

Case File No. 14-0005

Blaine Planning Department / 10801 Town Square Dr NE / Blaine, MN 55449 / (763) 785-6180



WOODLAND VILLAGE 6TH ADDITION

CITY OF BLAINE
COUNTY OF ANOKA
SEC. 12, T. 31, R. 23

KNOW ALL PERSONS BY THESE PRESENTS: That Woodland Development Corporation, a Minnesota Corporation, owner of the following described property:

Outlot B, WOODLAND VILLAGE, Anoka County, Minnesota.

Has caused the same to be surveyed and plotted as WOODLAND VILLAGE 6TH ADDITION and do hereby dedicate to the public for public use the drainage and utility easements as shown on this plot.

In witness whereof said Woodland Development Corporation, a Minnesota corporation, has caused these presents to be signed by its proper officer this day of _____, 2014.

WOODLAND DEVELOPMENT CORPORATION

Byron D. Westlund, President

STATE OF MINNESOTA

COUNTY OF _____

This instrument was acknowledged before me this _____ day of _____, 2014 by Byron D. Westlund, as President of Woodland Development Corporation, a Minnesota corporation, on behalf of the corporation.

Notary Public, Minnesota
My commission expires _____

I, Charles R. Christoffersen, do hereby certify that this plot was prepared by me or under my direct supervision; that I am a duly Licensed Land Surveyor in the State of Minnesota; that this plot is a correct representation of the boundary survey; that all mathematical data and labels are correctly designated on this plot; that all monuments depicted on this plot have been, or will be correctly set within one year; that all section boundaries and section corners, as defined in Minnesota Statutes, Section 505.01, Subd. 3, as of the date of this certificate are shown and labeled on this plot; and all public ways are shown and labeled on this plot.

Dated this _____ day of _____, 2014.

STATE OF MINNESOTA

COUNTY OF ANOKA

This instrument was acknowledged before me this _____ day of _____, 2014 by Charles R. Christoffersen.

Charles R. Christoffersen, Licensed Land Surveyor
Minnesota License No. 18420

Notary Public, Minnesota
My commission expires _____

City Council, City of Blaine, Minnesota

This plot of WOODLAND VILLAGE 6TH ADDITION was approved and accepted by the City Council of the City of Blaine, Minnesota at a regular meeting thereof held this _____ day of _____, 2014, and said plot is in compliance with the provisions of Minnesota Statutes, Section 505.03, Subd. 2.

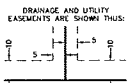
City Council, City of Blaine, Minnesota

By: _____, Mayor By: _____, Clerk

ANOKA COUNTY SURVEYOR

I hereby certify that in accordance with Minnesota Statutes, Section 505.021, Subd. 11, this plot has been reviewed and approved this _____ day of _____, 2014.

Larry D. Holm,
Anoka County Surveyor



Being 10.00 feet in width and adjoining at right of way lines unless otherwise shown on this plot and being 5.00 feet in width and adjoining at side and rear lot lines unless otherwise shown on this plot.

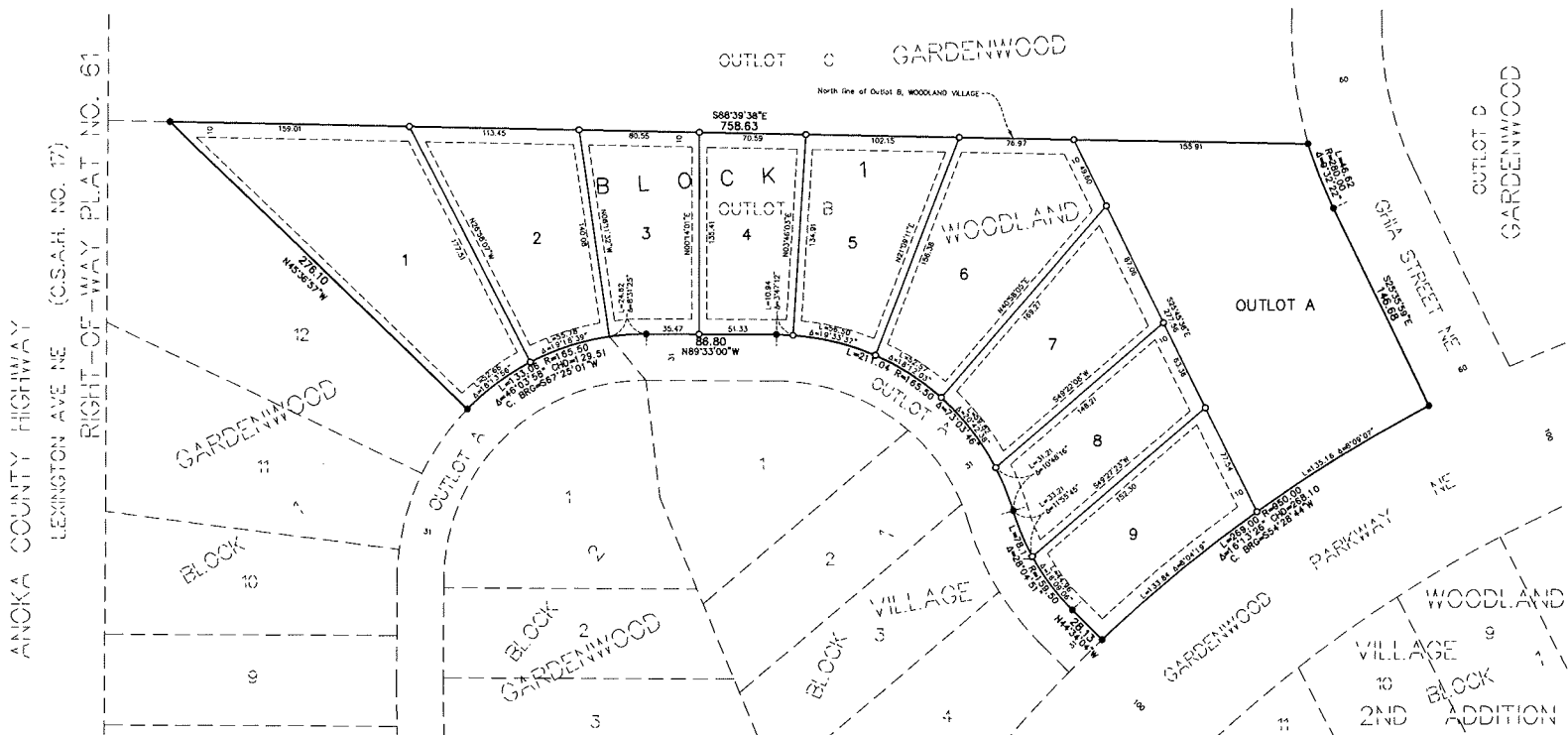


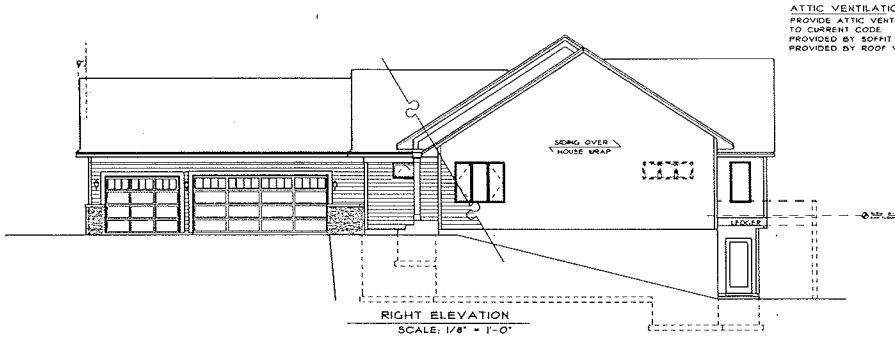
SCALE
1 INCH = 40 FEET

For the purposes of this plot the North line of Outlot B, WOODLAND VILLAGE is assumed to bear S88°39'38"E.

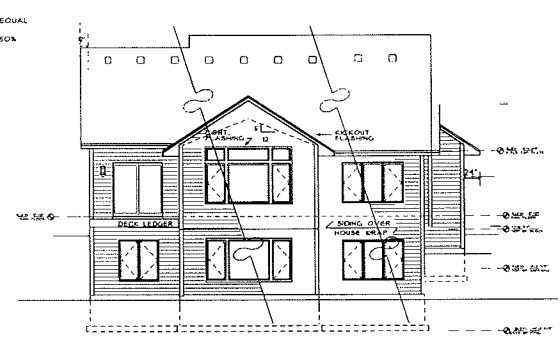
○ Denotes 1/2 inch by 1/4 inch iron monument set and marked with Minnesota License No. 18420.

● Denotes found iron monument

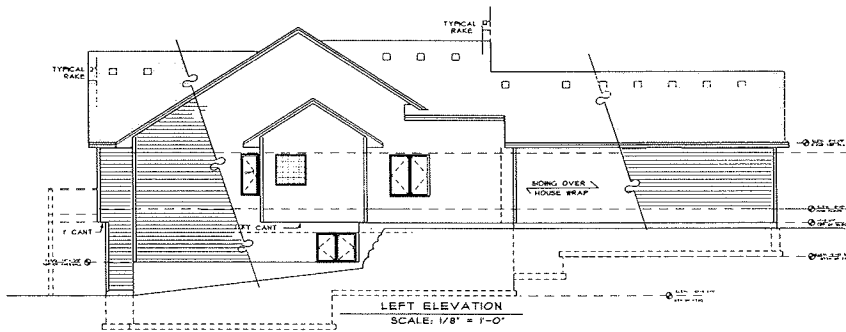




RIGHT ELEVATION
SCALE: 1/8" = 1'-0"



REAR ELEVATION
SCALE: 1/8" = 1'-0"



LEFT ELEVATION
SCALE: 1/8" = 1'-0"

ATTIC VENTILATION
PROVIDE ATTIC VENTILATION EQUAL
TO CURRENT CODE
PROVIDED BY SOFFIT VENTS, SOX
PROVIDED BY ROOF VENTS.

- CATEGORY ONE HOUSE
CATEGORY ONE ENVELOPE REQUIREMENTS WILL BE
MET BY THE BUILDER PROVIDING THE FOLLOWING.
- 1) A INTERIOR VAPOR RETARDER ON INSULATED
CEILING, WALLS AND FLOORS.
 - 2) A CONTINUOUS AIR BARRIER AT ALL PLUMBING
AND HEATING PENETRATIONS.
 - 3) FIRE STOPS WILL BE INSTALLED TO BLOCK AIR
MOVEMENTS INTO THE ATTIC.
 - 4) PENETRATIONS IN THE BUILDING ENVELOPE FOR
ELECTRICAL, TELECOMMUNICATION EQUIPMENT
WILL BE SEALED TO PREVENT AIR LEAKAGE,
(INCLUDING ELECTRICAL BOXES & FAN HOODS)
 - 5) A WIND DASH BARRIER WILL BE INSTALLED AT
THE EXTERIOR EDGE OF THE ATTIC INSULATION.
 - 6) A WINDDASH BARRIER WILL BE INSTALLED AT
OVERHANGS SUCH AS CANTILEVERED FLOORS
AND BAT WINDOWS.
 - 7) ALL WINDOWS AND DOOR FRAMES WILL BE
SEALED.
 - 8) ALL EXTERIOR JOINTS THAT MAY BE A
SOURCE OF AIR INTRUSION WILL BE SEALED.
 - 9) RM JOISTS WILL BE SEALED TO PREVENT
AIR LEAKAGE.
 - 10) TOPS OF INTERIOR PARTITION WALLS WILL BE
SEALED TO PREVENT AIR LEAKAGE.
 - 11) AREAS OR JOINTS WHERE WALL ASSEMBLIES, RM
JOISTS AND FOUNDATIONS ARE JOINED, WILL BE
SEALED TO PREVENT AIR LEAKAGE.

PLATE HEIGHT: 8'-1 1/8"
GARAGE PLATE HEIGHT MATCHES
THAT OF FOYER LEVEL
SOFFIT & FASCIA:
ALUMINUM SOFFIT AND FASCIA
ROOF:
SHINGLES:

PITCH: ALL 8/12
OVERHANG: 2'-0"
GABLE RAKE: 1'-0" UNLESS NOTED

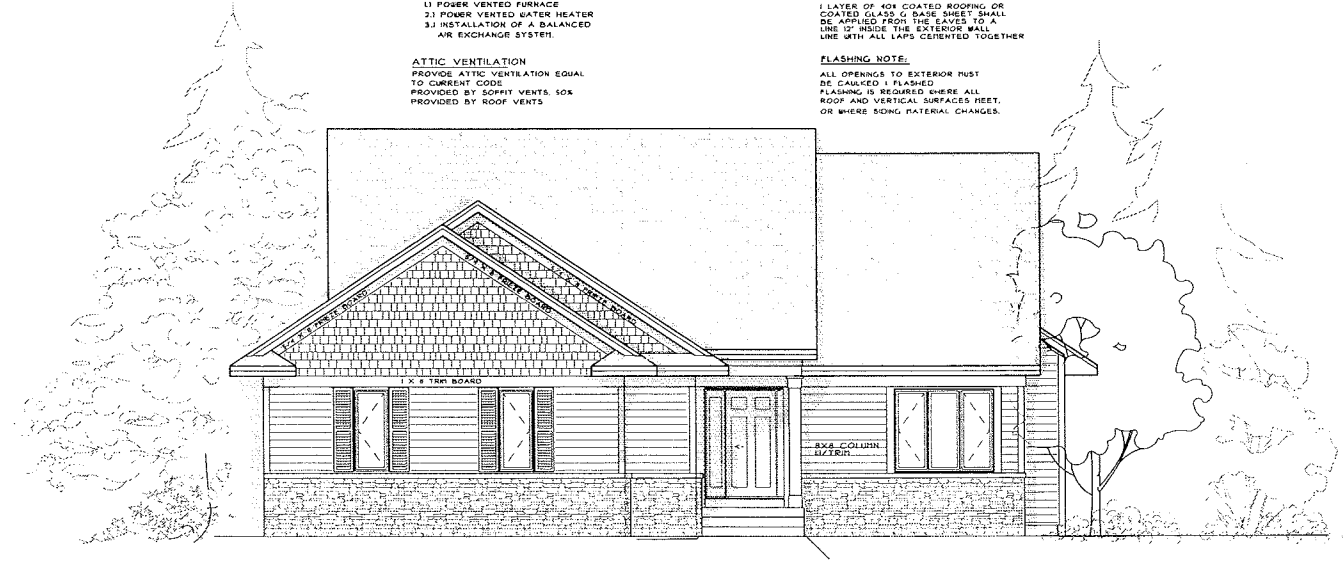
CATEGORY I MECHANICAL & APPLIANCE REQUIREMENTS
WILL BE MET BY THE BUILDER PROVIDING THE FOLLOWING.

- 1) POWER VENTED FURNACE
- 2) POWER VENTED WATER HEATER
- 3) INSTALLATION OF A BALANCED
AIR EXCHANGE SYSTEM.

ATTIC VENTILATION
PROVIDE ATTIC VENTILATION EQUAL
TO CURRENT CODE
PROVIDED BY SOFFIT VENTS, SOX
PROVIDED BY ROOF VENTS.

ICE DAM PROTECTION
1 LAYER OF 40# COATED ROOFING OR
COATED GLASS G. BASE SHEET SHALL
BE APPLIED FROM THE EAVES TO A
LINE 12" INSIDE THE EXTERIOR WALL
LINE WITH ALL LAPS CEMENTED TOGETHER.

FLASHING NOTE:
ALL OPENINGS TO EXTERIOR MUST
BE CAULKED & FLASHED.
FLASHING IS REQUIRED WHERE ALL
ROOF AND VERTICAL SURFACES MEET,
OR WHERE SOING MATERIAL CHANGES.



THE COVENTRY COTTAGE

PLANS AND SPECIFICATIONS ARE THE PROPERTY
OF WOODLAND DEVELOPMENT CORPORATION
AND ARE NOT TO BE REPRODUCED OR USED WITHOUT PERMISSION
OF THE FIRM.

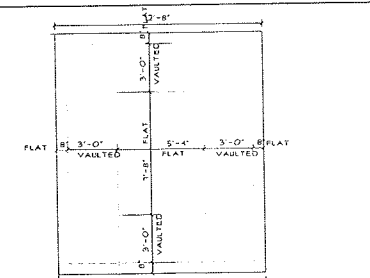
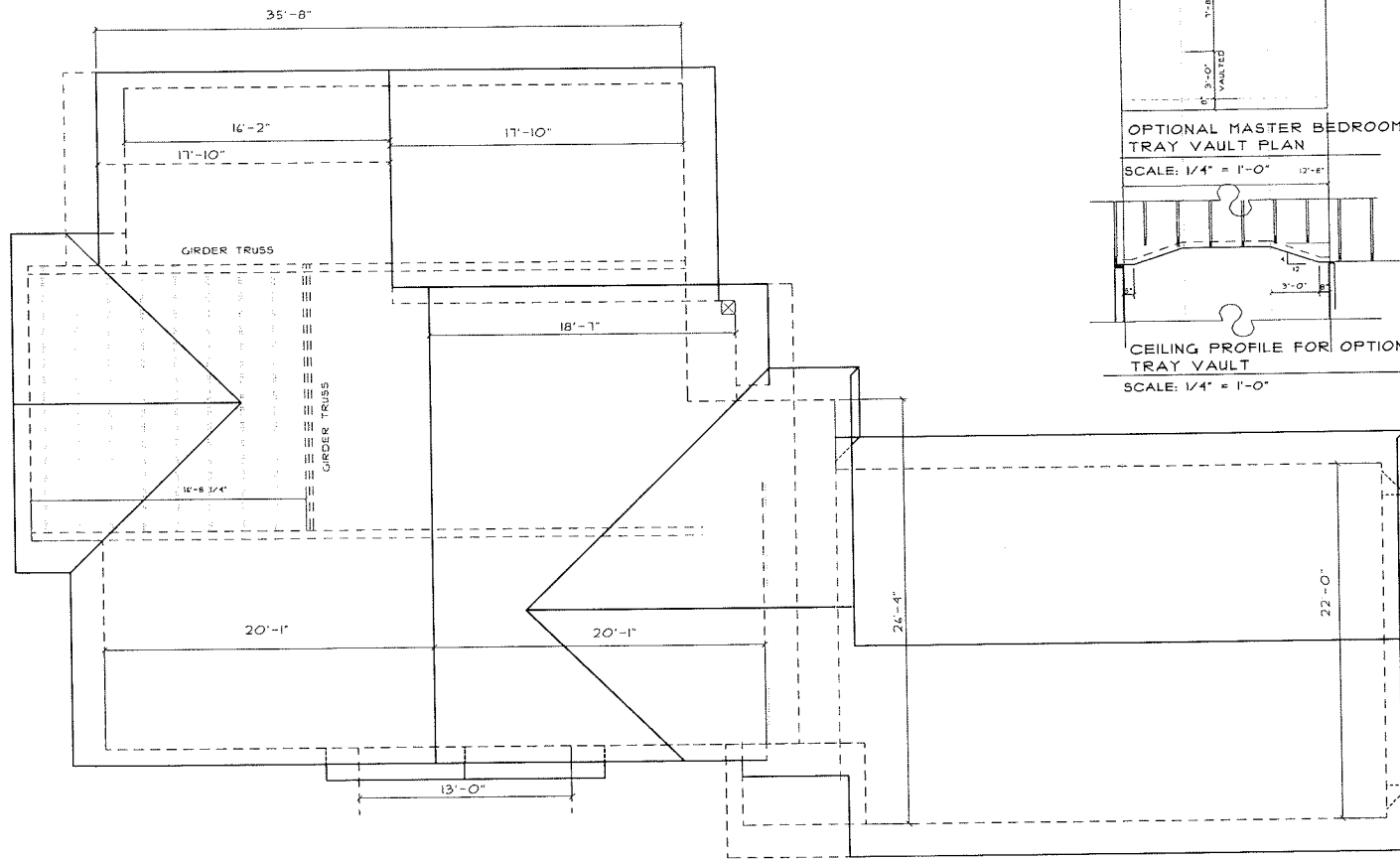
 WOODLAND DEVELOPMENT CORP.
13432 VAN BUREN STREET, NE
HANT LAKE, MN 55304

 LOT 2, BLOCK 2
GARDENWOOD

 WOODLAND'S
COTTAGE MODEL
BY ERSKIN CIRCLE NE
BLAINE, MN 55441

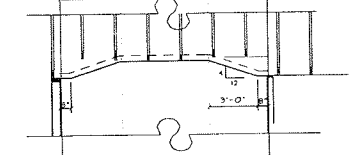
 DATE: BASE
25/07/2013
MODEL PLAN
01/20/2003
REV. PLAN
11/16/2013
REV. PSTR
BATH

 13-044
SHEET NO
A-1



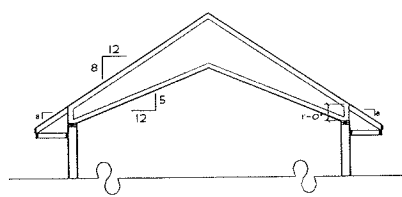
OPTIONAL MASTER BEDROOM TRAY VAULT PLAN

SCALE: 1/4" = 1'-0"



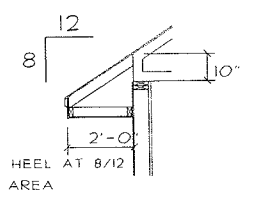
CEILING PROFILE FOR OPTIONAL TRAY VAULT

SCALE: 1/4" = 1'-0"



STANDARD VAULT FOR LIVING ROOM

SCALE: 1/4" = 1'-0"



HEEL DETAIL

SCALE: 1/2" = 1'-0"

ROOF PLAN

SCALE: 1/4" = 1'-0"

COVENTRY MODEL

ROOF NOTES:

- ALL PITCHES AT 8/12
- 24" OVERHANG
- 10" HEEL

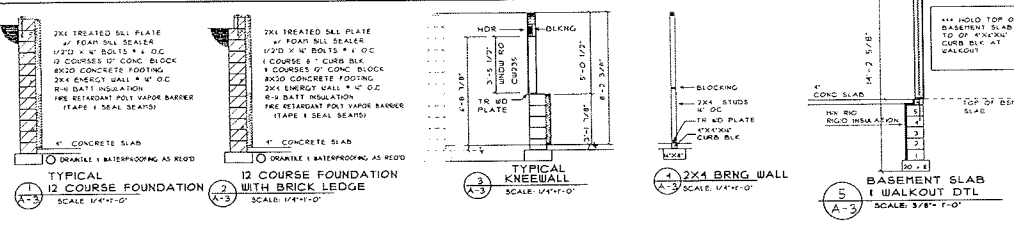
THIS DOCUMENT IS THE PROPERTY OF WOODLAND DEVELOPMENT CORPORATION AND ARE NOT TO BE REPRODUCED WITHOUT PERMISSION OF THE DATE

WOODLAND DEVELOPMENT CORP
 1355 VAN BUREN STREET, NE
 HART LAKE, TN 37041

LOT 2, BLK 2
 GARDENWOOD

WOODLAND'S COVENTRY COTTAGE MODEL
 1715 ERSKIN CIRCLE NE
 BLAINE, TN 35449

DATE BASE 05/09/2013
 MODEL PLAN
 07/20/2013
 REV. PLAN
 11/8/2013
 REV. RSTR
 DATA



EXTERIOR DOORS AND WINDOWS ARE NOTED AS ANDERSON 400 SERIES
NOTE: PASSIVE RADON SYSTEM IS STANDARD

FLOOR SYSTEM:
1ST FLOOR TRUSSES
2X4 TOP 1ST BTM CHORDS
DESIGN TO MINIMUM OF L/480
SPACING PER SUPPLIER

CHECK FOR FLOOR FINISH MATERIAL WEIGHTS ON FLOOR ABOVE.
(GRANITE TOPPED ISLANDS - COUNTERTOPS.)

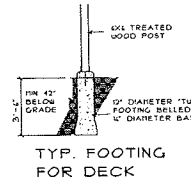
- NOTES:
- 1) UNDO WELLS WITH A VERTICAL DEPTH OF MORE THAN 4\"
 - 2) 4\" MAXIMUM OPENING IN ALL GUARDRAILS
 - 3) GUARDRAIL REQUIRED ON ALL STAIR MORE THAN 3\" ABOVE THE FLOOR
 - 4) SMOKE DETECTORS PROVIDE SMOKE DETECTORS IN EVERY BEDROOM AND THE CORRIDOR GIVING ACCESS TO THE BEDROOM ON EACH FLOOR INCLUDING THE BASEMENT ALSO IN ANY ROOM THAT HAS A CEILING HEIGHT OF 2\" OR MORE THAN THE CORRIDOR TO THE BEDROOMS
 - 5) NITE ON ALL PLANS NOEL STUDS SHALL UNDO AND PATIO DR HEADERS PROVIDE SOLID STUD BEARING UNDER ALL POINT LOADS

1) SOL BEARING IS ASSUMED TO BE 2000#/SQ FT VERIFY WITH SITE
**NOTE:
12 COURSES OF BLOCK

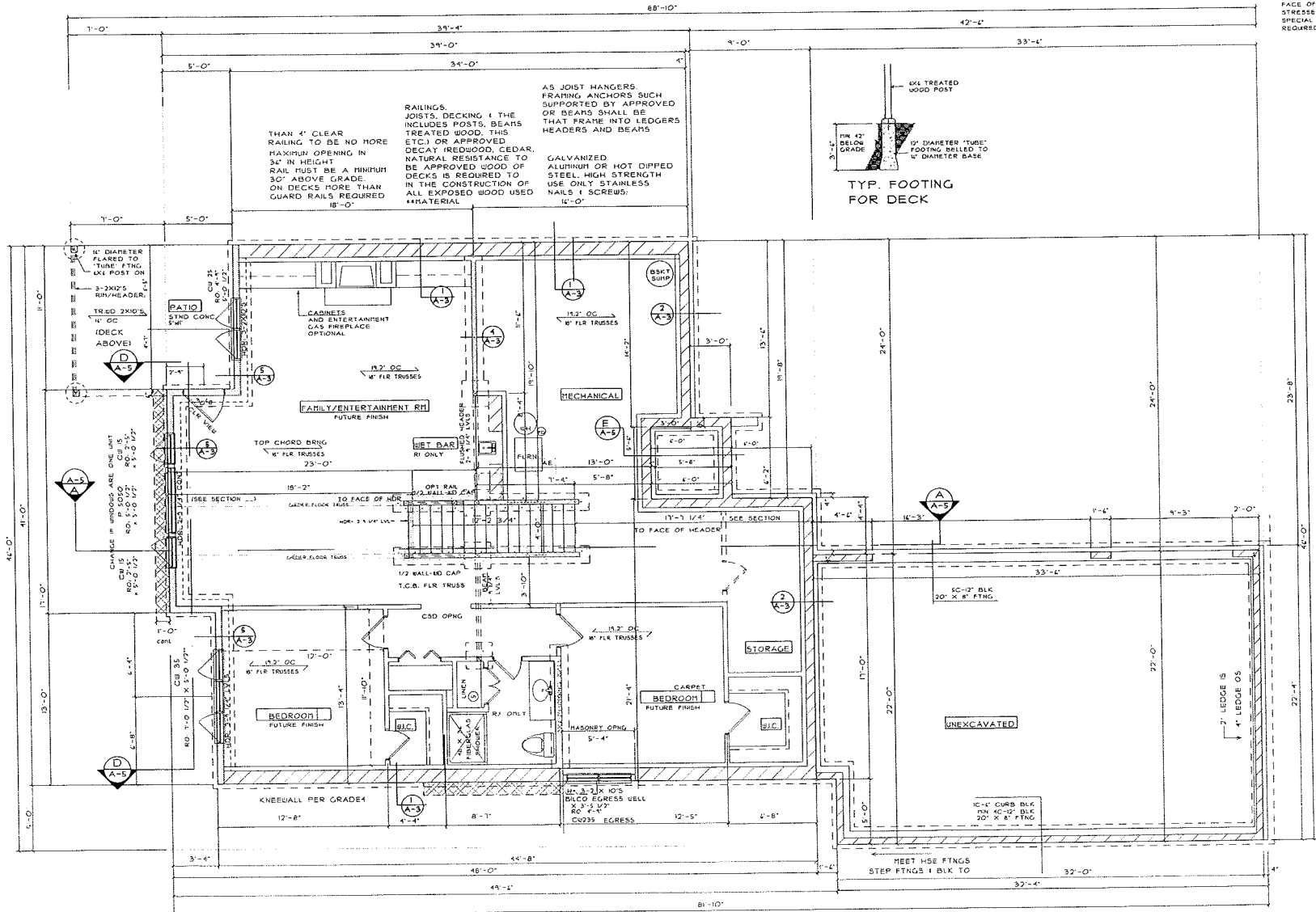
BLOCK REINFORCING CHART

HGT	MAX BACK-SEM. DEL. DEPTH	SEM. FORCING
12\"	4\" FT	HOLLOW
12\"	4\" FT	GROUDED
12\"	4\" FT	ALL
12\"	4\" FT	HALY GROUTED
12\"	4\" FT	ALL\"
12\"	4\" FT	ALL\"
12\"	4\" FT	ALL\"

NOTE: REINFORCING STEEL TO BE PLACED NO MORE THAN 4\" FROM INSIDE (TENSION) FACE OF WALL. HALF RASBONET STRESSES USED WITH NO SPECIAL INSPECTIONS REQUIRED.



TYP. FOOTING FOR DECK



WALKOUT BASEMENT FOUNDATION PLAN
SCALE: 1/4\"/>

THE COVENTRY COTTAGE

WOODLAND DEVELOPMENT CORP
1832 VAN BUREN STREET, NE
HATTI LAKE, TN 35204

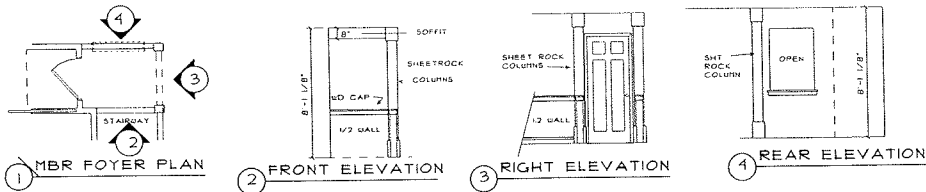
LOT 2, BLOCK 2
GARDENWOOD

WOODLAND'S
COVENTRY COTTAGE MODEL
1175 ERSKIN CIRCLE NE
BLAINE, TN 35419

DATE BASE
05/04/2013
MODEL PLAN
04/28/2013
REV PLAN
8/18/2013
NEW RSTR
8/24/13

13-044
SHEET NO

A-3



GENERAL CONSTRUCTION NOTES:

- 1) ONE WINDOW IN EACH SLEEPING ROOM SHALL HAVE 5.1 SQ FT OF NET OPENABLE AREA AND HEIGHT OF 20" WITH MAXIMUM SILL HEIGHT OFF OF FLOOR IS 4"
 - 2) 4" MAXIMUM OPENING IN ALL GUARDRAILS
 - 3) GUARDRAILS REQUIRED ON THE OPEN SIDE OF ANY STAIR OR PLATFORM MORE THAN 30" OFF OF OR ABOVE THE FLOOR.
- NOTE ON ALL PLANS: DOBL STUDS SHALL OF THE SMOKE AND PATIO DOOR HDRS & POINT LOADS UNLESS NOTED OTHERWISE
- PROVIDE SOLID BEARING UNDER ENDS OF BEAMS, POINT LOADS, GIRDERS, TRUSSES, ETC. TRANSFER LOADS WITH BLOCKING, ALL THE WAY DOWN TO FOUNDATION & FOOTINGS. SIZE FOOTINGS WITH THE SOIL BEARING CAPACITY AT THE SITE.

SMOKE ALARMS:

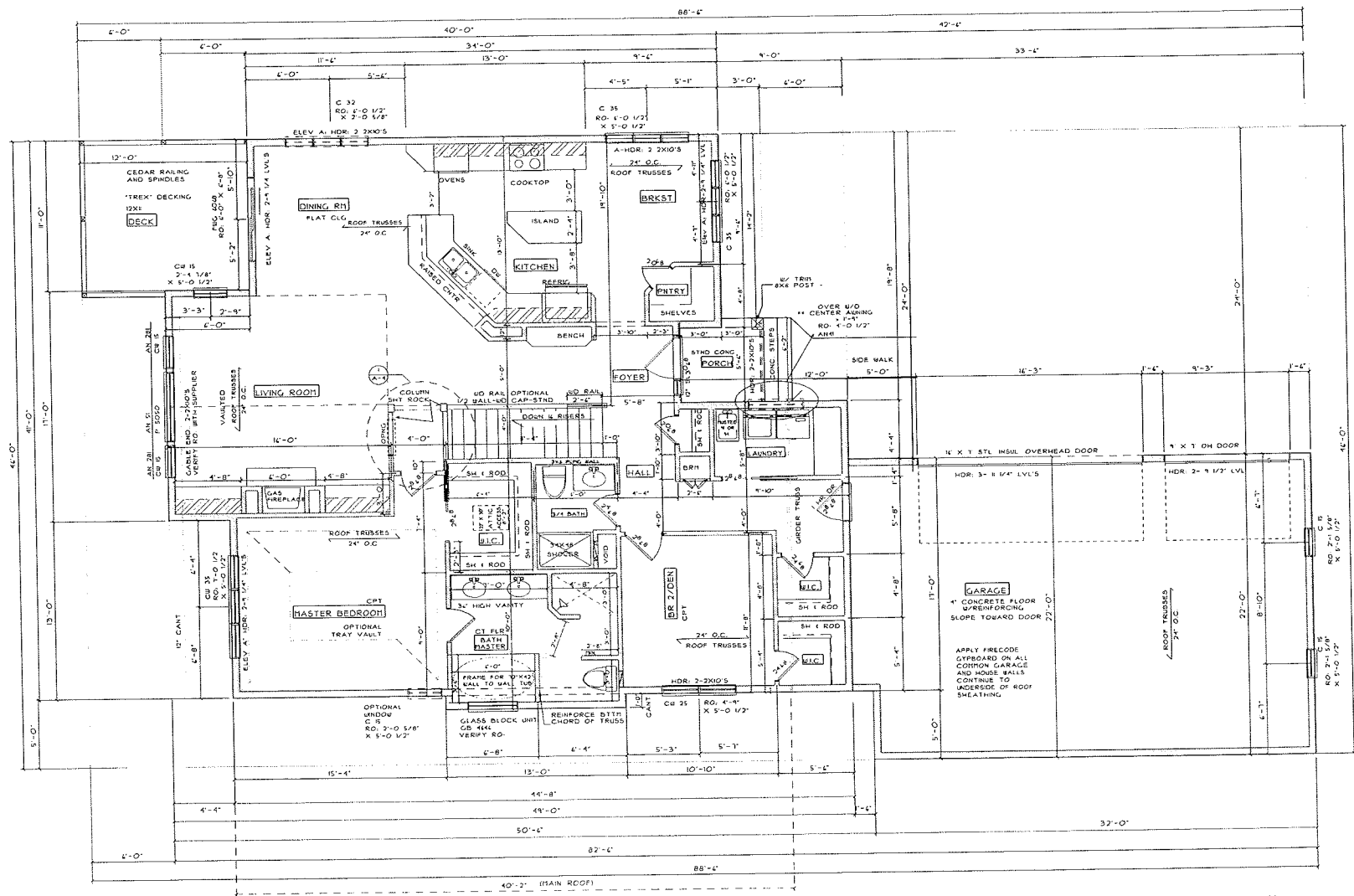
PROVIDED AND INSTALLED PER IRC SECTION 903.2.1

PROVIDE SMOKE DETECTORS IN EVERY BEDROOM AND IN THE CORRIDOR GIVING ACCESS TO THE BEDROOM ON ALL FLOORS INCLUDING THE BASEMENT. ADD A SMOKE DETECTOR IN ANY ROOM WITH A CEILING HEIGHT MORE THAN 24" HIGHER THAN THE CORRIDORS ACCESSING THE BEDROOMS

CARBON MONOXIDE ALARMS:

PROVIDED AND INSTALLED PER MINNESOTA STATUTE 249F.50

PERMITS AND APPROVALS ARE THE RESPONSIBILITY OF THE CLIENT AND ARE NOT USED WITHOUT PERMISSION OF THE BUREAU.



MAIN FLOOR PLAN
SCALE: 1/4" = 1'-0"

Area=1,689 sq ft

THE COVENTRY COTTAGE

WOODLAND DEVELOPMENT CORP
19432 VAN BUREN STREET, NE
HAT LAKE, TN 37064

LOT 2, BLOCK 2
GARDENWOOD

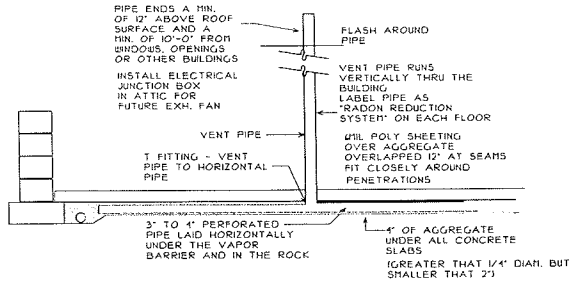
WOODLAND'S
COVENTRY COTTAGE MODEL
LITTLE BRSKIN CIRCLE NE
BLAINE, TN 37141

DATE BASE
25/01/2013
MODEL PLAN
25/20/2013
REV. PLAN
3/28/2013
REV. PSTR
REV. 14

13-044
SHEET 10
A-4

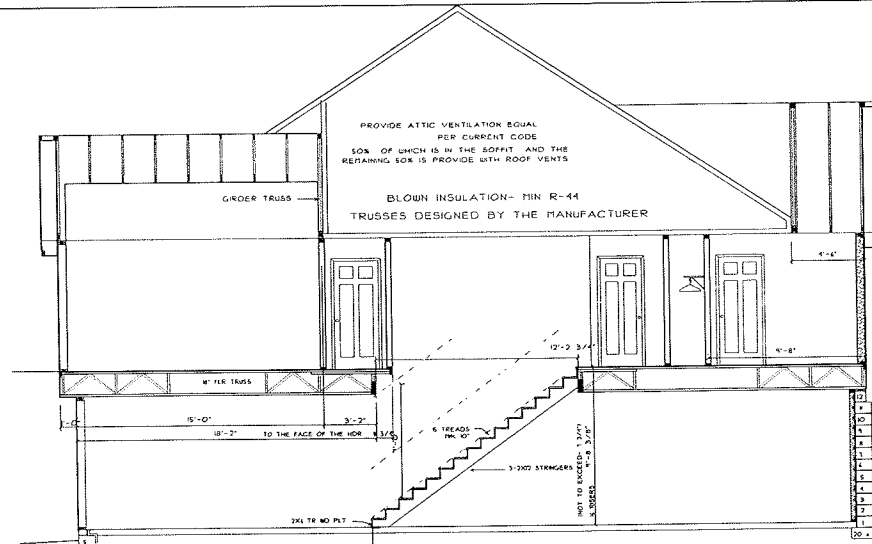
RESIDENTIAL STAIRS

- 1) STAIRS WITH 4 OR MORE RISERS REQUIRE A CONTINUOUS HANDRAIL ON ONE SIDE WITH NO OPEN ENDS IDENTIFIED FROM 34" TO 36" ABOVE THE NOSING OF THE TREADS AND HAVE NO SHARP EDGES
- 2) CLEAR WIDTH MUST BE 36" ABOVE THE HANDRAIL AND 34" BENEATH THE HANDRAIL WITH A HANDRAIL ON BOTH SIDES. THE CLEAR WIDTH AT AND BELOW THE HANDRAILS SHALL BE 27" MINIMUM
- 3) STAIRS AND LANDINGS REQUIRE A RAKE OF INSULATION
- 4) HANDRAILS MUST SUPPORT A 200LB LOAD APPLIED AT ANY POINT ALONG THE TOP
- 5) OPEN SIDES OF STAIRS MORE THAN 30" ABOVE THE FLOOR OR GRADE SHALL HAVE GUARDS OR RAILINGS NOT LESS THAN 36" HIGH ABOVE THE NOSING OF THE TREADS TO THE TOP OF RAILING
- 6) OPENINGS FOR GUARDS ALONG THE SOLE OF THE STAIRS MUST BE LESS THAN 4 1/2"
- 7) IRREGULAR OPENINGS FORMED BY THE RISER INHEAD AND BOTTOM GUARD OF THE RAKE MUST BE LESS THAN 6"
- 8) RAKE RISER HGT IS 3 3/4" WITH OPENINGS LESS THAN 6" FROM TREADS. RISER HGT OF THE OPENING MUST BE LESS THAN 1/2" DEPTH SHALL NOT EXCEED 1/2" SHALL BE NOT MORE THAN 1/2"



PASSIVE RADON SYSTEM

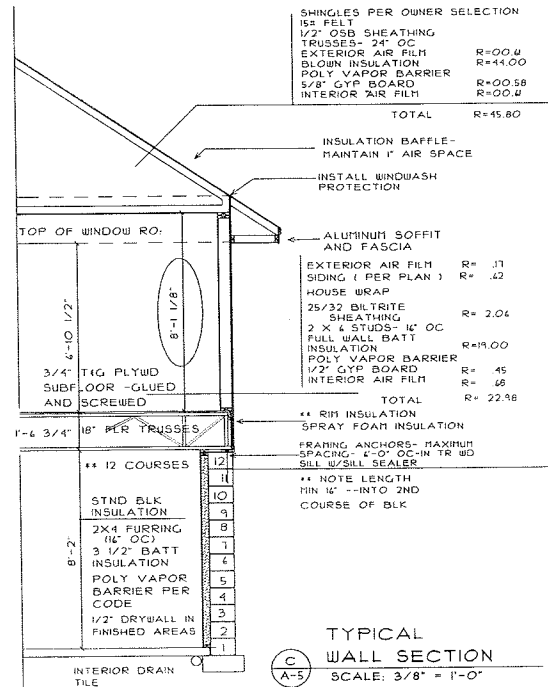
SCALE: 1/2" = 1'-0"



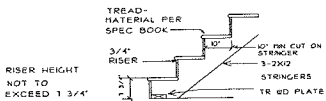
A BUILDING SECTION
SCALE: 1/4" = 1'-0"

ICE DAM PROTECTION

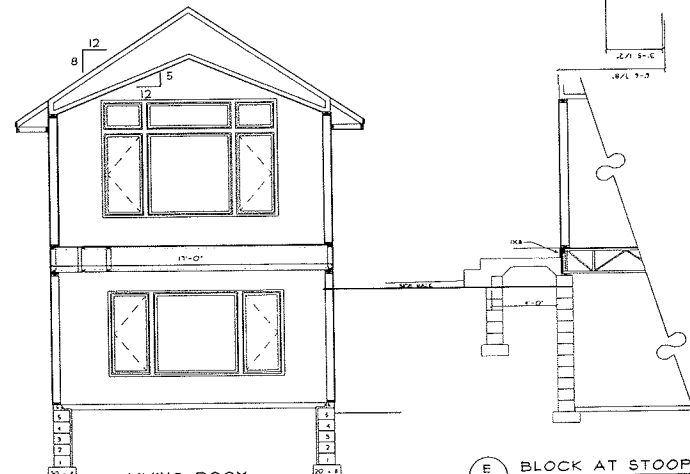
1 LAYER OF 40# COATED ROOFING OR COATED GLASS G BASE SHEET SHALL BE APPLIED FROM THE EAVES TO A LINE 12" INSIDE THE EXTERIOR WALL OR LINE WITH ALL LAPS CEMENTED TOGETHER



C TYPICAL WALL SECTION
SCALE: 3/8" = 1'-0"



B TYPICAL STAIR DETAIL
SCALE: 1/2" = 1'-0"



D LIVING ROOM BUILDING SECTION
SCALE: 1/4" = 1'-0"

E BLOCK AT STOOP
SCALE: 1/4" = 1'-0"