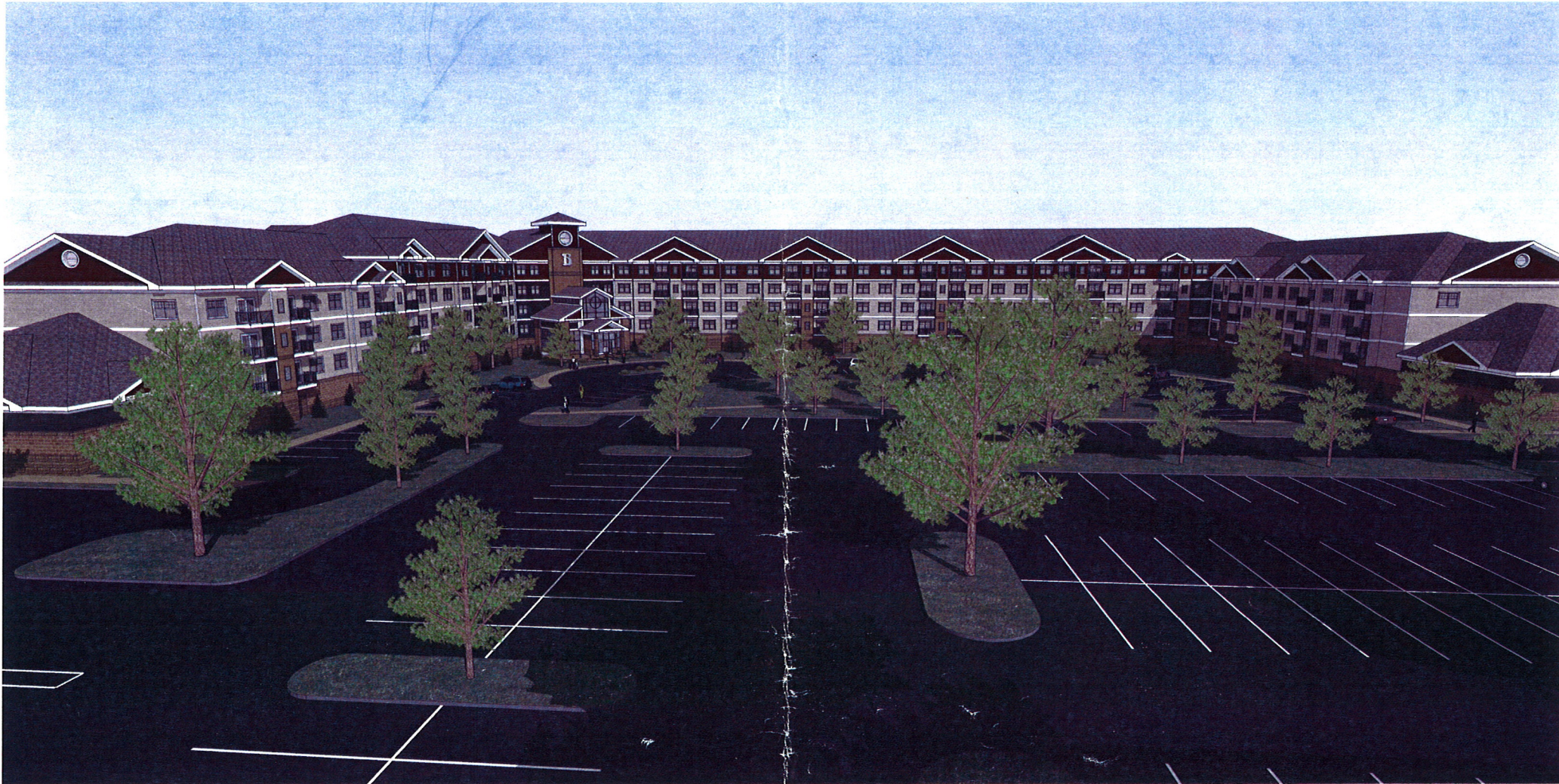




Blaine Apartments – Blaine, MN

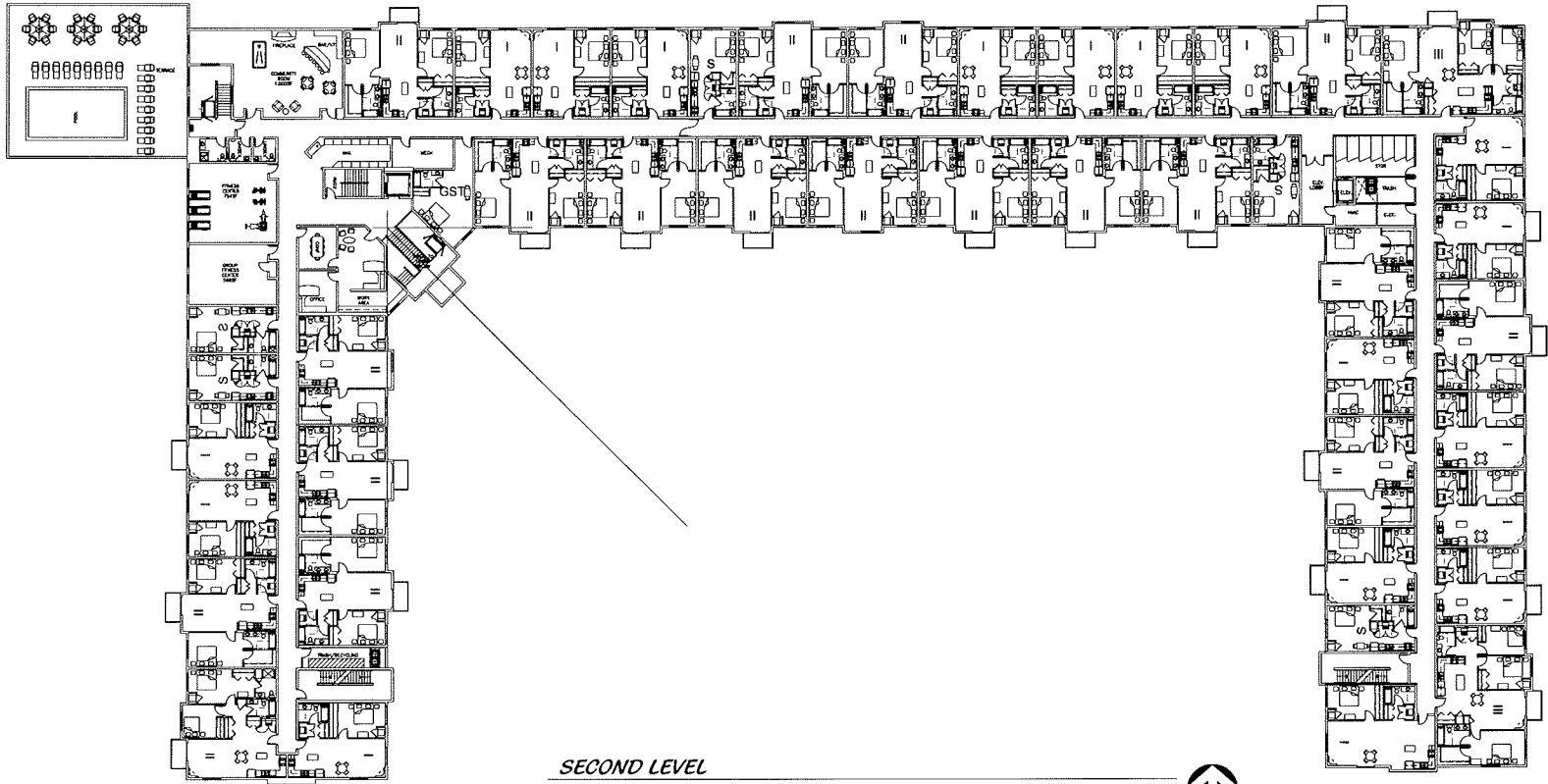


Previous Elevations 2013



Blaine Apartments – Blaine, MN





SECOND LEVEL



CERTIFICATION
 I, the undersigned, certify that I am a duly Licensed Professional Engineer in the State of Minnesota, License No. 10000, and that I am the author of the design and construction documents herein.
 Date: 12/7/2012
 Signature: [Signature]

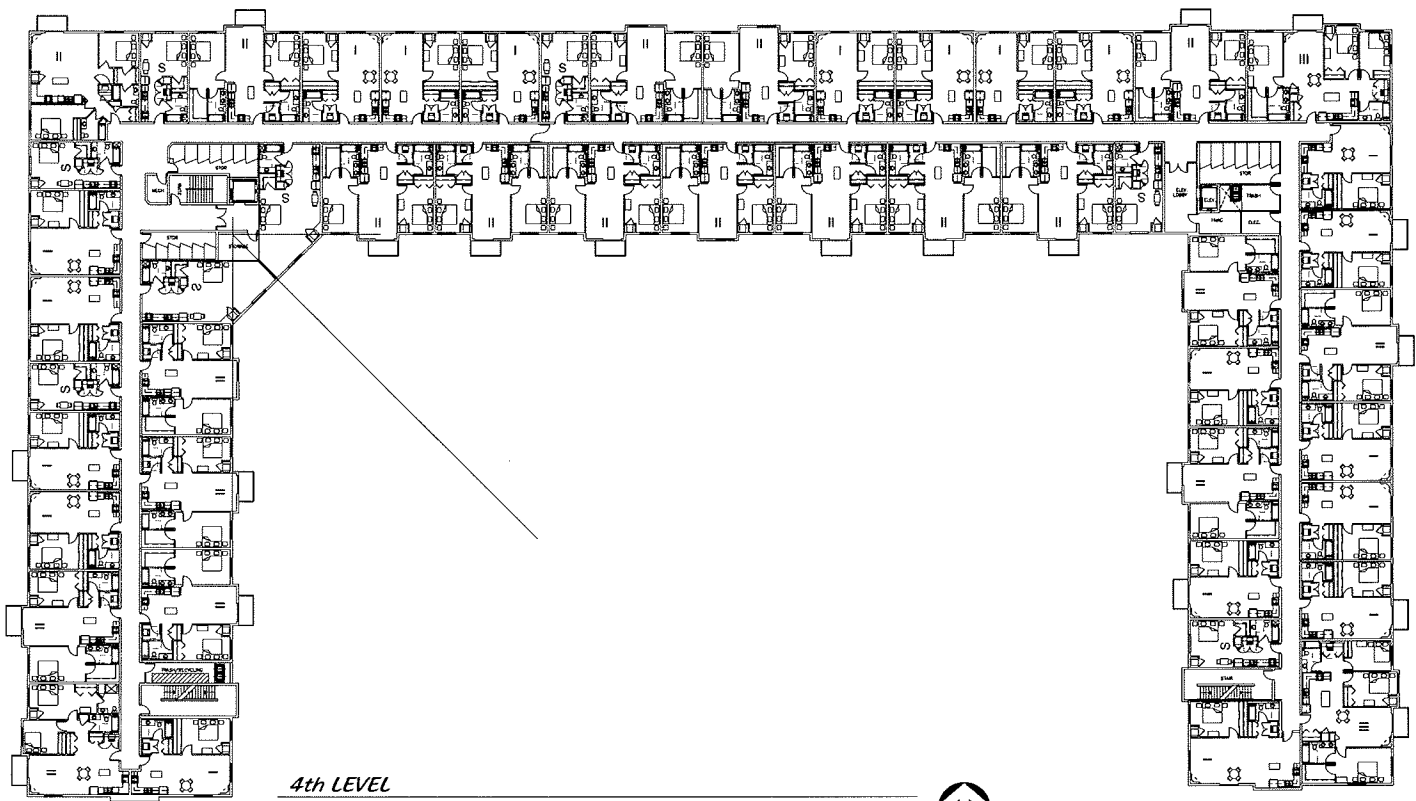
**PROPOSED
 BLAINE APARTMENTS
 BLAINE, MINNESOTA**

- REVISIONS**
- △ City Submittal 12/27/2012
 - △ City Comments 1/11/2013
 - △ City Submittal # 2/12/2014
 - △ City Submittal # 2/13/2014
 - △ City Submittal # 2/27/2014
 - △
 - △
 - △
 - △
 - △
 - △

**PRELIMINARY
 2ND FLOOR PLAN**

PRELIMINARY/NOT FOR CONSTRUCTION
 POWER/NO SET
 CONSTRUCTION SET
 AS-BUILT SET
 NOT TO SCALE

DATE: 12.7.2012
A1.1
 PROJECT NO: 07102



4th LEVEL



AMCON
 COMMERCIAL CONSTRUCTION SERVICES | LIMITED LIABILITY COMPANY
 10000 UNIVERSITY AVENUE, SUITE 1000, BLAINE, MN 55425
 PHONE: 763.439.9000 FAX: 763.439.9000

CERTIFICATION
 I, the undersigned, certify that the information provided in this document is true and correct to the best of my knowledge and belief.
 Date: 12/7/2012
 Signature: [Signature]
 Title: [Title]

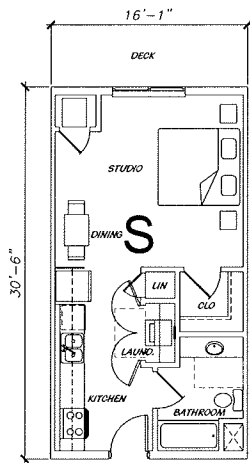
PROPOSED
BLAINE APARTMENTS
 BLAINE, MINNESOTA

REVISIONS
 City Submittal 12.07.2012
 City Comments 1.11.2013
 City Submittal 1.13.2013
 City Submittal 1.13.2013
 City Submittal 1.13.2013
 City Submittal 1.13.2013

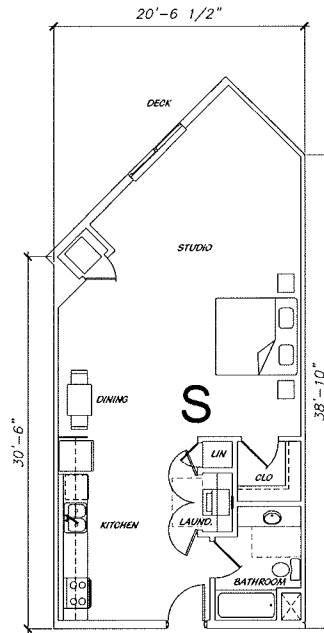
PRELIMINARY
4TH FLOOR PLAN

PRELIMINARY/NOT FOR CONSTRUCTION
 POWER/ME SET
 CONSTRUCTION SET
 AS-BUILT SET
 NOT TO SCALE

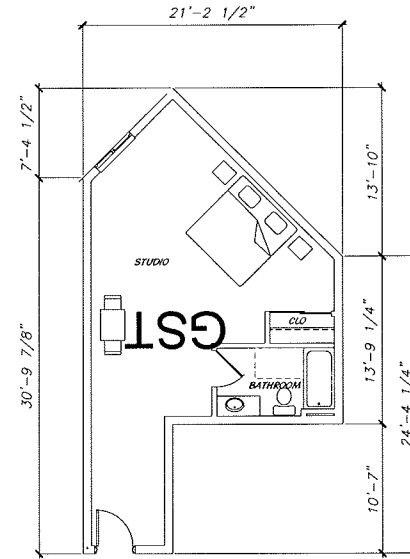
DATE: 12.7.2012
A13
 PROJECT NO. 07102



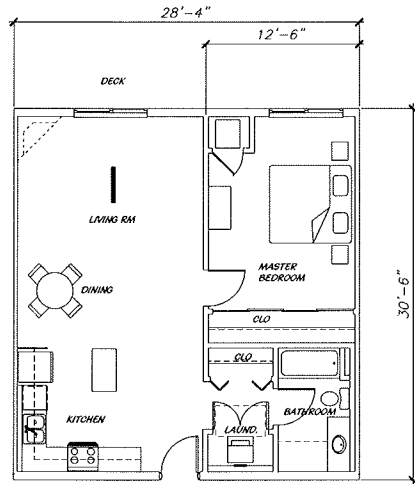
STUDIO A
STUDIO, 1 BATH
APPROX. 450 SF



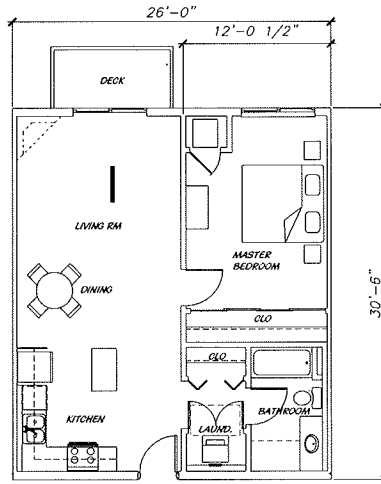
STUDIO B
STUDIO, 1 BATH
APPROX. 748 SF



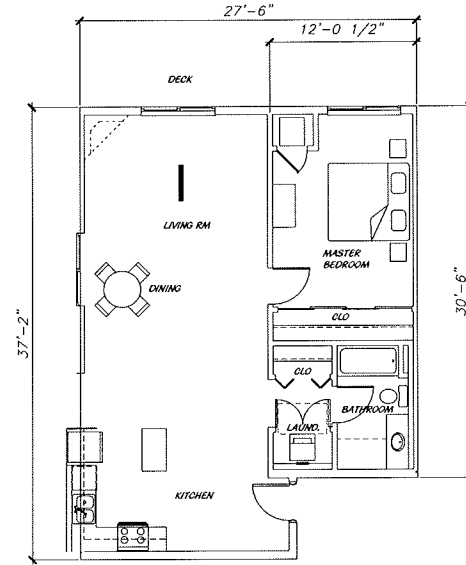
GUEST ROOM
STUDIO, 1 BATH
APPROX. 470 SF



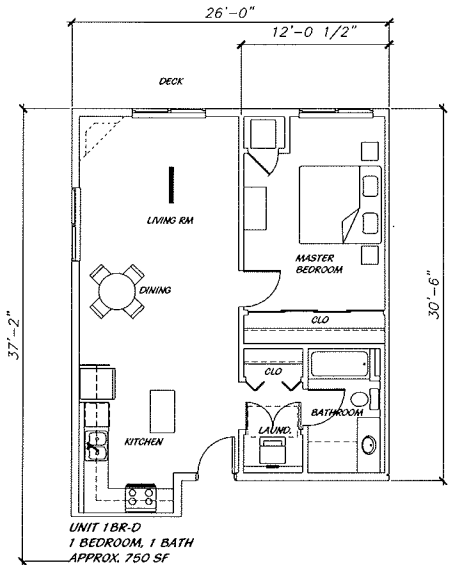
UNIT 1BR-A
1 BEDROOM, 1 BATH
APPROX. 805 SF



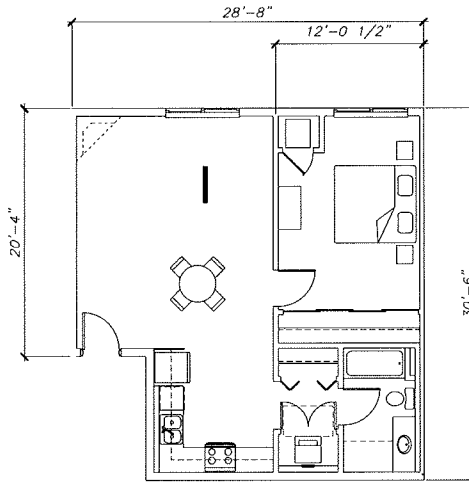
UNIT 1BR-B
1 BEDROOM, 1 BATH
APPROX. 805 SF



UNIT 1BR-C
1 BEDROOM, 1 BATH
APPROX. 890 SF



UNIT 1BR-D
1 BEDROOM, 1 BATH
APPROX. 750 SF



UNIT 1BR-E
1 BEDROOM, 1 BATH
APPROX. 750 SF



CERTIFICATION
I, the undersigned, certify that I am a duly licensed professional architect in the State of Minnesota, and that I am the author of the architectural drawings herein. I am not providing these drawings for the purpose of construction of any building or structure without the approval of the appropriate authority. I am not providing these drawings for the purpose of construction of any building or structure without the approval of the appropriate authority.

DATE: 12/12/13
DRAWN BY: JLD
CHECKED BY: JLD
SCALE: AS SHOWN

PROPOSED
BLAINE APARTMENTS
BLAINE, MINNESOTA

- REVISIONS**
- ▲ City Schedule 1/27/2013
 - ▲ City Comments 1/11/2013
 - ▲ City Schedule 1/13/2013
 - ▲ City Comments 2/13/2013
 - ▲ City Schedule 2/27/2013

PRELIMINARY
UNIT PLANS

- PRELIMINARY/NOT FOR CONSTRUCTION
- POWER/NO SET
- CONSTRUCTION SET
- AS-BUILT SET
- NOT TO SCALE

DATE
14 DEC 2013

A3.1

PROJECT NO.
D7102

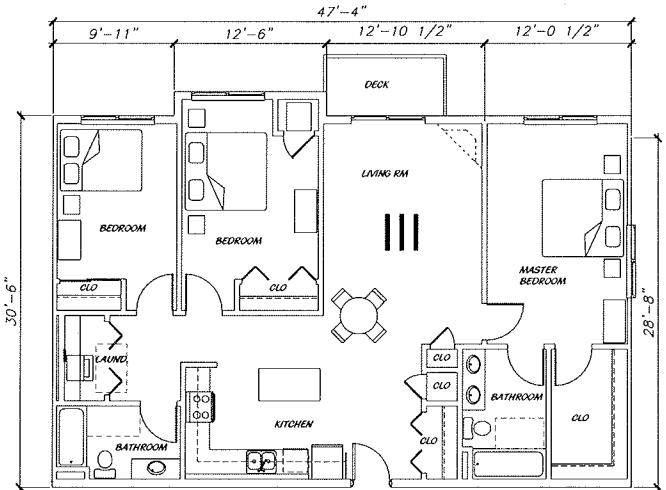
PROPOSED
BLAINE APARTMENTS
 BLAINE, MINNESOTA

- REVISIONS**
- ▲ City Schedule 12/17/2013
 - ▲ City Comments 11/12/13
 - ▲ City Schedule 8/13/2013
 - ▲ City Comments 8/13/2013
 - ▲ City Schedule 8/13/2013
 - ▲ City Comments 8/13/2013

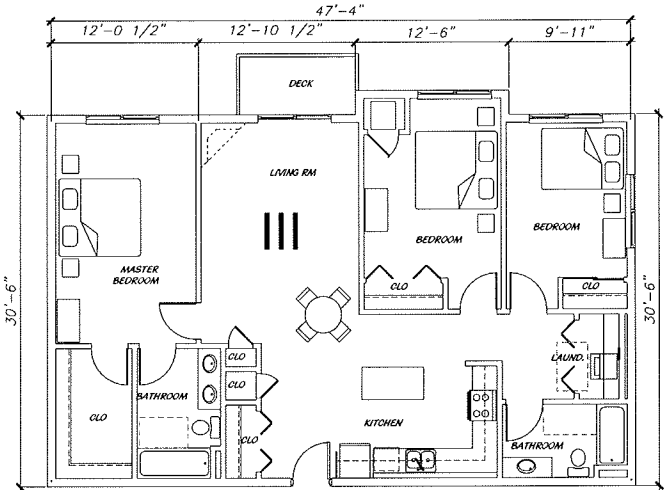
PRELIMINARY
UNIT PLANS

DATE
 14 DEC 2013
A33
PROJECT NO.
 07102

- PRELIMINARY/NOT FOR CONSTRUCTION
 POWER/NO SET
 CONSTRUCTION SET
 AS-BUILT SET
 NOT TO SCALE



UNIT 3BR-A
 3 BEDROOM, 2 BATH
 APPROX. 1383 SF



UNIT 3BR-B
 3 BEDROOM, 2 BATH
 APPROX. 1383 SF