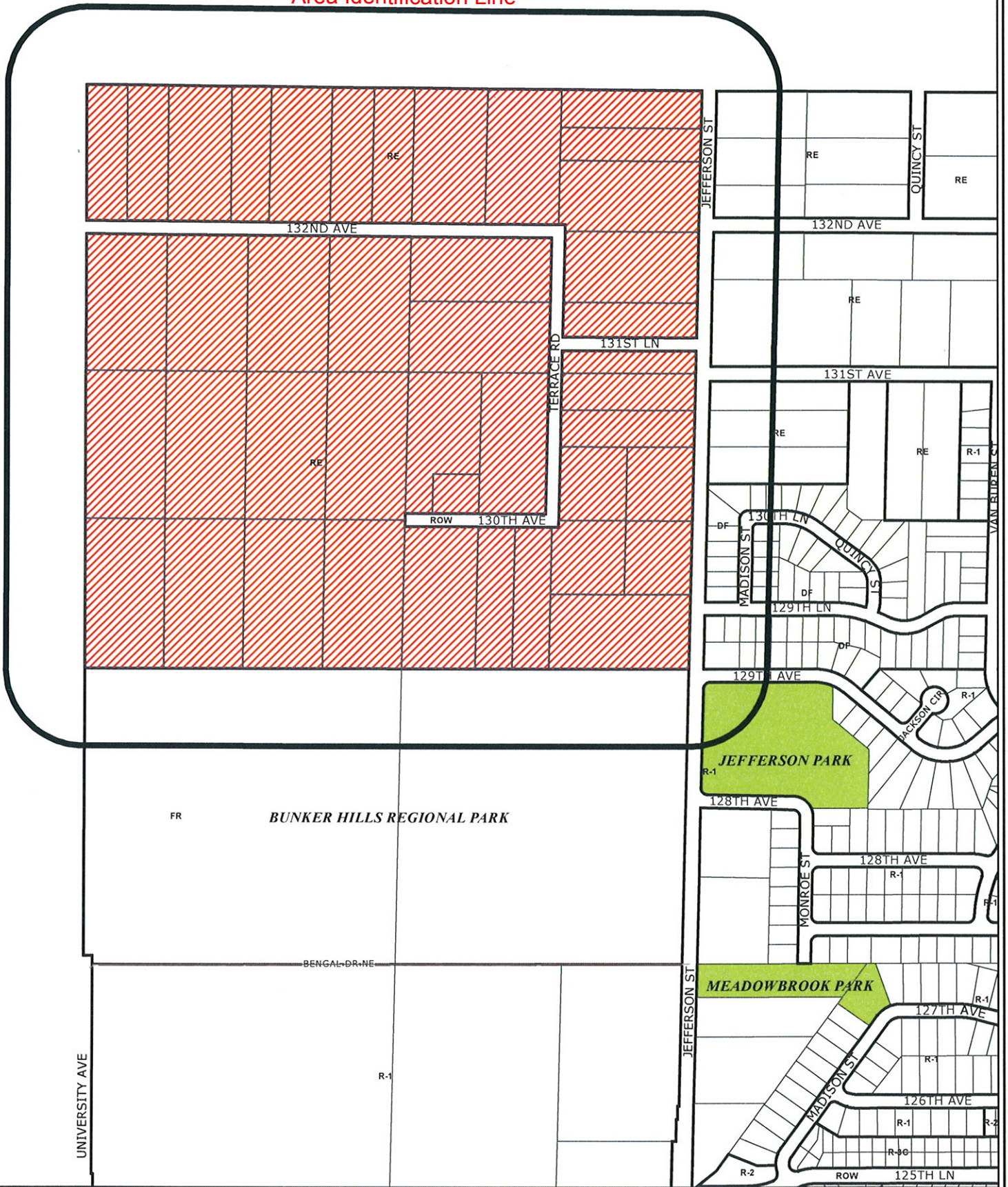


Area Identification Line



Case File No. 16-0041
Blaine 2040 Comprehensive Plan

Blaine Planning Department / 10801 Town Square Dr NE / Blaine, MN 55449 / (763) 785-6180



CITY OF BLAINE, MINNESOTA **COMPREHENSIVE PLAN**

- ① Natural Resources
- ② Housing
- ③ Economic Development
- ④ Land Use
- ⑤ Parks, Trails & Recreation
- ⑥ Transportation



COMPREHENSIVE PLAN Process Update

1

May 3, 2018
City Council
Meeting

2

6 month adjacent
community review (April
through September)

3

Submit to Met Council
(December 31, 2018
deadline)

4

60 days to review and
formal comment letter
(can be extended by
Met Council)



WHERE BLAINE IS NOW

WHERE BLAINE IS GOING

FORECAST YEAR	POPULATION	HOUSEHOLDS	EMPLOYMENT
2010	57,186	21,077	20,561
2020	66,300	25,100	25,800
2030	76,700	29,200	28,400
2040	87,300	33,300	31,000
2010-2040 Change	+30,114	+12,223	+10,439



NATURAL RESOURCES & SUSTAINABILITY

PRESENT: _____

- Natural Resources Conversation Board
- Open Space Management Plan
- Blaine Wetland Sanctuary

WHAT WE HEARD: _____

- Natural resources = high priority
- Water resources = high priority
- Renewable energy
- Sustainability

WHAT ARE THE UPDATES: _____

- Natural Resources Plan
- Leverage construction
- Alternate forms of energy
- Co2 emissions





WHAT ABOUT HOUSING?

PRESENT:

- Aging population
- Household size decreasing
- 74% affordable
- 16% cost-burdened

WHAT WE HEARD:

- Cross-generational and income housing opportunities
- Preserve manufactured home communities
- Improve housing stock
- Multi-family with access to affordable housing and transit

WHAT ARE THE UPDATES:

- Utilize local funding, partnerships, regional and federal assets

	UNITS	PERCENT
Single-Family Detached	14,471	64.0%
Townhomes (single-family attached)	4,523	20.0%
Manufactured home	1,722	7.6%
Duplex and triplex and quad	340	1.5%
Multifamily (5 units or more)	1567	6.9%
	22,623	100%





ECONOMIC DEVELOPMENT

PRESENT: _____

- 24,000 jobs in 2016
- Average wage = \$43,205
- Gain approximately 7,000 jobs by 2040

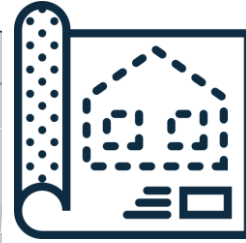
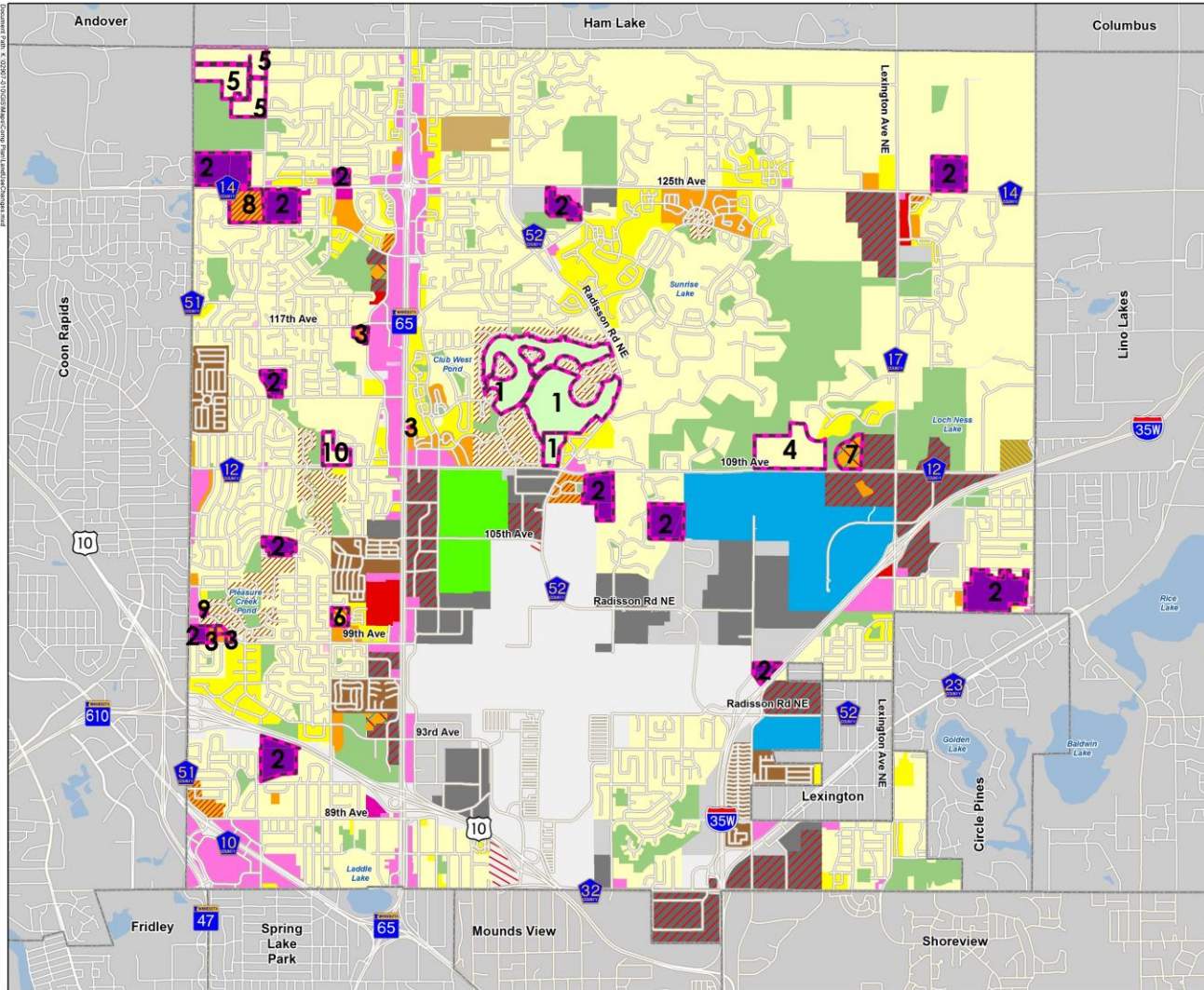
WHAT WE HEARD: _____

- Encourage development
- Redevelop obsolete or blighted areas
- Support Northtown commercial area

WHAT ARE THE UPDATES: _____

- Redevelopment areas, zoning and land use changes
- Support job growth, access and land expansion
- Promote Blaine to business community
- Utilize strategic partnerships





LAND USE

WHAT WE HEARD:

- Connect NW 160 acres to municipal sewer and water
- Maintain flexibility in land use districts
- Increase residential density
- Preserve manufactured housing as affordable
- Re-develop underutilized areas



PARKS, TRAILS & RECREATION

PRESENT:

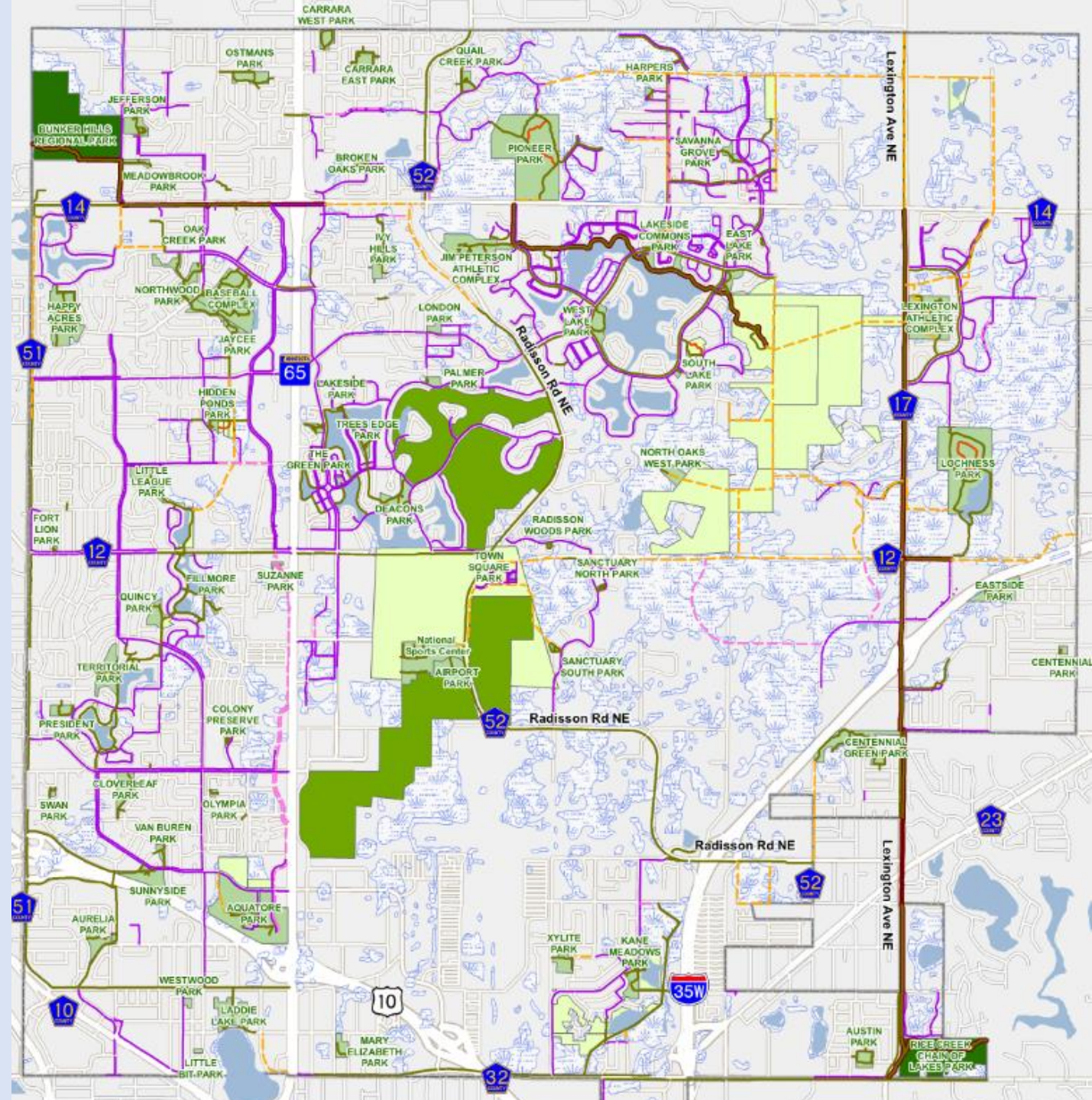
- 25% of residents will be over 65 in ten years
- 25% of residents are currently under 19

WHAT WE HEARD:

- Create more opportunities for recreation
- Improve pedestrian and bicycle connections
- Improve livability
- Enhance existing parks and trails

WHAT ARE THE UPDATES:

- Programming should support recreation
- Develop parks master plan
- Address pedestrian infrastructure
- Develop funding for senior or community center





Transportation

PRESENT:

- Motorized
- Non-motorized
- Freight
- Transit
- Aviation

WHAT WE HEARD:

- Aging populations require more options
- Upgrade regional roadways
- Develop effective mass transit

WHAT ARE THE UPDATES:

- TH 65 intersection – enhance pedestrian connection/safety
- Update Met Council map with existing and future roadways
- Support for 35W Corridor
- Support Central Avenue BRT Service



SURFACE WATER MANAGEMENT PLAN

WHAT IT IS:

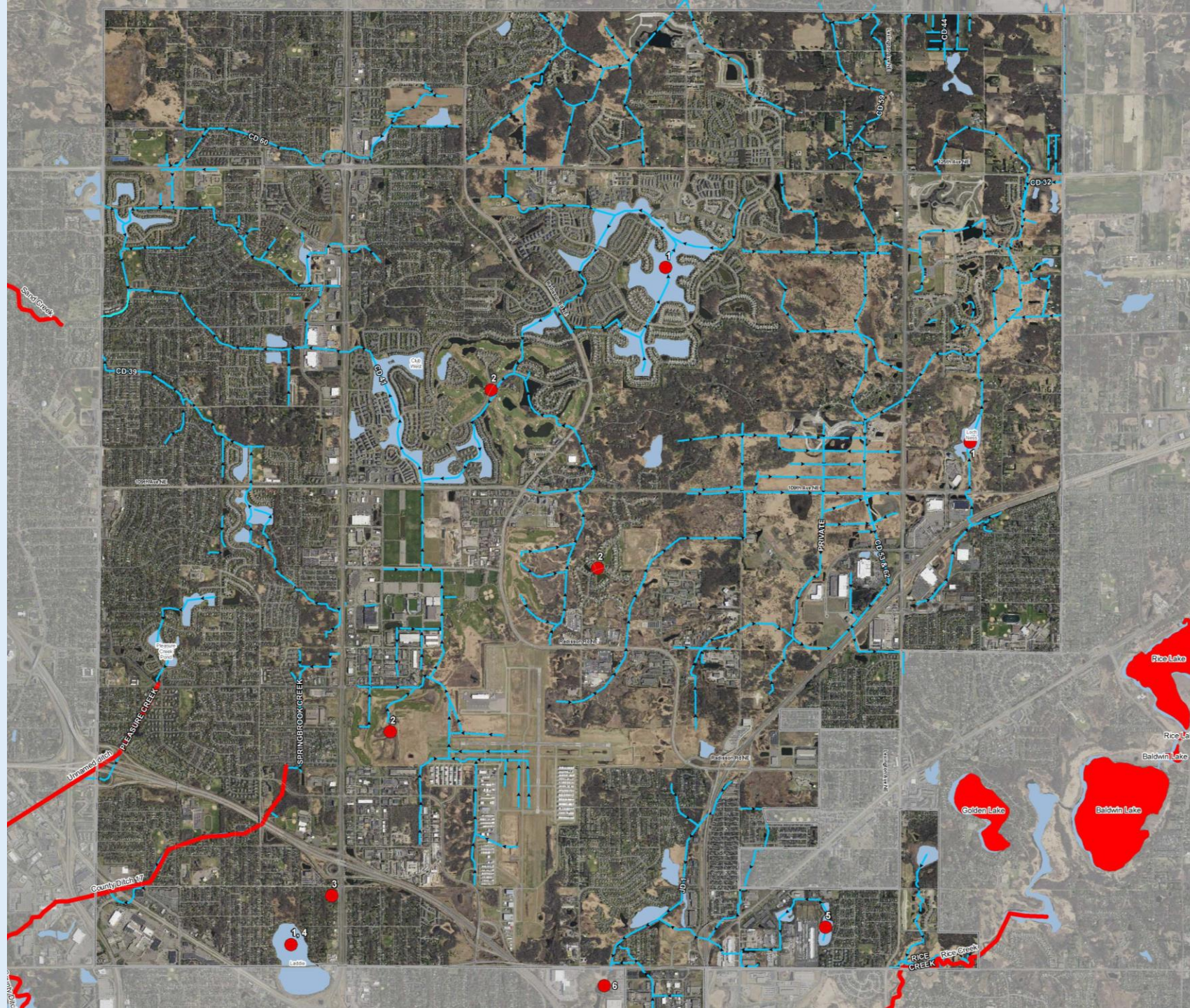
- How the community protects local water resources
- Planning tool to assist with budgeting
- Regulatory document describing policies

GOALS:

- Protect water quality
- Prevent flooding and discharge rates
- Maintain infrastructure
- Education and public participation
- Protect fish and wildlife habitats and recreation

ISSUES IDENTIFIED:

- Poor water quality
- Backyard / street flooding
- Soil erosion areas
- Education program



COMPREHENSIVE PLAN **NEXT STEPS**

1

City Council
Consideration
November 15, 2018

2

Formal submittal to Met
Council – December 1,
2018

3

Zoning Updates and
Capital Improvement
Programming - 2019



Robinson, Patricia

From: Jack Freeman <jackfreeman48@hotmail.com>
Sent: Tuesday, October 09, 2018 7:05 AM
To: Robinson, Patricia
Subject: 2040 Comprehensive Plan-Case 16-0041

Please let it be known that I do not support the plan for adding the designated properties, shown on the the mailing I received, to the Metropolitan Urban Services Area for the 2040 Comprehensive Plan. I much prefer this area remain as is and that it can remain as one of the `untouched` areas in Blaine. I moved to this area because of the rural atmosphere and to enjoy the wild life that is within the area. Laying ground work for further development threatens that life style.

Jack Freeman
231 130th Ave. NE

Robinson, Patricia

From: bobross321@aol.com
Sent: Monday, October 08, 2018 7:50 PM
To: jkouellette@msn.com; dponds77@yahoo.com; tlhoman@yahoo.com;
danyork@yorkmnlaw.com; jasonhalpern2015@gmail.com; pastoral@skypoint.com;
maisaa@redcarpetagents.com
Cc: Robinson, Patricia; Johnson, Lori; dbugge@blainemn.gov
Subject: Case 16-0041

Regarding:

Case 16-0041

Location NW Quadrant of Jefferson Street/129th Avenue

The comprehensive plan to have this northwest section of the City added to the 2040 MUSA plan.

We, Robert and Jill Ross, have lived at 240 130th AVE NE since 1973 and currently own 11.5 acres of land (in three adjoining parcels) in the lower center of the designated area. We purchased extra land to try to preserve some of the natural habitat in our area. It is not our intention to develop our land or sell it to anyone who has that goal.

Our reason for being opposed to being included in the MUSA plan is that it makes it too easy for developers to move in and begin dividing the land into smaller parcels. If only one or two of the property owners decide to sell their land to a developer, neighbors who don't want to move, may find themselves in a situation that they will overly burdened with the expenses involved in the general improvements necessary to a new development. We would like to see this small area of Blaine keep the 2.5 acre minimum lot requirement and maintain the serenity of the area.

We are asking you to not include this area in the 2040 MUSA by voting against development for this area.

Bob and Jill Ross
240 130th Avenue NE
Blaine, MN 55434
763-755-7442
Bobross321@aol.com



NATURAL RESOURCES & SUSTAINABILITY

PRESENT: _____

- Natural Resources Conversation Board *- Where is this?*
- Open Space Management Plan
- Blaine Wetland Sanctuary

WHAT WE HEARD: _____

- Natural resources = high priority *
- Water resources = high priority
- Renewable energy
- Sustainability

WHAT ARE THE UPDATES: _____

- Natural Resources Plan *- What current green spaces are being set aside*
- Leverage construction *- How so?*
- Alternate forms of energy *- Dedicate space for projects*
- Co2 emissions





ECONOMIC DEVELOPMENT

PRESENT: _____

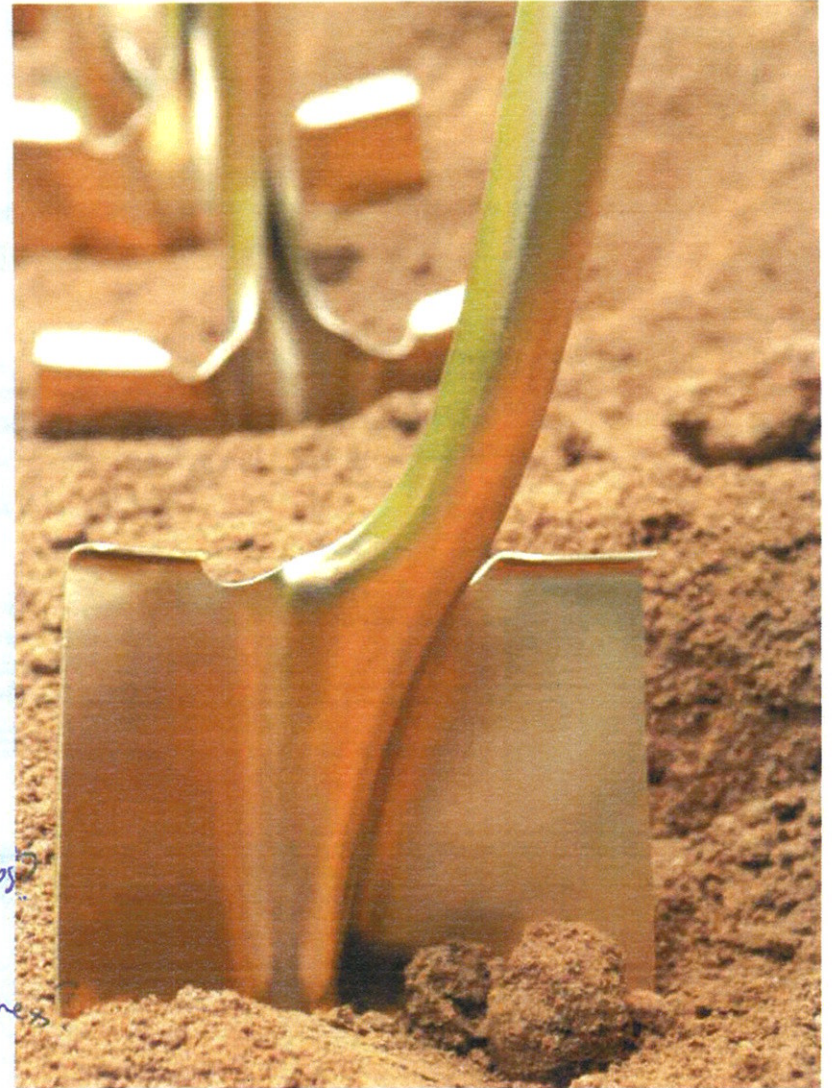
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- Average wage = \$43,205
- Gain approximately 7,000 jobs by 2040

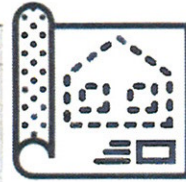
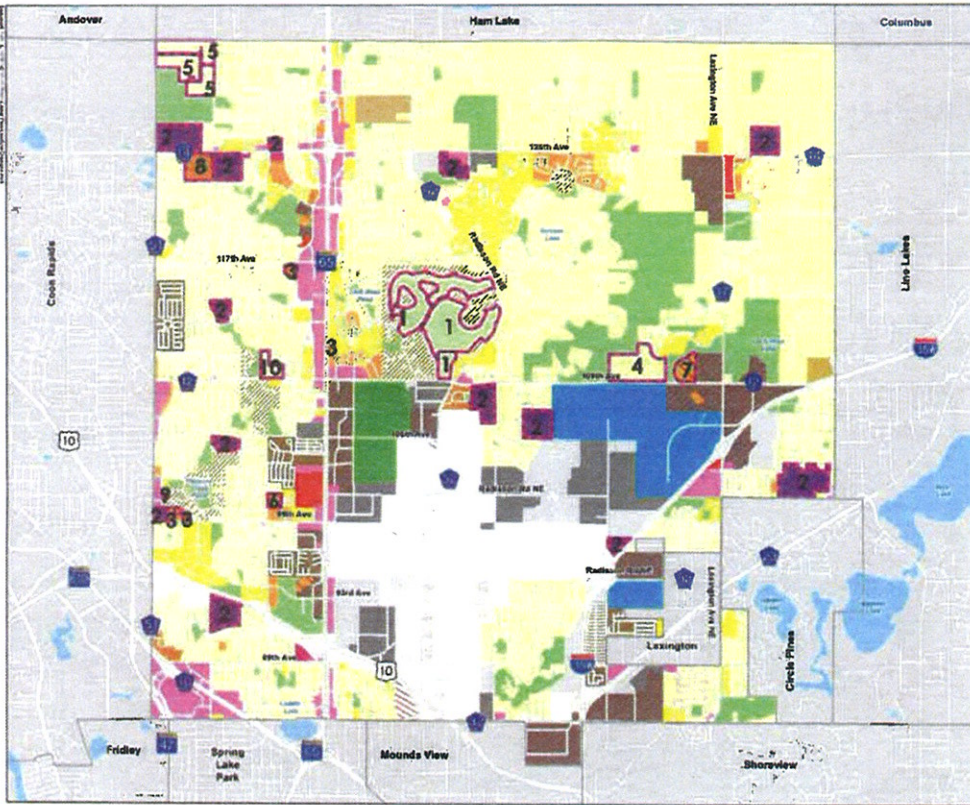
WHAT WE HEARD: _____

- Encourage development
- Redevelop obsolete or blighted areas
- Support Northtown commercial area

WHAT ARE THE UPDATES: _____

- Redevelopment areas, zoning and land use changes
- Support job growth, access and land expansion — Higher wage jobs?
- Promote Blaine to business community
- Utilize strategic partnerships — with whom? land expansion for what types of business





LAND USE

WHAT WE HEARD:

- Connect NW 160 acres to municipal sewer and water
- Maintain flexibility in land use districts
- Increase residential density
- Preserve manufactured housing as affordable
- Re-develop underutilized areas

Concern zoning needs to be reevaluated to avoid situations similar to the Sanctuary & Hyve cases!

Current complaint often seen is new developments are too dense.
 Counter Intuitive to why people moved to Blaine...

SURFACE WATER MANAGEMENT PLAN

WHAT IT IS:

- How the community protects local water resources
- Planning tool to assist with budgeting
- Regulatory document describing policies

GOALS:

- Protect water quality
- Prevent flooding and discharge rates
- Maintain infrastructure
- Education and public participation
- Protect fish and wildlife habitats and recreation

ISSUES IDENTIFIED:

- Poor water quality
- Backyard / street flooding (Lexington/109th)
- Soil erosion areas
- Education program

Does not seem like we are doing this with leftover undeveloped land

(North of 125th)

