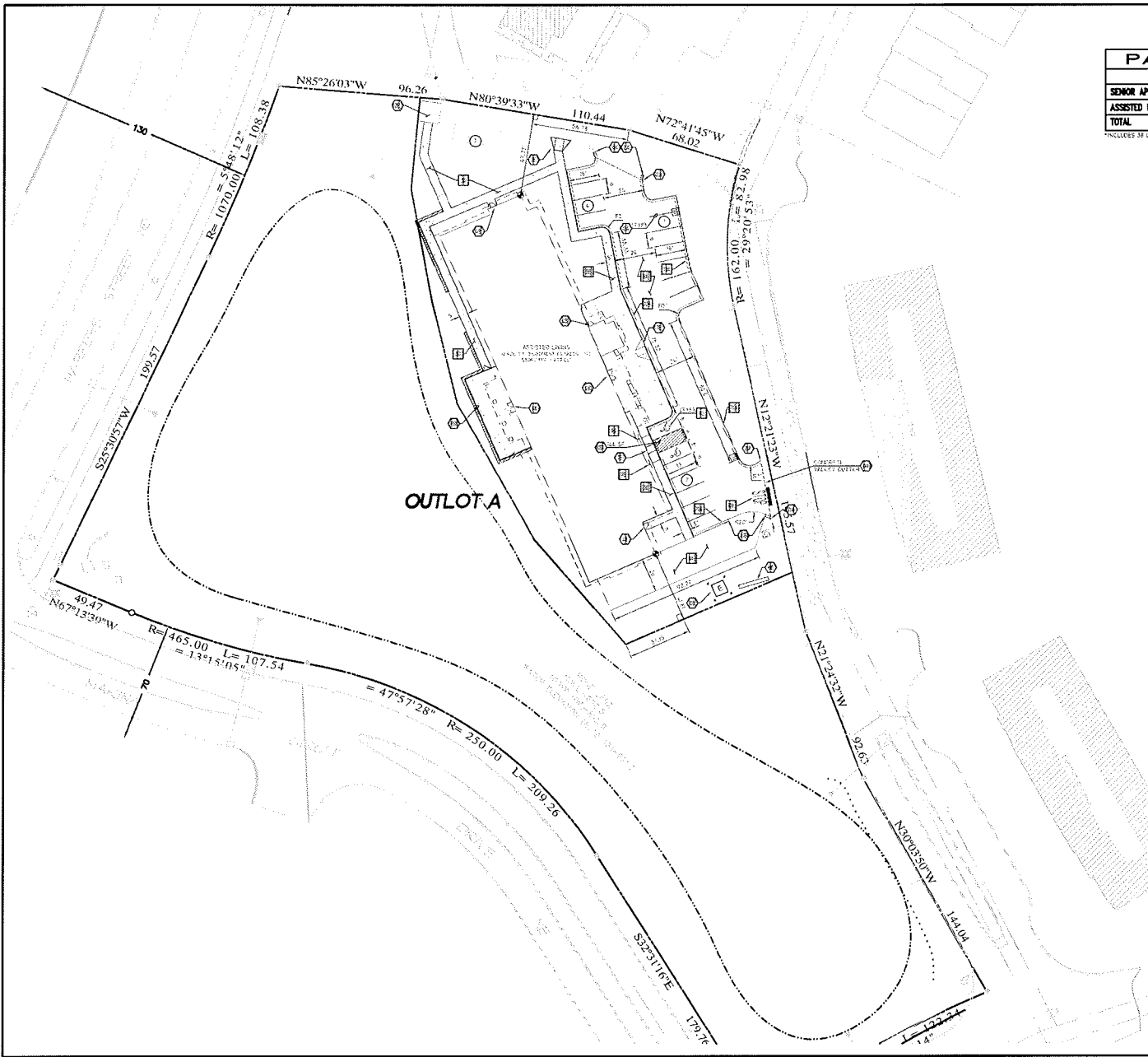


**Case File No. 13-0055**



JUL 4, 2016 DRAWING 2456-000-000-1-027-DRAWN BY LOGON/C



PARKING RATIO		
	BUILDING UNITS	NO. OF SPACES
SENIOR APARTMENT (EXISTING)	0.5	64*
ASSISTED LIVING	4.4	25
TOTAL	107	87*

\*INCLUDES 35 UNDERGROUND PARKING SPACES



**LEGEND**

EXISTING	
-----	EXISTING ELECTRICAL
-----	EXISTING SANITARY SEWER
-----	EXISTING GAS
-----	EXISTING OVERHEAD ELECTRICAL
-----	EXISTING OVERHEAD TELEPHONE
-----	EXISTING OVERHEAD WATER
-----	EXISTING PROPERTY LINE
-----	EXISTING RIGHT OF WAY LINE
-----	EXISTING STORM DRAIN
-----	EXISTING GAS
-----	EXISTING OVERHEAD ELECTRICAL
-----	EXISTING OVERHEAD ELECTRICAL AND TELEPHONE
-----	EXISTING OVERHEAD TELEPHONE
-----	EXISTING OVERHEAD WATER

PROPOSED	
-----	PROPOSED PROPERTY LINE
-----	PROPOSED RIGHT OF WAY LINE
-----	PROPOSED CONCRETE CURB AND GUTTER
-----	PROPOSED SIDEWALK
-----	PROPOSED CURB
-----	PROPOSED BUILDING CONTROL POINT
-----	PROPOSED PARKING SPACES
-----	PROPOSED LIMITS OF SIDEWALKS AND CONCRETE AREAS

**GENERAL SITE NOTES**

- A. ALL DIMENSIONS SHOWN ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
- B. ALL CURB FINISH PAVED SHALL BE 2" OR 10" AS SHOWN TYPICAL ON THIS PLAN UNLESS OTHERWISE NOTED.
- C. UNLESS OTHERWISE SHOWN CALLED OUT OR SPECIFIED HEREON OR NOTED ON SPECIFICATIONS:
  - ALL CURB AND GUTTER ADJACENT TO ASPHALT PAVING SHALL BE DOUBLE END RISE.
  - PAVEMENT SHALL BE INSTALLED IN ACCORDANCE WITH DETAIL PA COVER THE ENTIRE PAVED LOT AREA AND ALL APPROACH DRIVES.
  - ALL PARKING LOT DRIVEWAYS SHALL BE CONCRETE AND SHALL BE ACCESSIBLE SPACES SHALL BE PAINTED PER SITE PLAN.
  - ALL PARKING LOT DRIVEWAYS SHALL BE INSTALLED PER DETAIL.
  - ALL ACCESSIBLE PARKING SPACES SHALL HAVE SIGNAGE INSTALLED PER DETAIL.

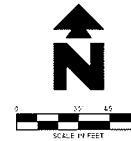
**SITE NOTES**

10. TRANSPOSE PAVES AFTER ELEC. ETL AND/OR ARCH PLANS.
11. TRANSPOSE PAVES BEFORE CURB AND ARCH PLANS.
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100. TRANSPOSE PAVES BEFORE ARCH PLANS.

**SITE DETAILS**

101. CONCRETE SIDEWALK
102. CONCRETE SIDEWALK AT BACK OF CURB
103. STANDING SURF SIDEWALK FINISH
104. ACCESSIBLE + VAN ACCESSIBLE PARKING SIGN
105. ACCESSIBLE PARKING SYMBOL (SEE PAINT COLOR INDICATED AT SYMBOL)
106. STOP BAR (SEE)
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2456-000-000-1-027	2456-000-000-1-027	2456-000-000-1-027	2456-000-000-1-027	2456-000-000-1-027	2456-000-000-1-027
CEL PROJECT 115	INITIAL DATE	CDOR	PH	DES	DRW
<b>WHITE PINES SENIOR LIVING</b>					
<b>Engineering, Inc.</b>					
ENGINEERING    PLANNING    SURVEYING					
LANDSCAPE ARCHITECTURE    ENVIRONMENTAL SCIENTISTS					
2025 CENTRE POINT BLVD - SUITE 202    DEWATER, MN 55424-3600					
PHONE: 763.438.5522    FAX: 763.438.5523					
<b>SITE PLAN</b>					
<b>124TH LANE NORTHEAST</b>					
<b>BLANE</b>					
DATE: 08/13/16	DATE: 08/13/16	DATE: 08/13/16	DATE: 08/13/16	DATE: 08/13/16	DATE: 08/13/16
DESIGN NO: 2456-000-000-1-027	SHEET NO: 2 OF 7	REV: 0	REV: 0	REV: 0	REV: 0



### LEGEND

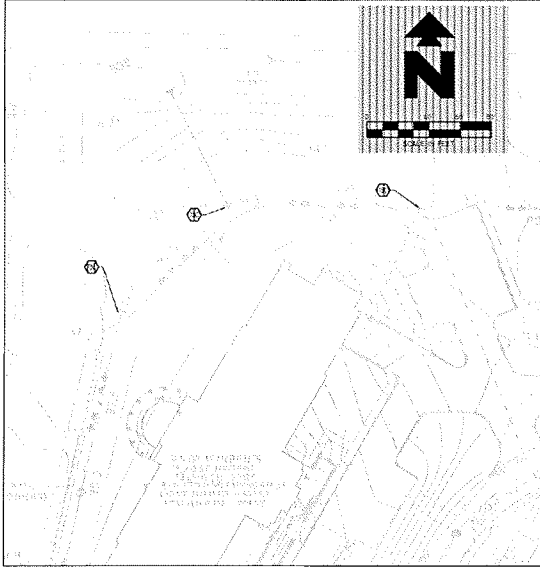
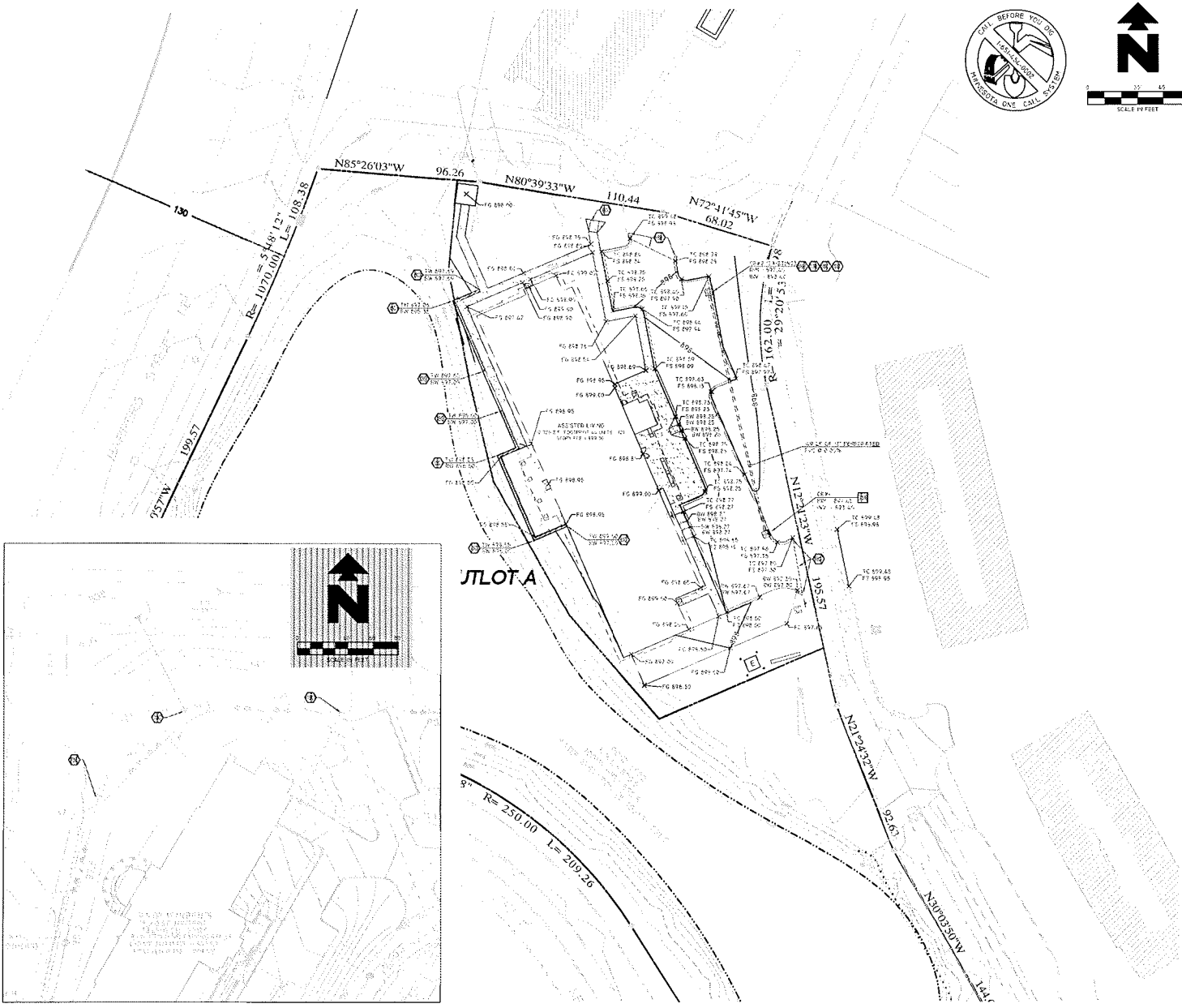
EXISTING	
---	EXIST OR ELECTRIC
---	NORTH
---	OVERHEAD
---	SOUTH OR OTHER
---	TELEPHONE
---	UNDERGROUND
---	UNDERGROUND TELEPHONE
---	UNDERGROUND TV
---	RIGHT OF WAY LINE
---	STORM DRAIN
---	DES
---	OVERHEAD ELECTRIC
---	OVERHEAD ELECTRIC AND TELEPHONE
---	OVERHEAD TELEPHONE

PROPOSED	
---	BOUNDARY LINE
---	RIGHT OF WAY LINE
---	GRADE BREAK
---	CONTOUR ELEVATIONS
---	STORM DRAIN
XX XX	SPOT ELEVATIONS
TC	TOP OF CURB
P	PAVEMENT
C	CONCRETE
W	WALL
TA	TOP OF WALL

ALL SPOT ELEVATIONS ARE GUTTER OR SHOULDER FINISHED GRADE UNLESS OTHERWISE NOTED.

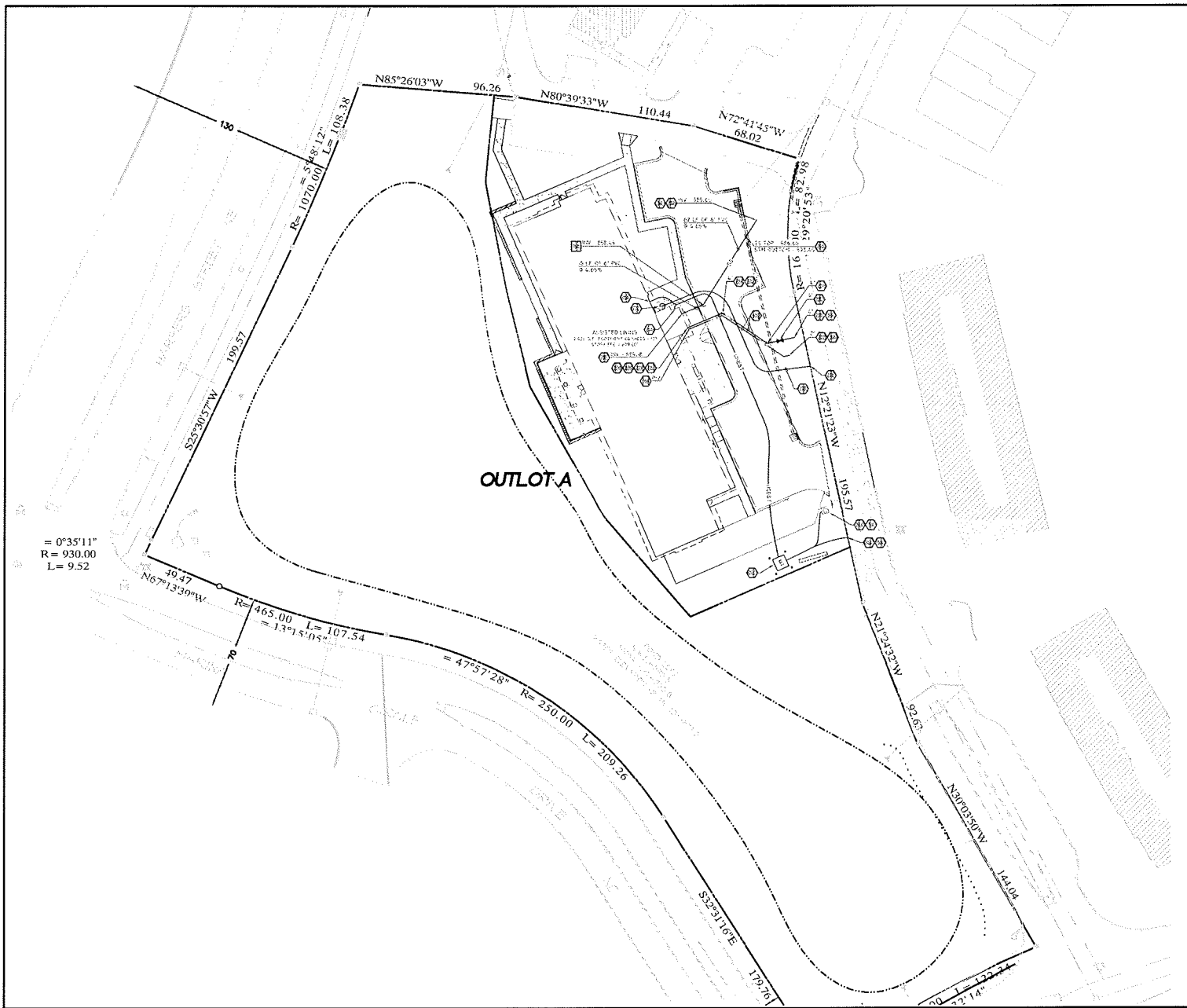
- #### GENERAL GRADING NOTES
- BEFORE THE INSTALLATION OF STORM OR SANITARY SEWER, THE CONTRACTOR SHALL EXCAVATE, VERIFY, AND CALCULATE ALL CROSSINGS AND INFORM THE OWNER AND THE ENGINEER OF ANY CONFLICTS PRIOR TO CONSTRUCTION. THE ENGINEER WILL BE HELD HARMLESS IN THE EVENT THE ENGINEER IS NOT NOTIFIED OF DESIGN CONFLICTS.
  - ALL SLOPES AND AREAS DISTURBED BY CONSTRUCTION SHALL BE GRADED SMOOTH AND TO TOPSOIL. TOPSOIL SHALL BE APPLIED IF AVAILABLE OR PURCHASED. IF AVAILABLE ON SITE, THE CONTRACTOR SHALL REMOVE TOPSOIL, APPROVED BY THE OWNER AS NEEDED. THE AREA SHALL THEN BE SOILED, FERTILIZED, MULCHED, WATERED AND MAINTAINED UNTIL HARDY GRASS GROWTH IS ESTABLISHED IN ALL AREAS. ANY AREAS DISTURBED FOR ANY REASON PRIOR TO FINAL ACCEPTANCE OF THE PROJECT SHALL BE CORRECTED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
  - THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE UTILITY COMPANIES AND WHERE NECESSARY, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES.
  - UNLESS OTHERWISE SPECIFICALLY CALLED OUT OR SPECIFIED HEREON OR WITHIN THE SPECIFICATIONS:
    - ALL STORM DRAIN PIPE BEDDING SHALL BE INSTALLED PER DETAIL 72A.
    - ALL STORM DRAIN PIPES ARE MEASURED FROM CENTER OF STRUCTURES AND BIDS OF PLANNED END SECTIONS.

- #### GRADING DETAILS
- 72A CURB INLET TO BE INSTALLED PER CITY OF BLAINE PLATE 50-1.6.50.
- #### GRADING NOTES
- REMOVE TOP OF EXISTING CURB/RAILROAD STRUCTURE AND ADJUST PIPE ELEVATION TO MATCH PROPOSED GRADE.
  - LIMITS OF RETAINING WALL (DESIGN BY OTHERS)
  - CONNECT TO EXISTING STORM DRAIN THROUGH OR INLET
  - MATCH EXISTING PAVEMENT ELEVATIONS
  - PROTECT EXISTING STRUCTURES AND/OR PIPES DURING DEMOLITION AND CONSTRUCTION PHASES.
  - INSTALL 6" HIGH GALVANIZED STEEL WEIR ACROSS BOTTOM HALF OF 12" OUTLET PIPE.
  - NOTE EXISTING PIPE ELEVATIONS AT



PROJECT NO.	DATE	DESIGNER	SCALE	TITLE	DATE
2719	11/11/10	GEI	AS SHOWN	GRADING PLAN	11/11/10
<b>WHITE PINES SENIOR LIVING</b>					
<b>Engineering, Inc.</b>					
225 CENTRE PRINCE BLVD. SUITE 200      65844-2620 HONOLULU, HAWAII 96813      (808) 841-0000					
<b>GRADING PLAN</b>				DATE	SHEET NO.
124TH LANE NORTHEAST				11/11/10	3 OF 7
BLAINE				REV. 0	

JOB # 2719 DRAWING # 2719-GRADING PLAN SHEET 3 OF 7



**LEGEND**

EXISTING	
---	OVERHEAD TV
---	OVERHEAD ELECTRIC
---	UNDERGROUND ELECTRIC AND TELEPHONE
---	UNDERGROUND TELEPHONE
---	UNDERGROUND TV
---	WATER
---	SEWER
---	GAS
---	OVERHEAD ELECTRIC AND TELEPHONE
---	OVERHEAD TELEPHONE
PROPOSED	
---	BOUNDARY LINE
---	STORM DRAIN
---	SANITARY SEWER SERVICE
---	WATER SERVICE
---	GAS SERVICE
---	UNDERGROUND ELECTRIC AND TELEPHONE

- GENERAL UTILITY NOTES**
- CONTACT CITY OF BLAINE ENGINEERING DEPARTMENT AT (763) 725-8722 FOR INSPECTION OF ALL UTILITY WORK.
  - ALL WATERLINES SHALL BE 2" WATER MAIN SHALL BE TYPE "K" COPPER WITH MIN. 7.5 COVER. ALL WATER LINES SHALL BE 8" WITH MIN. 7.5" COVER.
  - ALL SANITARY SEWER LINES SHALL BE 8" WITH MIN. 7.5" COVER AND MINIMUM 1% SLOPE.
  - CONTRACTOR SHALL COORDINATE ANY DISRUPTIONS TO EXISTING UTILITY SERVICES WITH ADJACENT PROPERTY OWNERS.
  - ALL ELECTRIC TELEPHONE AND GAS EXTENSIONS INCLUDING SERVICE LINES SHALL BE CONSTRUCTED TO THE APPROPRIATE UTILITY COMPANY SPECIFICATIONS. ALL UTILITY DISCONNECTIONS SHALL BE COORDINATED WITH THE RESPECTIVE UTILITY COMPANIES.
  - CONSTRUCTION SHALL NOT START ON ANY PUBLIC UTILITY SYSTEM UNTIL WRITTEN APPROVAL HAS BEEN RECEIVED BY THE ENGINEER FROM THE APPROPRIATE GOVERNING AUTHORITY AND CONTRACTOR HAS BEEN NOTICED BY THE ENGINEER.
  - BEFORE THE CONSTRUCTION OF OR CONNECTION TO ANY STORM DRAIN, SANITARY SEWER MAIN OR ANY OF THE CITY UTILITIES, THE CONTRACTOR SHALL EXCAVATE, VERIFY AND CALCULATE ALL POINTS OF CONNECTION AND ALL UTILITY CROSSINGS AND REPORT TO THE ENGINEER AND THE UNDERGOER OF ANY CONFLICT OR REQUIRED DEVIATIONS FROM THE PLAN. NOTIFICATION SHALL BE MADE A MINIMUM OF 48 HOURS PRIOR TO CONSTRUCTION. THE ENGINEERING AND ITS CLIENTS SHALL BE HELD HARMLESS IN THE EVENT THAT THE CONTRACTOR FAILS TO MAKE SUCH NOTIFICATION.
  - IN ALL OVERHEAD SERVICE LINES CALLED OUT OR SPECIFIED HEREON OR WITHIN SPECIFICATIONS, ALL WATER AND GAS SERVICE LINES SHALL BE INSTALLED PER CITY REQUIREMENTS.
  - ALL SANITARY SEWER PIPE BEINGS SHALL BE INSTALLED PER CITY REQUIREMENTS.
- UTILITY NOTES**
- POINT OF CONNECTION - WATER SERVICE (PER LOCAL CODES)
  - 6" GATE VALVE WITH ADJUSTABLE VALVE BOX (SEE SHEET THIS SHEET)
  - 45 DEGREE W.J. BEND WITH THURLET FLOCKING (SEE SHEET THIS SHEET)
  - 1" VALVE DEGREE W.J. BEND WITH THURLET FLOCKING (SEE SHEET THIS SHEET)
  - 8" W.P. WATER SERVICE PER ARCH. PLAND (SEE SHEET THIS SHEET)
  - INTERIOR DOMESTIC WATER SERVICE (PER ARCH. PLAND) (SEE SHEET THIS SHEET)
  - INTERIOR WATER METER (PER LOCAL CODES)
  - INTERIOR BACK FLOW PREVENTER (PER LOCAL PLAND)
  - POINT OF CONNECTION PER LOCAL CODES - DOMESTIC SERVICE TAP (SEE SHEET THIS SHEET)
  - POINT OF CONNECTION - SANITARY SEWER SERVICE (PER LOCAL CODES)
  - SANITARY SEWER SERVICE ENTRY (PER LOCAL PLAND)
  - POINT OF CONNECTION FOR ELECTRICAL SERVICE (PER ELECTRIC COMPANY REQUIREMENTS)
  - PROPOSED ELECTRICAL TRANSFORMER
  - POINT OF CONNECTION FOR UNDERGROUND TELEPHONE (PER TELEPHONE COMPANY REQUIREMENTS)
  - POINT OF CONNECTION FOR GAS SERVICE (PER LOCAL GAS COMPANY REQUIREMENTS)
  - GAS SERVICE PER LOCAL GAS COMPANY
  - PROPOSED GAS FILTER
  - INSTALL A MINIMUM 18" SEPARATION
  - PROPOSED UTILITIES TO BE PLACED IN THE SAME TRENCH INSTALLATION SHALL BE COORDINATED AND APPROVED BY LOCAL UTILITY COMPANIES.
  - LOCATION FOR THIS UTILITY AS SHOWN IS FOR DESIGN PURPOSES ONLY. CONTRACTOR SHALL VERIFY THE EXACT LOCATION IN FIELD PRIOR TO THE CONSTRUCTION OF THE PROPOSED UTILITY LINE TO THE CHANGES. CONTRACTOR SHALL NOTIFY THE ENGINEERING IF THE DESIGN AS SHOWN IS NOT ACHIEVABLE.
  - WALL, INSULATED PER PER CITY REQUIREMENTS

**UTILITY DETAILS**

764. SANITARY SEWER CLEANOUT PER CITY OF BLAINE PLATE NO. 1033

PROJECT NO.	INITIAL DATE	DPOR	PK	DES.	REV.
2024					

**PRELIMINARY NOT FOR CONSTRUCTION**

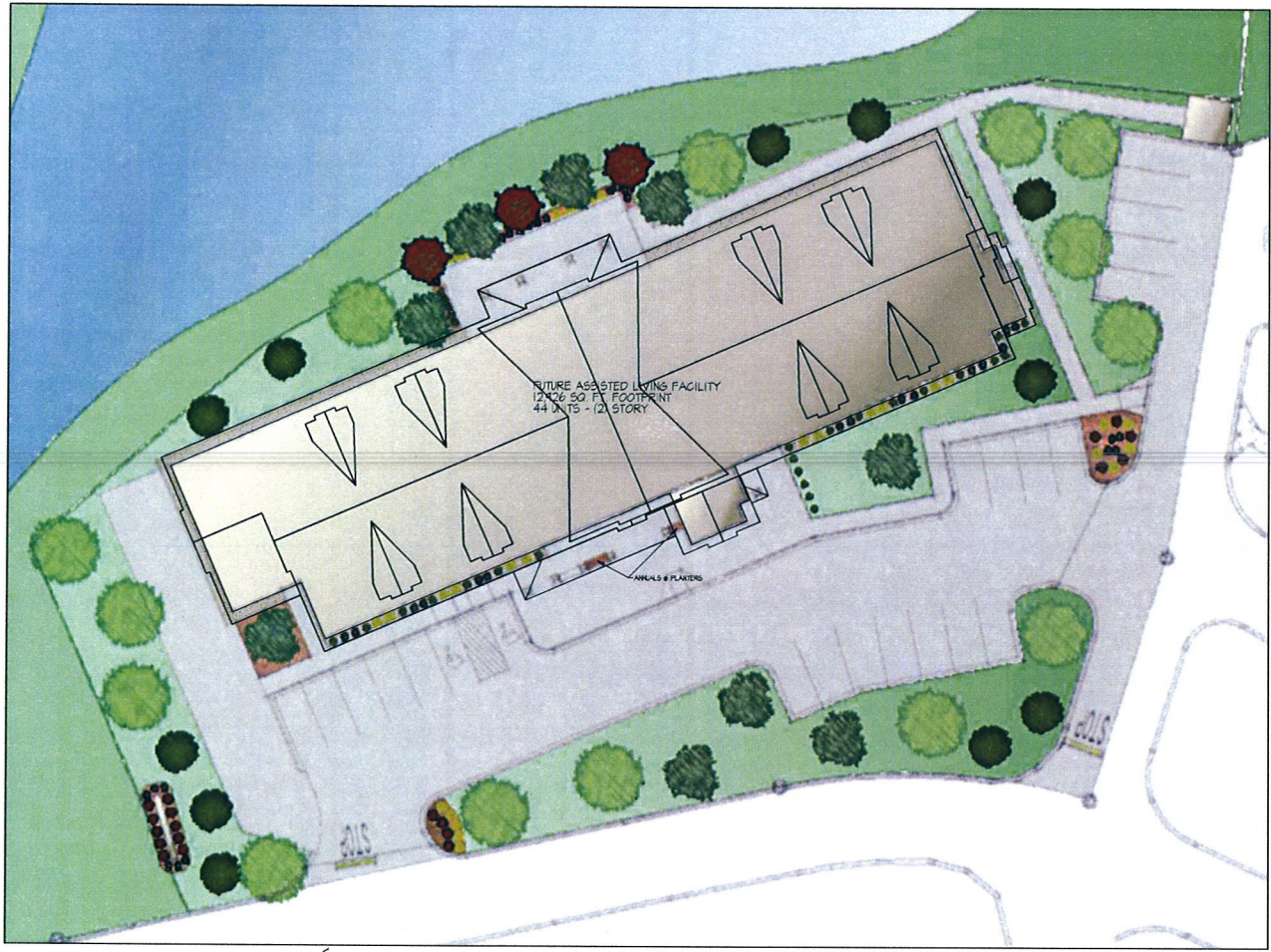
**WHITE PINES SENIOR LIVING**

**Engineering, Inc.**

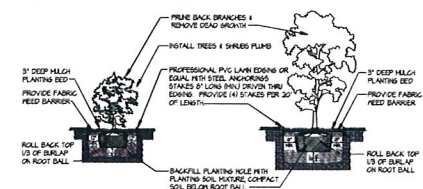
124TH LANE NORTHEAST, SUITE 210  
BLAINE, MN 55425

DATE: 8-12-23  
SHEET NO: 4 OF 7

DATE: 8/12/23, DRAWING: 23241-124TH LANE NORTHEAST, SHEET: 4 OF 7



1 LANDSCAPE PLAN  
A1.1



2 PLANTING DETAIL  
A1.1 NO SCALE

LEGEND

- 4\"/>

PLANT SCHEDULE

KEY	QTY	PLANT DESCRIPTION	PLANT SIZE	NOTES
AD	14	NORTH LAZAR HAWK ACER FREDERICK	22 GAL	1
PF	11	WHITE PINE PRINCE SPRUCE	6\"/>	
PP	4	PURPLE LEAF PLUM	15 GAL	1
FF	3	PRAIRIE FIRE GRASS AMPLIE HALLS PRAIRIE FIRE	15 GAL	1
HP	21	DIARIE HISSO PINE PRINCE HISSO PRINCE	9 GAL	1,2
GS	32	GOLDENROD SPIREA SPRUCE GOLDENROD	9 GAL	1,2
PS	14	LITTLE PRINCESS SPIREA SPRUCE JAPONICA LITTLE PRINCESS	12 POT	1,3
KP	34	KARL FORGESSER - NEED BRASS CALAMAGROSTIS X ACROLYPORA	1 GAL	1,3

NOTES:  
1. FURNISH AND INSTALL PER DETAIL 21  
2. 10\"/>

LANDSCAPE REQUIREMENTS

- \* OVERSTORY DECIDUOUS TREE = 14
  - \* CONIFEROUS TREE = 11
  - \* UNDERSTORY SHRUB = 66
  - \* ORNAMENTAL TREE = 11
- \* BASED ON A TOTAL SITE AREA OF 41,106 SQ. FT. AND A TOTAL BUILDING FOOTPRINT AREA OF 12,126 SQ. FT.

GENERAL LANDSCAPE NOTES

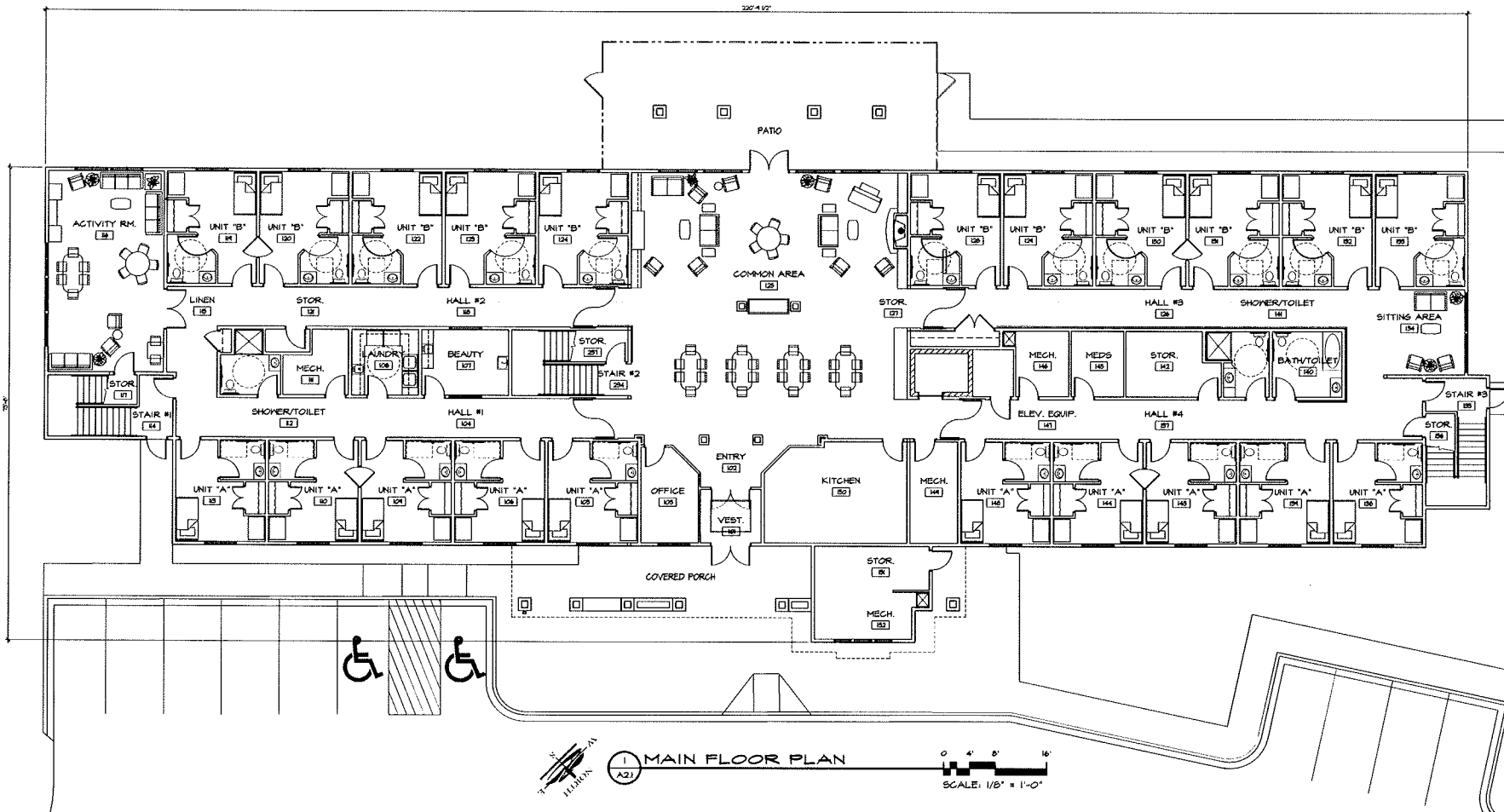
- A. LOCATE ALL UTILITIES AND SITE LIGHTING CONDITIONS BEFORE LANDSCAPE CONSTRUCTION BEGINS.
- B. NOTIFY LANDSCAPE ARCHITECT OR DESIGNATED REPRESENTATIVE OF ANY LAYOUT DISCREPANCIES PRIOR TO ANY PLANTINGS.
- C. FERTILIZE ALL PLANTS AT THE TIME OF PLANTING WITH A TIME RELEASE FERTILIZER PER MANUFACTURERS SPECIFIED APPLICATION RATES.
- D. SEE GRADING PLAN FOR APPLICATION OF TOPSOIL AND MAINTENANCE OF SOODED AREAS.
- E. HAWKWOOD MULCH SHALL BE USED AS A FOUR INCH (4\")/>

**RIVER VALLEY ARCHITECTS, INC.**  
1403 122nd Street - Suite C  
Chippewa Falls, WI 54729  
715.624.0815  
Fax 715.726.1968  
www.rivervalleyarchitects.com


**White Pine**  
Senior Living

**WHITE PINE SENIOR LIVING - BLAINE, MN**  
44 UNIT - 25,616 +/-S.F.

DATE:  
9-4-2013  
A1.1




A2.1 MAIN FLOOR PLAN
SCALE: 1/8" = 1'-0"

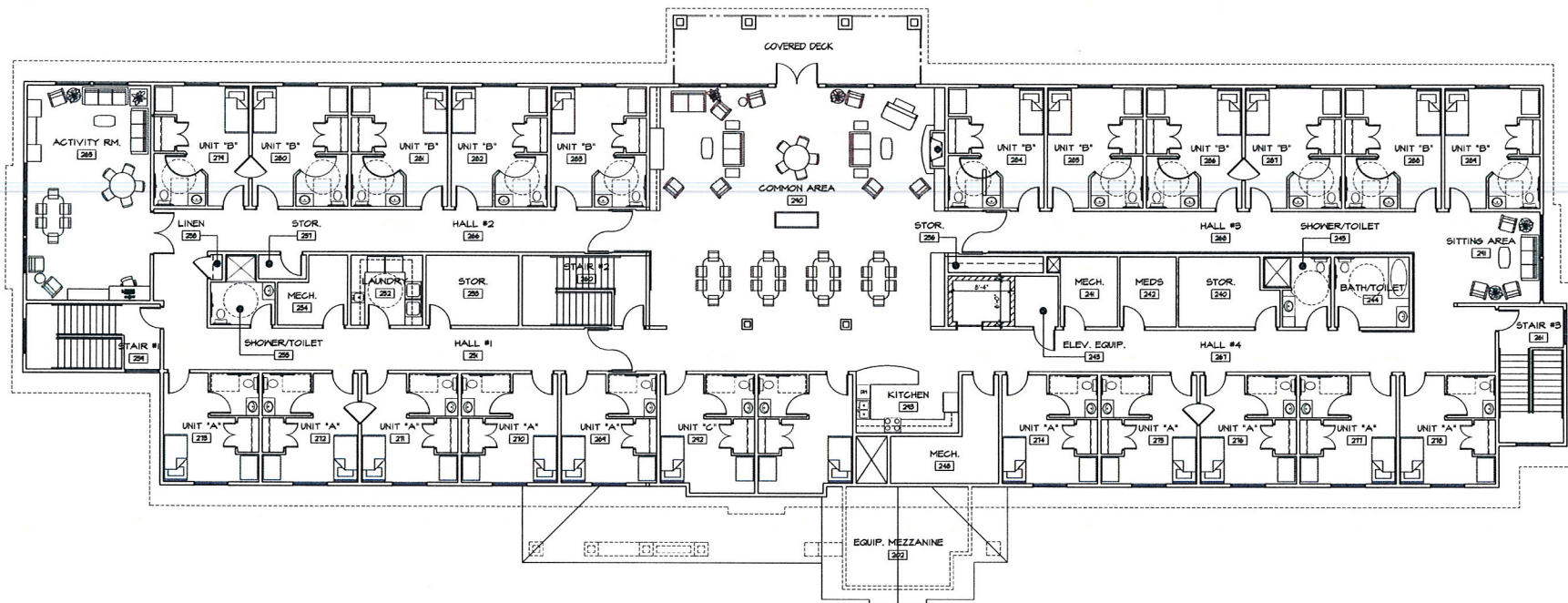

  
 RIVER VALLEY ARCHITECTS, INC.
   
 1493 122nd Street - Suite C
   
 Chippewa Falls, WI 54729
   
 715.622.0615
   
 Fax 715.726.1966
   
 www.rivervalleyarchitects.com



# WHITE PINE SENIOR LIVING - BLAINE, MN

44 UNIT - 25,616 +/-S.F.

DATE:
   
 1-4-2013
   
A2.1




A2.2 UPPER FLOOR PLAN
 
  
 SCALE: 1/8" = 1'-0"



RIVER VALLEY  
ARCHITECTS, INC.

1403 122nd Street - Suite C  
Chippewa Falls, WI 54729  
715.832.0815  
Fax 715.728.1986

www.rivervalleyarchitects.com



**White Pine**  
Senior Living

# WHITE PINE SENIOR LIVING - BLAINE, MN

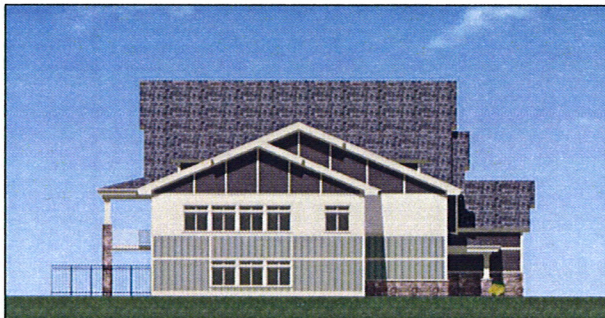
44 UNIT - 25,616 +/- S.F.

DATE:  
9-4-2013

A2.2



1 NORTHEAST ELEVATION  
A3.1



2 SOUTHEAST ELEVATION  
A3.1



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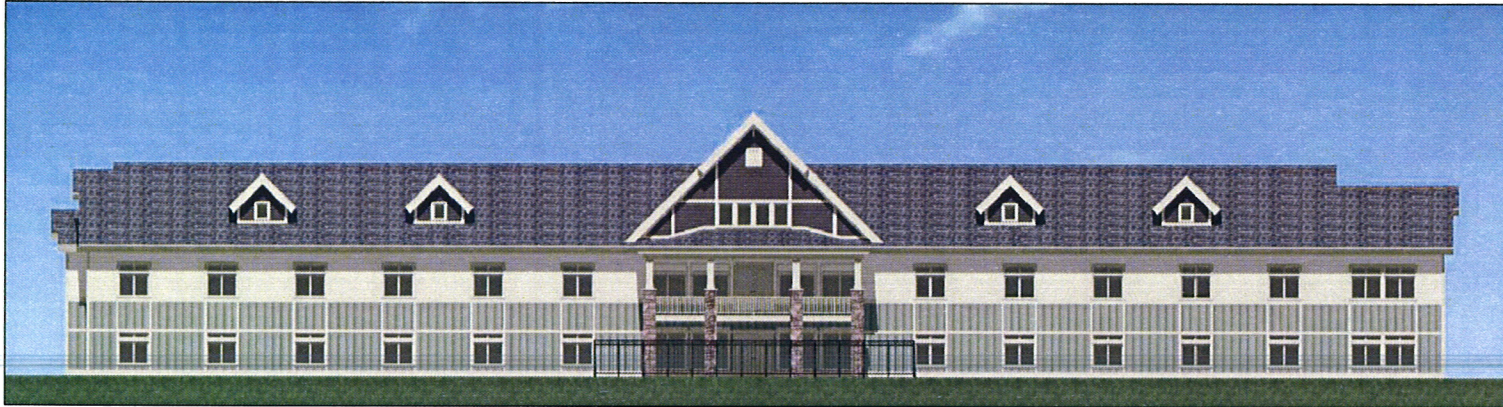
# WHITE PINE SENIOR LIVING - BLAINE, MN

44 UNIT - 25,616 +/-S.F.

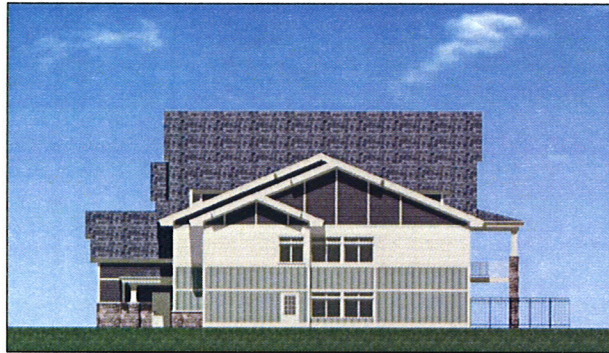
DATE:  
6-4-2013

A3.1

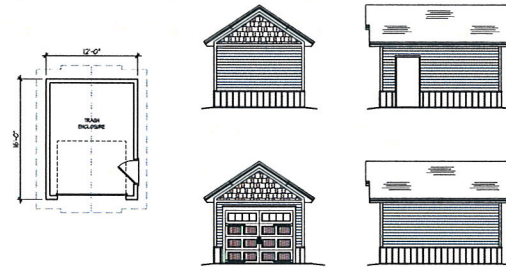




1 **SOUTHWEST ELEVATION**  
A3.2 N.T.S.



2 **NORTHWEST ELEVATION**  
A3.2 N.T.S.



2 **TRASH ENCLOSURE ELEV**  
A3.2 SCALE: 1/8" = 1'-0"



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# WHITE PINE SENIOR LIVING - BLAINE, MN

44 UNIT - 25,616 +/-S.F.

DATE:  
1-4-2018

A3.2



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September 13, 2013

Attn: Shawn Kaye, Associate Planner  
City of Blaine MN  
10801 Town Square Drive NE  
Blaine, MN 55449

Subject: Case File No. 13-0055  
White Pine Senior Living – New assisted living facility

Dear Shawn,

As requested, below is a brief narrative describing the building and operation for the above referenced project:

**Building Description:**

White Pine Senior Living is a new Assisted Living facility (with memory care) to be located on 124<sup>th</sup> Lane Northeast in Blaine, MN. The new facility will be located adjacent to White Pine Senior Assisted Living Apartments currently located at 12446 Jamestown Street NE, and operated under the same Ownership group. The proposed building is a 25,616 square foot, 2 story, wood frame facility containing 44 private resident rooms, all of which are fully handicapped accessible. Resident room sizes vary from 220 square feet to 242 square feet each, and contain a private toilet room and built-in wardrobe closet. The entire facility, including all resident rooms, will be equipped with a nurse call and wander guard system which includes emergency pull chords to be used for residence assistance as needed along with door alarm security to notify staff of any unsupervised egress attempts by residents who are at risk of elopement. The facility offers spacious common living areas, activities space, rooms for resident personal care and a centrally located dining/kitchen on each floor. A commercial prep kitchen is located on the main floor adjacent to the common living space and will be utilized to prepare all of the facilities main meals. An elevator is provided near the main kitchen in order to facilitate the transportation of meals to the upper level. The upper floor level is equipped with a smaller residential kitchen, which is intended for occasional resident use and final plating of daily resident meals. The exterior of the facility includes secured outdoor resident living spaces located directly off the central common living space on each floor level.

**Operational Description:**

This assisted living facility is designed to provide supportive services for seniors who don't need the intensive medical care of a skilled nursing facility and is intended to provide a "home-like" environment and comfortable atmosphere with programs and services designed to maximize independence and quality of life. A memory care program is provided to residents who require assistance with Alzheimer's disease or related dementias and memory impairments. 24 hour trained and certified staff members are available on each floor and assist residents with daily living activities such as; personal care, housekeeping and laundry services, health monitoring, coordination of medical needs and assistance with medication management and administration. Activity programs and Resident/Family events are provided to encourage all residents to join in a variety of interactive activities.

**Rent Structures:**

The rent structure is a flat fee, which covers a combination of healthcare, food and real estate costs. The flat fee ranges from \$3,800-\$5,800 per month depending on the level of healthcare provided

**Parking Analysis:**

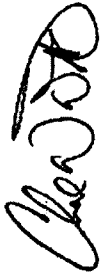
The proposed Site Plan identifies 18 new parking stalls (2 of which are accessible) in addition to the 7 existing stalls already provided on Out lot A for a total of 25 parking stalls. Based on historical data from other operating locations, less than 5% of memory care residents are still operating a motor vehicle (5% of the proposed 44 units = 2 resident vehicle parking stalls). The maximum number of staff in the building at one time varies depending on the level of care of the current residents. Based on historical averages for buildings of this size, the maximum number of staff in the building at one time can range from 4-8. Assuming 1 parking stall per staff member (8 max.) and 2 resident parking stalls, this leaves 15 remaining parking stalls for guests and/or visitors.

**Exterior Materials:**

The colored exterior building elevations provided depict a combination of pre-finished (LP Smartside) composite siding boards with vertical battens at 16" on center; horizontal lap siding and gable end shakes along with accent trim boards and window lineals. A Boulder Creek (Mountain Blend) - "Comforts of Home" cultured stone wainscot and limestone sill are provided at the main level exterior wall as well as at all exterior column bases. The soffit and fascia are to be constructed of pre-finished (LP Smartsoffit) composite panels. A GAF 'Timberline Select 40' architectural asphalt shingle in the 'Barkwood' finish is proposed for the finished roofing material.

If you have any questions I can be reached at [chad@rivervalleyarchitects.com](mailto:chad@rivervalleyarchitects.com) or 715.832.0875.

Sincerely,



Chad W. White  
**RIVER VALLEY ARCHITECTS, INC.**