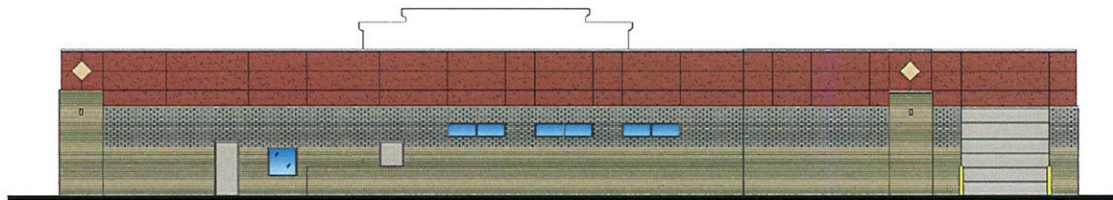


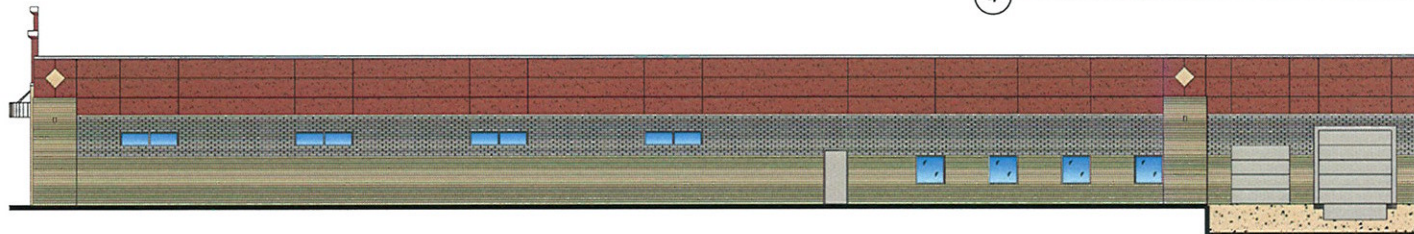
Case File No. 15-0019

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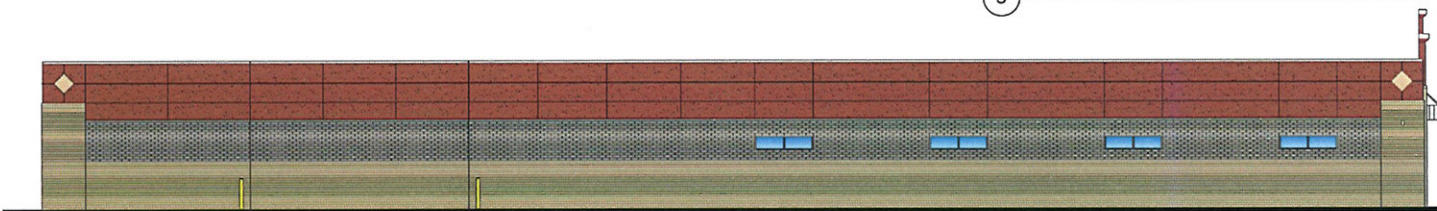




4 SOUTHEAST ELEVATION



3 SOUTHWEST ELEVATION



2 NORTHEAST ELEVATION



1 NORTHWEST ELEVATION

SIGNAGE BY TENANT
 PREFINISHED FLUSH SEAM
 METAL PANEL CANOPY

- PREFINISHED METAL CAP FLASHING
- EIFS COLOR 1
- EIFS DETAIL - COLOR 2
- UTILITY FACE BRICK COLOR 2
- UTILITY FACE BRICK COLOR 1
- 1" INSULATED ALUMINUM GLAZING

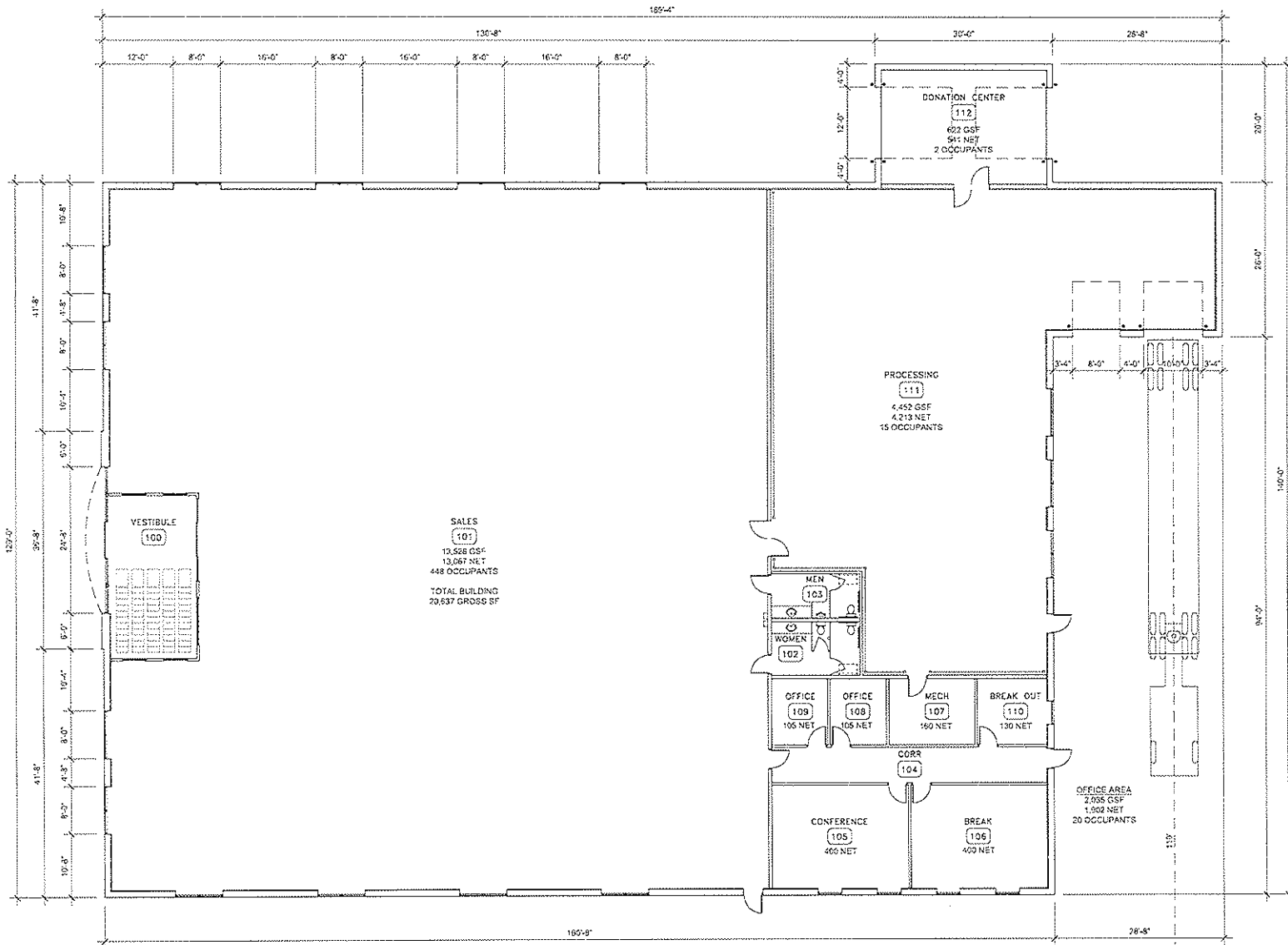
GOODWILL

Blaine, Minnesota

3-13-2015

Exterior Elevations

15-021



A1 FLOOR PLAN
 1/8" = 1'-0"



DJR
 ARCHITECTURE, INC.
 333 Main Street, Suite 210
 Boston, MA 02126
 Tel: 617.552.1234
 Fax: 617.552.1235
 www.djr.com

PRELIMINARY - NOT FOR CONSTRUCTION

GOODWILL

Project: 15-011
 Date: 3/12/15
 Scale: 1/8" = 1'-0"
 Drawing: 01
 Designer: JN

A100

March 13, 2015

PROJECT NARRATIVE

SUBJECT: Application for Conditional Use Permit for Outlots B and C, Ball Road Addition, Anoka County, MN

PROJECT: A Proposed Retail Building for Use as a Goodwill Store

PROJECT DESCRIPTION:

The proposed project is a one-story approximately 20,637 SF retail building for use as a Goodwill store. The building will be privately developed and owned. It will be leased to Goodwill. It will be constructed Outlots B and C of the Ball Road Addition, near 35W & Lexington Avenue North. Hours of operation will be 9-9 Monday thru Friday, 9-6 Saturday, 11-6 Sunday, with donations open one hour earlier each day.

SITE DESIGN:

The building is located at the north quadrant of Ball Road and the Walmart entrance (near the former Ball Road intersection with Hupp Street). It meets the minimum setbacks as required by the Planned Business District zoning district requirements with parking and loading located to the west and north. Parking for cars is provided on-site. The parking requirement for the Goodwill store is 103 spaces. The building includes an inside donation drop off located on the northeast side with circulation and queuing for 7-10 cars. Donations are received inside during store hours and a night drop is also located on the north side of the donation center.

Two dock doors are provided on the southwest face of the southeast side; one is used for a semi-trailer which remains parked for up to one week. This trailer is filled with goods to be recycled. Approximately once a week it is removed and replaced with a new trailer. The other dock space is used for a trash compactor. The dock area is located behind the building and will also have a masonry wall to screen it from the southeast. The site has been carefully designed to preserve a large area of existing, mature trees to serve as a buffer between the site and the residents to the south and east of Ball Road. In addition to these preserved trees, new landscaping including trees, shrubs and perennial flowers is provided throughout and particularly focused along the perimeter of the site.

SITE LIGHTING:

Pole mounted cut off shoe box fixtures are provided at the parking lot. In addition, decorative wall pack fixtures are provided at street and entry sides on the building. A photometric plan is provided.

BUILDING DESIGN:

The exterior of the building is a combination of brick and stucco in earth tone colors. A light tan brick base and columns with a terra cotta colored EIFS top are separated by a middle section of grey brick. There are windows on all four sides of the building, some high for daylighting of the sales and processing areas within. Canopies and raised parapets are provided above the entry, and columns project 4" beyond the face of the building's entry facade. The brick and EIFS materials are provided on all 4 sides of the building. We are requesting flexibility with regard to EIFS being used in place of stucco, as EIFS areas are 12' above grade and the two different brick areas and glass exceeds the overlay district's required 50% of all four facades.

BUILDING INTERIOR:

The interior layout will consist of approximately 13,528 SF for retail sales, 4,452 SF for processing and sorting of donated goods and 2,035 SF for office and staff break room areas. Goods are received at the donation center, sorted for resale at this location or placed in a trailer to be shipped to one of Goodwill's distribution centers in Brooklyn Park or St. Paul for recycling. Almost nothing ends up being disposed of in a landfill. The facility will employ approximately 40 people with a minimum of 15 staff working in the store.

The retail spaces feature open white painted ceiling and structure, brightly painted exterior walls and stained concrete floors. Goodwill stores are designed to be very energy efficient and all new stores achieve energy-star certification.

SIGNAGE:

Building signage is proposed above the entry as shown on the drawings. Signage will be internally illuminated individual letter signs. Goodwill will also have signage on a future Walmart interstate-facing sign (not on this outlot).

GOODWILL BACKGROUND:

For 110 years Goodwill Industries has been a leader and innovator in the practice of retail reuse and repurposing. Proceeds from the retail stores provide the main fundraising source for the Goodwill organizations career training and counseling programs worldwide. Goodwill's mission is to help people overcome barriers to employment and they provide training, job placement and continuing support to help the individuals become productive members of the workforce. The success of the stores is primarily based on receiving high quality donated goods for resale at the stores where they are received. Thus Goodwill's goal is to locate their new stores in desirable communities and neighborhoods. This location in Blaine is an ideal location to fulfill this goal.

Respectfully,

Vince Driessen