

**Case File No. 13-0047**



# PRELIMINARY PLAT

~of~ HENNUM MEADOWS SOUTH  
 ~for~ Dan Hennum  
 10209 Jackson Street NE  
 Blaine, Mn 55434  
 (763) 464-3139

## PROPERTY DESCRIPTION

Outlot A, RUDNITSKI ADDITION, and Outlot A RUDNITSKI 2ND ADDITION, and the south 110 feet of the east 350 feet of the south half of Lot 23 GREEN ACRES ADDITION, Anoka County, Minnesota. Subject to easements of record.

## AREA COMPUTATIONS

TOTAL AREA SITE AREA: 4.35± ACRES  
 12 PROPOSED SINGLE FAMILY LOTS  
 DENSITY: 2.76± UNITS/ACRE

## ZONING AND SETBACKS

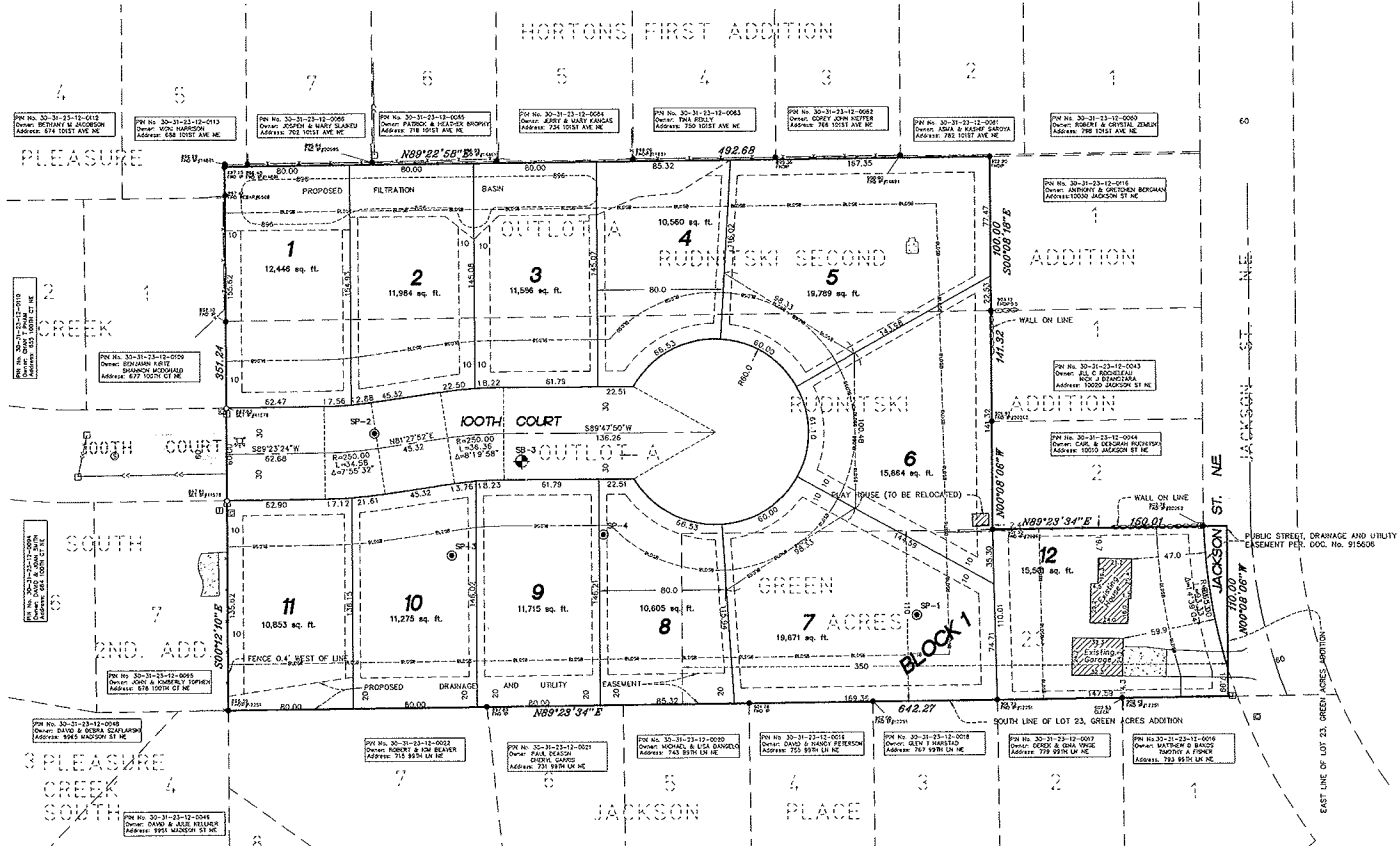
CURRENT ZONING IS R-1 SINGLE FAMILY  
 PROPOSED ZONING R-1 SINGLE FAMILY

FRONT SETBACK 30 FEET  
 HOUSE SIDE SETBACK (INTERIOR) 10 FEET  
 GARAGE SIDE SETBACK (INTERIOR) 5 FEET  
 REAR SETBACK 30 FEET  
 SIDE STREET SETBACK 20 FEET

DEVELOPMENT REQUIREMENTS FOR ZONE R1 (SINGLE FAMILY RESIDENTIAL)  
 MINIMUM LOT AREA 10,000 S.F.  
 MINIMUM LOT WIDTH 80 FEET AT SETBACK LINE  
 MINIMUM STREET FRONTAGE 80 FEET  
 MINIMUM LOT DEPTH 125 FEET

## NOTES

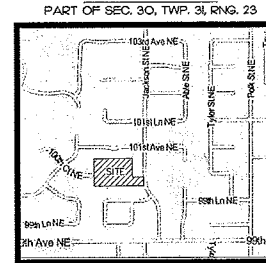
- Property address is 10000 Jackson Street N.E.
- PIN No. 30-31-23-12-0118  
30-31-23-12-0003
- Field survey was completed by E.O. Rud and Sons, Inc. on 06/01/13.
- Bearings shown are assumed.
- Curb shots are taken at the top and back of curb.
- This survey was prepared without the benefit of title work. Additional easements, restrictions and/or encumbrances may exist other than those shown hereon. Survey subject to revision upon receipt of a current title commitment or an attorney's title opinion.
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- See Preliminary Tree Inventory and Tree Removal Plan for tree size and species.



## LEGEND

- DENOTES IRON MONUMENT FOUND AS LABELED
- DENOTES IRON MONUMENT SET, MARKED RLS# 41578
- DENOTES CATCH BASIN
- ⊙ DENOTES SANITARY SEWER MANHOLE
- ⊕ DENOTES HYDRANT
- ⊠ DENOTES ELECTRICAL BOX
- ⊞ DENOTES TELEPHONE PEDESTAL
- ⊚ DENOTES CABLE PEDESTAL
- DENOTES FENCE
- DENOTES RETAINING WALL
- DENOTES EXISTING SANITARY SEWER
- DENOTES EXISTING STORM SEWER
- DENOTES EXISTING WATER MAIN
- DENOTES BITUMINOUS SURFACE
- DENOTES CONCRETE SURFACE
- SP-1 DENOTES SOIL BORING DONE BY HAUGO TECHNICAL SERVICES ON 6-2013
- SP-2 DENOTES SOIL SAMPLE POINTS DONE BY WAYNE JACOBSON ENVIRONMENTAL, PLLC ON 6-2013
- SP-3 DENOTES BUILDING SETBACK LINE
- SP-4 DENOTES ADJACENT PARCEL OWNER INFORMATION (PER ANOKA COUNTY GIS INFORMATION)

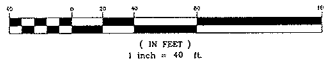
## VICINITY MAP



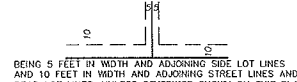
ANOKA COUNTY, MINNESOTA  
 (NO SCALE)

NORTH

GRAPHIC SCALE



DRAINAGE AND UTILITY EASEMENTS ARE SHOWN THUS:



BEING 5 FEET IN WIDTH AND ADJOINING SIDE LOT LINES AND 10 FEET IN WIDTH AND ADJOINING STREET LINES AND REAR LOT LINES, UNLESS OTHERWISE SHOWN ON THIS PLAT.

I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Registered Land Surveyor under the laws of the State of Minnesota.

JASON E. RUD  
 Date: 07/12/2013 License No. 41578

DRAWN BY: MAUD	JOB NO: 13011PP	DATE: 7-12-13
CHECK BY: JER	SCANNED	
1		
2		
3		
NO.	DATE	DESCRIPTION

**E. G. RUD & SONS, INC.**  
 Professional Land Surveyors  
 6776 Lake Drive NE, Suite 110  
 Lino Lakes, MN 55014  
 Tel. (651) 361-8200 Fax (651) 361-8701

# CERTIFICATE OF SURVEY

~of~ HENNUM MEADOWS SOUTH  
 ~for~ Dan Hennum  
 10209 Jackson Street NE  
 Blaine, Mn 55434  
 (763) 464-3139

## PROPERTY DESCRIPTION

Outlot A, RUDNITSKI ADDITION, and Outlot A RUDNITSKI 2ND ADDITION, and the south 110 feet of the east 350 feet of the south half of Lot 23 GREEN ACRES ADDITION, Anoka, County, Minnesota. Subject to easements of records.

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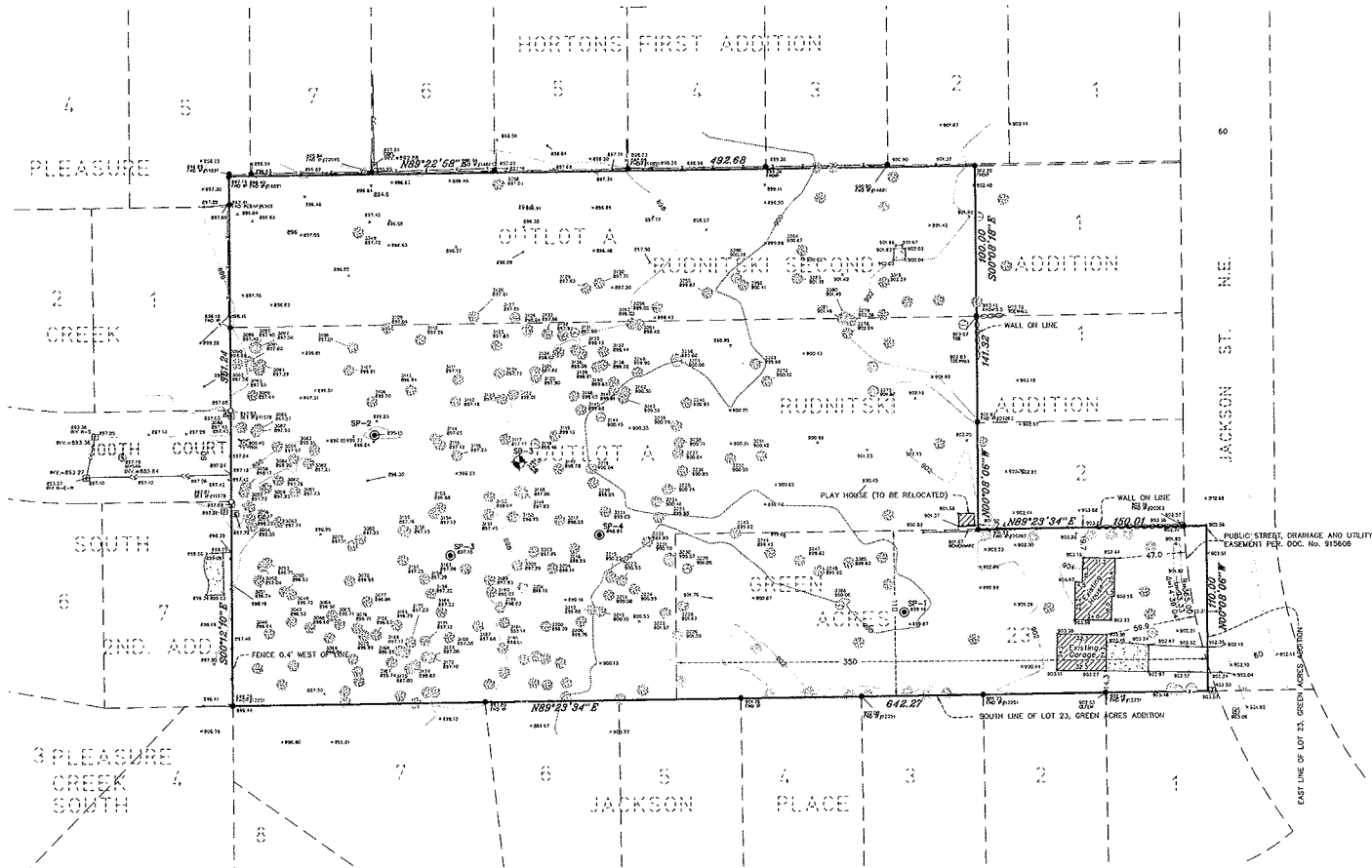
- DENOTES IRON MONUMENT FOUND AS LABELED
- DENOTES IRON MONUMENT SET, MARKED RLS# 41578
- DENOTES CATCH BASIN
- ⊙ DENOTES SANITARY SEWER MANHOLE
- ⊕ DENOTES HYDRANT
- ⊠ DENOTES ELECTRICAL BOX
- Ⓣ DENOTES TELEPHONE PEDESTAL
- Ⓢ DENOTES CABLE PEDESTAL
- DENOTES FENCE
- DENOTES RETAINING WALL
- DENOTES EXISTING SANITARY SEWER
- DENOTES EXISTING STORM SEWER
- DENOTES EXISTING WATER MAIN
- DENOTES EXISTING CONTOURS (2 FOOT INTERVAL)
- DENOTES BITUMINOUS SURFACE
- DENOTES CONCRETE SURFACE
- SB-3 DENOTES SOIL BORING DONE BY HAUGO TECHNICAL SERVICES ON 6-2013
- SP-3 DENOTES SOIL SAMPLE POINTS DONE BY WAYNE JACOBSON ENVIRONMENTAL, PLLC ON 6-2013

## NOTES

- Property address is 10000 Jackson Street N.E.
- PIN No. 30-31-23-12-0118  
30-31-23-12-0003
- Field survey was completed by E.G. Rud and Sons, Inc. on 06/01/13.
- Bearings shown are assumed.
- Curb shots are taken of the top and back of curb.
- This survey was prepared without the benefit of title work. Additional easements, restrictions and/or encumbrances may exist other than those shown hereon. Survey subject to revision upon receipt of a current title commitment or an attorney's title opinion.
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- See Preliminary Tree Inventory and Tree Removal Plan for tree size and species.

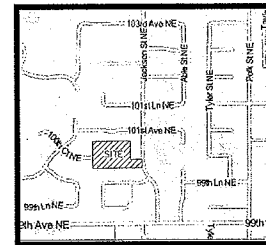
**E. G. RUD & SONS, INC.**  
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 Lino Lakes, MN 55014  
 Tel. (651) 361-8200 Fax (651) 361-8701

www.egrud.com



## VICINITY MAP

PART OF SEC. 30, TWP. 31, RNG. 23



I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Registered Land Surveyor under the laws of the State of Minnesota.

JASON E. RUD  
 Date: 07/12/2013 License No. 41578

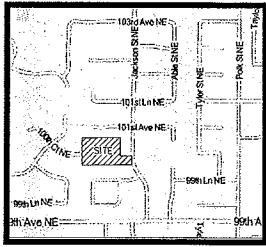
DRAWN BY: AUD	JOB NO: 13374PP	DATE: 7-12-13	
CHECK BY: JER	SCANNED		
1			
2			
3			
NO.	DATE	DESCRIPTION	BY

# PRELIMINARY GRADING AND EROSION CONTROL PLAN

~of~ HENNUM MEADOWS SOUTH  
 ~for~ Dan Hennum  
 10209 Jackson Street NE  
 Blaine, Mn 55434  
 (763) 464-3139

## VICINITY MAP

PART OF SEC. 30, TWP. 31, RING. 23



ANOKA COUNTY, MINNESOTA  
(NO SCALE)

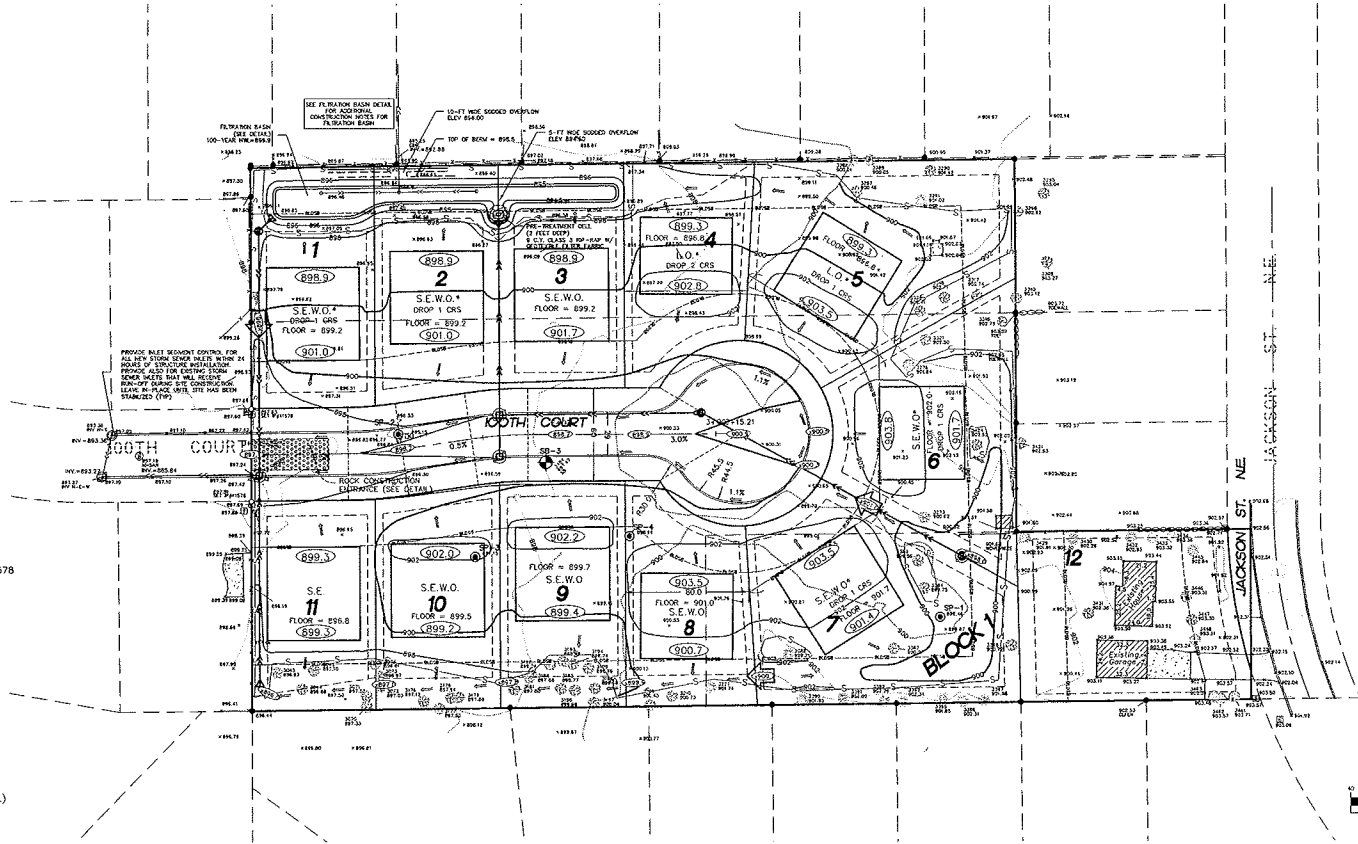
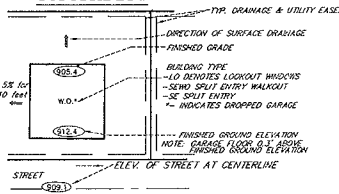
## LEGEND

- DENOTES IRON MONUMENT FOUND AS LABELED
- DENOTES IRON MONUMENT SET, MARKED RLS# 41578
- DENOTES EXISTING SPOT ELEVATION
- DENOTES PROPOSED SPOT ELEVATION
- DENOTES DIRECTION OF DRAINAGE
- DENOTES CATCH BASIN
- DENOTES SANITARY SEWER MANHOLE
- DENOTES HYDRANT
- DENOTES ELECTRICAL BOX
- DENOTES TELEPHONE PEDESTAL
- DENOTES CABLE PEDESTAL
- DENOTES FENCE
- DENOTES RETAINING WALL
- DENOTES EXISTING SANITARY SEWER
- DENOTES EXISTING STORM SEWER
- DENOTES EXISTING WATER MAIN
- DENOTES PROPOSED STORM SEWER
- DENOTES EXISTING CONTOURS (2 FOOT INTERVAL)
- DENOTES PROPOSED CONTOURS (2 FOOT INTERVAL)
- DENOTES SILT/ TREE PROTECTION FENCE
- DENOTES BITUMINOUS SURFACE
- DENOTES CONCRETE SURFACE
- SB-3 DENOTES SOIL BORING DONE BY HAUGO TECHNICAL SERVICES ON 6-2013
- SB-5 DENOTES SOIL SAMPLE POINTS DONE BY WAYNE JACOBSON ENVIRONMENTAL, PLLC ON 6-2013
- DENOTES EMERGENCY OVERFLOW ELEVATION

## EROSION CONTROL / REVEGETATION SPECS.

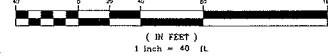
1. PRIOR TO ROUGH GRADING, INSTALL SILT STOP FENCE IN LOCATIONS SHOWN. ADDITIONAL SILT STOP FENCE WILL BE REQUIRED WHERE LOCAL CONDITIONS REQUIRE. INSTALL TREE PROTECTION AS DEEMED NECESSARY BY THE CITY FORESTER PRIOR TO ANY GRADING.
2. ANY GRADING SHALL PROCEED ON AN AREA BY AREA BASIS TO MINIMIZE UNCOMPLETED AREAS.
3. AS EACH AREA OUTSIDE THE STREET IS GRADER, PROVIDE NATIVE TOPSOIL, SEED, AND MULCH APPLIED WITH A STRAIGHT SET DISC WITHIN SEVEN DAYS AFTER ROUGH GRADING.
4. MAINTAIN AND REPAIR SILT STOP FENCES (INCLUDING REMOVAL OF ACCUMULATED SILT) UNTIL VEGETATION IS ESTABLISHED.
5. SEE "STORM WATER POLLUTION PREVENTION PLAN" FOR ADDITIONAL EROSION CONTROL NOTES AND SITE SCHEDULING.

## TYPICAL LOT



NORTH

GRAPHIC SCALE



## NOTES

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- See Preliminary Tree Inventory and Tree Removal Plan for tree size and species.
- See Preliminary Utility Plan for storm sewer risers, inverts, and sizes.

FOUNDING CALCULATIONS  
AND STORM SEWER DESIGN BY  
PLOWE ENGINEERS, INC.

**PLOWE ENGINEERS, INC.**  
 6716 LAKE DRIVE  
 SUITE 110  
 LINO LAKES, MN 55014

PHONE: (651) 361-1510  
 FAX: (651) 361-8701

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A FULLY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

*Adam Gunkel*  
 ADAM GUNKEL  
 DATE: 07.12.2013 LIC. NO. 43963

I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Registered Land Surveyor under the laws of the State of Minnesota.

*Jason E. Rud*  
 Jason E. Rud  
 Date: 07/12/2013 License No. 41578

NO.	DATE	DESCRIPTION	BY
1			
2			
3			

EST. 1977

**E. G. RUD & SONS, INC.**  
 Professional Land Surveyors  
 6776 Lake Drive NE, Suite 110  
 Lino Lakes, MN 55014  
 Tel. (651) 361-8200 Fax (651) 361-8701

www.egrud.com

**GENERAL NOTES**

- 1) THE INFORMATION SHOWN ON THESE DRAWINGS CONCERNING TYPE AND LOCATION OF EXISTING UTILITIES IS NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIS OWN DETERMINATION AS TO TYPE AND LOCATION OF UTILITIES AS NECESSARY TO AVOID DAMAGE TO THESE UTILITIES.
- 2) CALL "811" FOR EXISTING UTILITIES LOCATIONS PRIOR TO ANY EXCAVATIONS.
- 3) THE CONTRACTOR SHALL FIELD VERIFY SIZE, ELEVATION, AND LOCATION OF EXISTING SANITARY SEWER, STORM SEWER, AND WATER MAIN AND NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO THE START OF INSTALLATIONS.
- 4) INSTALLATIONS SHALL CONFORM TO THE CITY STANDARD SPECIFICATIONS AND DETAIL PLATES.
- 5) THE CONTRACTOR SHALL NOTIFY CITY PUBLIC WORKS DEPARTMENT A MINIMUM OF 24 HOURS PRIOR TO THE INTERFERENCE OF ANY SEWER OR WATER SERVICES TO EXISTING HOMES OR BUSINESSES.
- 6) STORAGE OF MATERIALS OR EQUIPMENT SHALL NOT BE ALLOWED ON PUBLIC STREETS OR WITHIN PUBLIC RIGHT-OF-WAY.
- 7) NOTIFY CITY A MINIMUM OF 48 HOURS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
- 8) ALL ELECTRIC, TELEPHONE, AND GAS EXTENSIONS INCLUDING SERVICE LINES SHALL BE CONSTRUCTED TO THE APPROPRIATE UTILITY COMPANY. SPECIFICATIONS, ALL UTILITY DISCONNECTIONS SHALL BE COORDINATED WITH THE APPROPRIATE UTILITY COMPANY.

**STORM SEWER NOTES**

- 1) FIELD VERIFY SIZE, ELEVATION, AND LOCATION OF EXISTING STORM SEWER AND NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO ANY INSTALLATIONS.
- 2) WHEN CALLED OUT AS PIPE, STORM SEWER SHALL BE REINFORCED CONCRETE PIPE (RCP) ANS C76 WITH R-4 GASKETS OR, IF ALLOWED BY CITY, HDPE PIPE MAY BE USED. USE PLAN FOR LOCATIONS WHERE RCP IS REQUIRED. HDPE PIPE SHALL MEET THE REQUIREMENTS OF AASHTO M294, TYPE 5 WITH WATER-TIGHT CONNECTIONS. USE SAND/GRAVELAR MATERIAL FOR BACKFILLING AND COMPACTION OF HDPE/PVC PIPE IN ACCORDANCE WITH THE REQUIREMENTS OF ASTM 2321.
- 3) STORM SEWER LENGTHS INCLUDE THE LAYING LENGTH OF THE FLARED-END SECTION. LAYING LENGTH OF APRON TO BE DEDUCTED FROM PARALLEL LENGTH OF PIPE.
- 4) STORM SEWER PIPES TO BE JOINED TO THE CATCH BASIN MANHOLES W/ APPROVED RESISTENT RUBBER JOINTS TO MAINTAIN CATCH BASIN OR WATER-TIGHT. CEMENT MORTAR JOINTS ARE PERMITTED ONLY FOR REPAIRS AND CONNECTIONS OF EXISTING LINES CONSTRUCTED WITH SUCH JOINTS.

**SANITARY SEWER NOTES**

- 1) EXISTING SANITARY SEWER LOCATION, SIZE, AND ELEVATION SHALL BE VERIFIED IN THE FIELD PRIOR TO CONSTRUCTION. NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO ANY INSTALLATIONS.
- 2) SANITARY SEWER SERVICE PIPE SHALL BE 4" PVC SCHEDULE 40.
- 3) SANITARY SEWER MAIN SHALL BE PVC SDR 35.

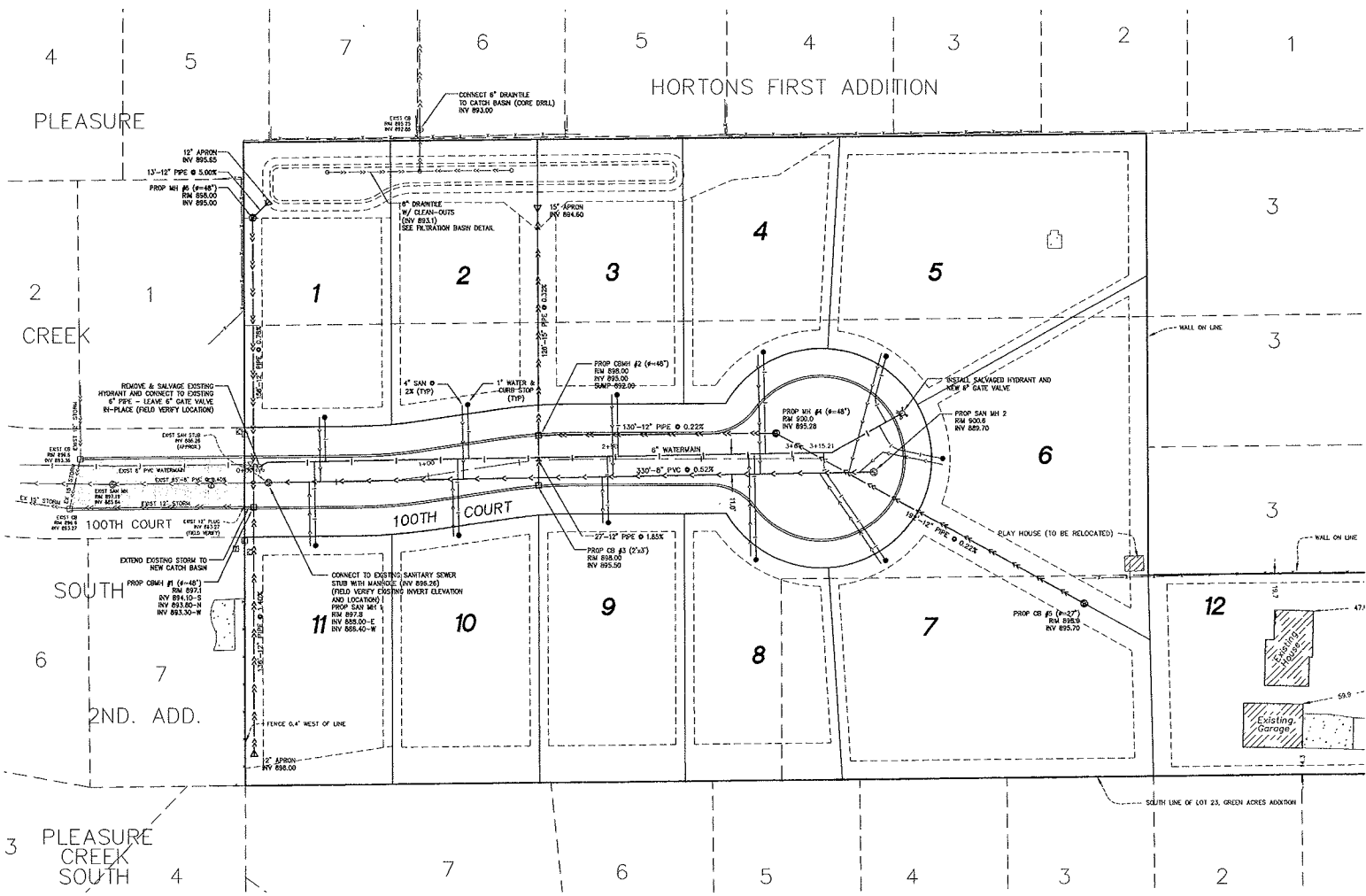
**WATERMAIN NOTES**

- 1) EXISTING WATERMAIN LOCATION AND SIZE SHALL BE VERIFIED IN THE FIELD PRIOR TO CONSTRUCTION. NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO ANY INSTALLATIONS.
- 2) DO NOT OPERATE, INTERFERE WITH, OR CONNECT ANY PIPE OR HOSE TO, OR TAP ANY WATERMAIN BELONGING TO THE CITY WITHOUT AUTHORIZATION.
- 3) WATER MAIN SHALL BE DUCTILE IRON PIPE CLASS 52. ALTERNATE MATERIALS: HDPE OR PVC CONFORMING TO APPROPRIATE AND SHALL BE PRESSURE CLASS WITH A DR RATING OF 18 AND CONFORMING TO THE OUTSIDE DIAMETER OF CAST IRON PIPE. COMPLETE WITH BRACING WINGS AND LOCATION BOXES AS REQUIRED BY CITY.
- 4) PROVIDE PREFORMED INSULATION, EPS FOAMGLASS, OR APPROVED EQUAL. WHERE SANITARY SEWER OR STORM SEWER CROSSES WITHIN 18" OF WATERMAIN.
- 5) MAINTAIN A MINIMUM OF 7.5 FEET OF COVER OVER ALL WATERMAIN PIPE.
- 6) WATER SERVICE SHALL BE 1" COPPER TYPE K.
- 7) PLACE HYDRANTS 5'-FEET FROM BACK OF CURB.

**LEGEND**

- |       |                                 |       |                                 |
|-------|---------------------------------|-------|---------------------------------|
| □     | EXISTING CABLE BOX              | — — — | PROPOSED WATER PIPE             |
| ⊠     | EXISTING ELECTRIC PEDESTAL      | — — — | PROPOSED SANITARY SEWER PIPE    |
| ⊠     | EXISTING TELEPHONE PEDESTAL     | — — — | PROPOSED STORM SEWER PIPE       |
| ⊠     | EXISTING UTILITY POLE           | — — — | PROPOSED DRAINAGE & CLEAN-OUTS  |
| — — — | EXISTING STORM SEWER            | □     | PROPOSED CATCH BASIN            |
| — — — | EXISTING WATER MAIN             | ⊠     | PROPOSED CATCH BASIN MANHOLE    |
| — — — | EXISTING SANITARY SEWER         | ⊠     | PROPOSED STORM SEWER APRON      |
| ⊠     | EXISTING STORM MANHOLE          | ⊠     | PROPOSED SANITARY SEWER MANHOLE |
| □     | EXISTING CATCH BASIN            | ⊠     | PROPOSED RCP-RAP                |
| ⊠     | EXISTING FLARED-END SECTION     | ⊠     | PROPOSED FILTRATION MEDIA       |
| ⊠     | EXISTING GATE VALVE             |       |                                 |
| ⊠     | EXISTING HYDRANT                |       |                                 |
| ⊠     | EXISTING SANITARY SEWER MANHOLE |       |                                 |

**HORTONS FIRST ADDITION**



DRAWN BY: A.G. DESIGN BY: A.G.  
 CHECKED BY: PROJ. NO. 13-1421  
 C.W.P. ORIGINAL DATE: JULY 12 2013

DATE	REVISION DESCRIPTION

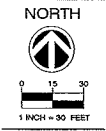
I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION AND THAT I AM A LICENSED PROFESSIONAL ENGINEER IN THE STATE OF MINNESOTA.  
**PRELIMINARY**  
 ADAM OFFICE  
 LIC. NO. 49893  
 DATE: 7.12.2013

**HENNUM MEADOWS SOUTH**  
 BLAINE, MN  
 PRELIMINARY UTILITY PLAN

PREPARED FOR:  
 DAN HENNUM



**PLOWE ENGINEERING, INC.**  
 8776 LAKE DRIVE  
 SUITE 113  
 LINO LAKE, MN 55014  
 PHONE: (651) 961-8210  
 FAX: (651) 961-8701



Know what's below.  
 Call before you dig.

**PRELIMINARY UTILITY PLAN  
 HENNUM MEADOWS SOUTH**

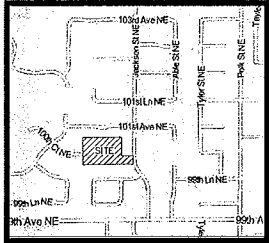


# PRELIMINARY TREE INVENTORY AND TREE REMOVAL PLAN

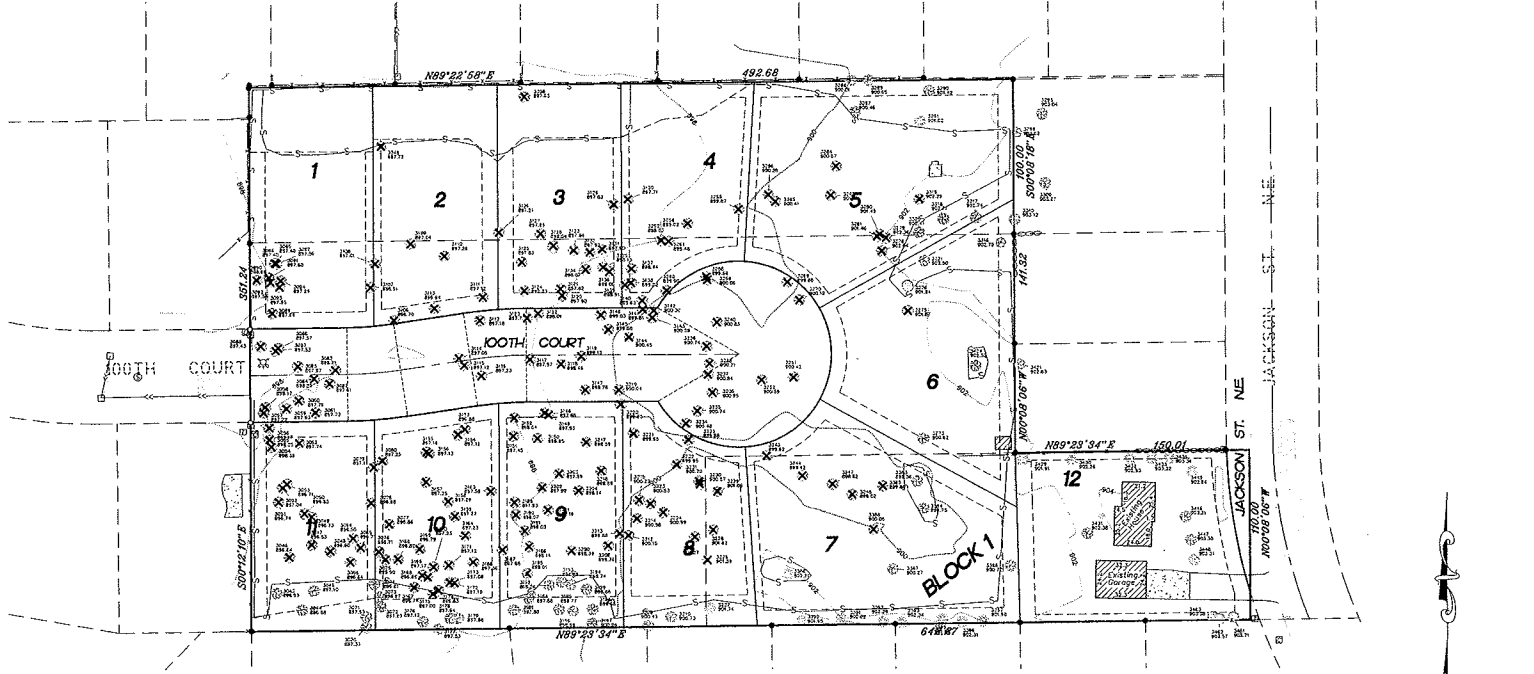
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 ~for~ Dan Hennum  
 10209 Jackson Street NE  
 Blaine, Mn 55434  
 (763) 464-3139

## VICINITY MAP

PART OF SEC. 30, TWP. 31, RING. 23



ANOKA COUNTY, MINNESOTA  
 (NO SCALE)



## TREE NOTES

- Field survey was completed by E.G. Rud and Sons, Inc. on 05/01/13.
- Trees shown are 8 inches in diameter or larger.

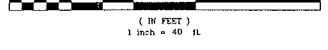
## LEGEND

- DENOTES IRON MONUMENT FOUND AS LABELED
- DENOTES IRON MONUMENT SET, MARKED RLS# 41578
- DENOTES CATCH BASIN
- ⊙ DENOTES SANITARY SEWER MANHOLE
- ⊗ DENOTES HYDRANT
- ⊠ DENOTES ELECTRICAL BOX
- ⊓ DENOTES TELEPHONE PEDESTAL
- ⊒ DENOTES CABLE PEDESTAL
- DENOTES FENCE
- DENOTES RETAINING WALL
- DENOTES EXISTING SANITARY SEWER
- DENOTES EXISTING STORM SEWER
- DENOTES EXISTING WATER MAIN
- DENOTES EXISTING CONTOURS (2 FOOT INTERVAL)
- DENOTES BITUMINOUS SURFACE
- DENOTES CONCRETE SURFACE
- ✖ DENOTES PROPOSED TREE REMOVAL

LEGEND			TREE INVENTORY LIST												TREE COUNT		
10 = TREE SIZE (inches) -2 = NUMBER OF TREES			TREE NO.	TREE TYPE	TREE SIZE	TREE NO.	TREE TYPE	TREE SIZE	TREE NO.	TREE TYPE	TREE SIZE	TREE NO.	TREE TYPE	TREE SIZE	TREE NO.	TREE TYPE	TREE SIZE
3043	BOXELDER	9	3088	BOXELDER	8	3136	POPLAR	10	3179	BOXELDER	10	3229	ELM	13	3290	MAPLE	21
3044	BOXELDER	14	3089	BOXELDER	8	3137	BOXELDER	9	3181	POPLAR	8	3230	POPLAR	8	3291	PINE	16
3045	BOXELDER	10-3	3090	COTTONWOOD	12	3138	POPLAR	9	3184	POPLAR	10	3231	POPLAR	9	3295	ASH	16
3046	BOXELDER	12-2	3091	COTTONWOOD	8	3139	POPLAR	9	3185	BLACK CHERRY	8	3232	POPLAR	10	3298	ELM	21
3047	BOXELDER	11	3092	COTTONWOOD	8	3140	POPLAR	9	3186	POPLAR	9	3233	POPLAR	9	3309	ASH	18
3048	BOXELDER	12	3093	COTTONWOOD	10	3141	BOXELDER	8	3187	BOXELDER	8	3234	POPLAR	8	3310	CHINESE ELM	16
3049	BOXELDER	9	3094	COTTONWOOD	9	3142	POPLAR	9	3188	BOXELDER	17	3235	POPLAR	8	3316	ELM	14
3050	BOXELDER	10-2	3095	COTTONWOOD	10	3143	POPLAR	9	3189	BOXELDER	8	3236	POPLAR	10-2	3317	WALNUT	11
3051	BOXELDER	9	3096	COTTONWOOD	8	3144	ELM	9	3190	BOXELDER	9	3237	POPLAR	9	3318	CHINESE ELM	14
3052	BOXELDER	8	3097	COTTONWOOD	8	3145	POPLAR	10	3191	BOXELDER	11	3238	POPLAR	8	3319	BOXELDER	13
3053	BOXELDER	12	3106	BOXELDER	12	3146	BOXELDER	12	3192	POPLAR	11	3239	POPLAR	9	3320	BOXELDER	10
3054	COTTONWOOD	8	3107	BOXELDER	8	3147	BOXELDER	10	3193	POPLAR	12	3240	CHINESE ELM	11	3321	CHINESE ELM	17
3055	COTTONWOOD	9	3108	BOXELDER	8	3148	BOXELDER	10	3194	POPLAR	9	3243	OAK	15	3349	BOXELDER	8
3056	COTTONWOOD	11	3109	BOXELDER	11	3149	BOXELDER	10	3195	POPLAR	10	3244	BOXELDER	8	3358	BOXELDER	8
3057	COTTONWOOD	9	3110	BOXELDER	9	3150	BOXELDER	8	3196	POPLAR	8	3247	POPLAR	6	3363	BOXELDER	10
3058	COTTONWOOD	14	3111	BOXELDER	8	3151	BOXELDER	8	3197	POPLAR	8	3248	POPLAR	9	3384	BOXELDER	13
3059	COTTONWOOD	9	3112	BOXELDER	9	3152	BOXELDER	9	3198	POPLAR	8	3251	OAK	9	3385	BLACK CHERRY	10
3060	COTTONWOOD	8	3113	BOXELDER	14	3153	BOXELDER	8-2	3199	POPLAR	8	3252	POPLAR	8	3386	ELM	9
3061	COTTONWOOD	12	3114	BOXELDER	10-2	3154	BOXELDER	13	3200	POPLAR	13	3255	BOXELDER	12	3387	MAPLE	15
3062	COTTONWOOD	9	3115	BOXELDER	11	3155	BOXELDER	9	3201	BOXELDER	9	3256	BOXELDER	16-2	3388	PINE	15
3064	BOXELDER	8	3116	BOXELDER	14	3156	BOXELDER	11-3	3202	BOXELDER	8	3258	BOXELDER	8	3390	PINE	24
3065	BOXELDER	9	3117	BOXELDER	10	3157	BOXELDER	12	3203	BOXELDER	10	3259	POPLAR	8	3391	PINE	24
3066	BOXELDER	10	3118	ELM	13	3158	BOXELDER	13-2	3204	POPLAR	10	3260	POPLAR	9	3392	PINE	19
3070	BOXELDER	12	3119	BOXELDER	8	3159	BOXELDER	10-2	3205	POPLAR	10	3261	BOXELDER	8	3393	PINE	17
3071	BOXELDER	10	3120	BLACK CHERRY	9	3163	BOXELDER	9	3209	POPLAR	9	3262	BOXELDER	8	3395	PINE	16
3072	BOXELDER	11	3121	BOXELDER	8	3164	BOXELDER	9	3210	POPLAR	8	3263	BOXELDER	8	3395	PINE	16
3073	BOXELDER	8	3122	BOXELDER	9	3165	BOXELDER	11	3211	POPLAR	8	3268	CHINESE ELM	10	3396	CHINESE ELM	19
3074	BOXELDER	10	3123	BOXELDER	9	3166	BOXELDER	9	3212	POPLAR	8	3270	POPLAR	8	3397	PINE	16
3075	BOXELDER	12	3124	BOXELDER	8	3167	BOXELDER	8	3213	POPLAR	8	3275	BOXELDER	13	3398	WALNUT	16
3076	BOXELDER	11	3125	BOXELDER	15	3168	BOXELDER	8	3215	POPLAR	8	3276	CEDEAR	11	3421	COTTONWOOD	16
3077	BOXELDER	9	3126	BOXELDER	8	3169	BOXELDER	8	3217	BOXELDER	17	3278	CHINESE ELM	10-2	3424	APPLE	12
3078	BOXELDER	13-2	3127	BOXELDER	9	3170	BOXELDER	8	3219	POPLAR	9	3279	CHINESE ELM	10	3429	PINE	12
3079	BOXELDER	14	3128	BOXELDER	8	3171	BOXELDER	10	3220	POPLAR	9	3280	CHINESE ELM	9-2	3431	WALNUT	12
3080	BOXELDER	14	3129	BOXELDER	10	3172	BOXELDER	9	3221	POPLAR	8	3281	CHINESE ELM	8	3432	PINE	12
3082	COTTONWOOD	10	3130	BOXELDER	8	3173	BOXELDER	15	3221	POPLAR	11	3283	CHINESE ELM	22	3433	PINE	12
3083	COTTONWOOD	8	3131	ELM	17	3174	BOXELDER	9	3223	POPLAR	9	3284	CHINESE ELM	14	3434	PINE	16
3084	COTTONWOOD	8	3132	BOXELDER	8	3175	BOXELDER	10	3224	POPLAR	9	3285	CHINESE ELM	13	3445	PINE	13
3085	COTTONWOOD	8	3133	BOXELDER	9	3176	BOXELDER	9	3225	POPLAR	8	3286	CHINESE ELM	13	3446	MAPLE	16
3086	COTTONWOOD	8	3134	BOXELDER	9	3177	BOXELDER	8	3226	PINE	12	3287	MAPLE	17	3447	MOUNTAIN ASH	13
3087	COTTONWOOD	10	3135	BOXELDER	10	3178	BOXELDER	8	3227	PINE	13	3288	CHINESE ELM	14	3448	SPRICE	11
									3228	BOXELDER	10	3289	CHINESE ELM	9	3461	CEDAR	9-2

NORTH

GRAPHIC SCALE



I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Registered Land Surveyor under the laws of the State of Minnesota

JASON E. RUD  
 Date: 07/12/2013 License No. 41578

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