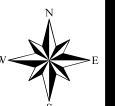


**Case File No. 18-0030**  
**Radisson Woods on Main**

Blaine Planning Department / 10801 Town Square Dr NE / Blaine, MN 55449 / (763) 785-6180





PRELIMINARY PLAT OF:  
**RADISSON WOODS ON MAIN**

**OWNER:**  
**21ST CENTURY BANK**  
**9380 CENTRAL AVE. NE**  
**BLAINE, MN 55434**

**DEVELOPER:**  
**SHADE TREE CONSTRUCTION**  
**1696 229TH LN. NE**  
**BETHEL, MN 55005**

**PROPERTY DESCRIPTION:**

**PARCEL A:** (PIN 04-31-23-34-0001)  
That part of the Southeast Quarter of the Southwest Quarter of Section 4, Township 31, Range 23, Anoka County, Minnesota lying southerly of the north 450 feet of the South Three Quarters of said Southwest Quarter of the Southwest Quarter EXCEPT the north 27 feet of the south 60 feet of the west 500 feet of said Southwest Quarter of the Southwest Quarter.

**PARCEL B:** (PIN 04-31-23-43-0001)  
The Southwest Quarter of the Southeast Quarter of Section 4, Township 31, Range 23, Anoka County, Minnesota EXCEPT Parcel 5, ANOKA COUNTY HIGHWAY RIGHT OF WAY PLAT NO. 95.

**PARCEL C:** (PIN 04-31-23-34-0024)  
Outlot A, PARTRIDGE PRESERVE SOUTH 2ND ADDITION, Anoka County, Minnesota.

**PARCEL D:** (PIN 04-31-23-34-0017)  
Outlot A, PARTRIDGE PRESERVE SOUTH, Anoka County, Minnesota.

**PARCEL E:** (PIN 04-31-23-42-0021)  
Outlot A, PARTRIDGE PRESERVE, Anoka County, Minnesota.

**CURRENT ZONING:**

Parcels A and B are currently zoned FR (Farm Residence) and Parcels C, D and E are currently zoned R-1AA (Single Family)

Setback Requirements:

FR (Farm Residence)  
Front = 45 feet  
Rear = 30 feet  
Side = 20 feet  
Side (corner) = 45 feet

R-1AA (Single Family)  
Front = 30 feet  
Rear = 30 feet  
Side (house) = 10 feet  
Side (garage) = 5 feet  
Side (corner) = 20 feet

Property to be rezoned to DF (Development Flex). No fixed standards apply to the Development Flex District.

**LEGEND**

- DENOTES IRON MONUMENT FOUND AS LABELED
- DENOTES IRON MONUMENT SET, MARKED RLS# 41578
- DENOTES ANOKA COUNTY CAST IRON MONUMENT
- DENOTES CATCH BASIN
- DENOTES ELECTRICAL BOX
- ⊕ DENOTES ELECTRICAL MANHOLE
- ⊕ DENOTES EXISTING SPOT ELEVATION
- DENOTES FIBER OPTIC BOX
- DENOTES GUY WIRE
- DENOTES HAND HOLE
- ⊕ DENOTES SANITARY SEWER MANHOLE
- DENOTES HYDRANT
- DENOTES POWER POLE AND OVERHEAD WIRES
- DENOTES STORM SEWER APRON
- DENOTES STORM SEWER MANHOLE
- DENOTES EXISTING SANITARY SEWER
- DENOTES EXISTING STORM SEWER
- DENOTES BITUMINOUS SURFACE
- DENOTES CONCRETE SURFACE
- DENOTES GRAVEL SURFACE
- DENOTES RESTRICTED ACCESS
- DENOTES EDGE OF WETLAND

**VICINITY MAP**

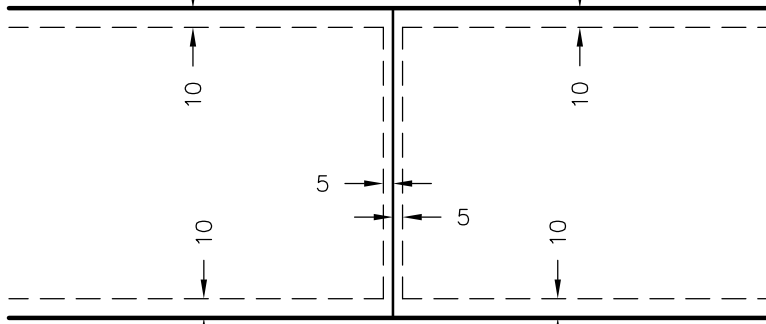
PART OF SEC. 4, TWP. 31, RNG. 23



ANOKA COUNTY, MINNESOTA  
(NO SCALE)

**EASEMENT DETAIL**

DRAINAGE AND UTILITY EASEMENTS ARE SHOWN THUS:



BEING 5 FEET IN WIDTH AND ADJOINING SIDE LOT LINES AND 10 FEET IN WIDTH AND ADJOINING STREET LINES AND REAR LOT LINES, UNLESS OTHERWISE SHOWN ON THIS PLAT.

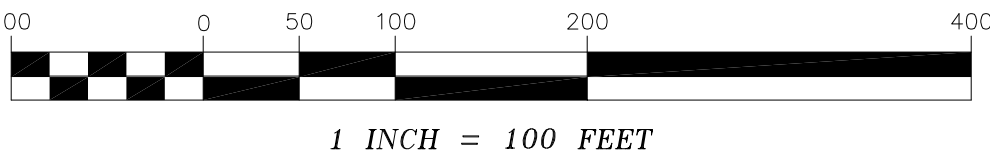
**NOTES**

- Field survey was completed by E.G. Rud and Sons, Inc. on 3/27/17 and 4/2/17.
- Bearings shown are on Anoka County datum.
- Curb shots are taken at the top and back of curb.
- Wetland delineation completed by Midwest Natural Resources, Inc.
- This survey was prepared without the benefit of title work. Additional easements, restrictions and/or encumbrances may exist other than those shown hereon. Survey subject to revision upon receipt of a current title commitment or an attorney's title opinion.
- Total parcel area = 2,597,765 sq. ft. (59.64 acres)

I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Registered Land Surveyor under the laws of the State of Minnesota.

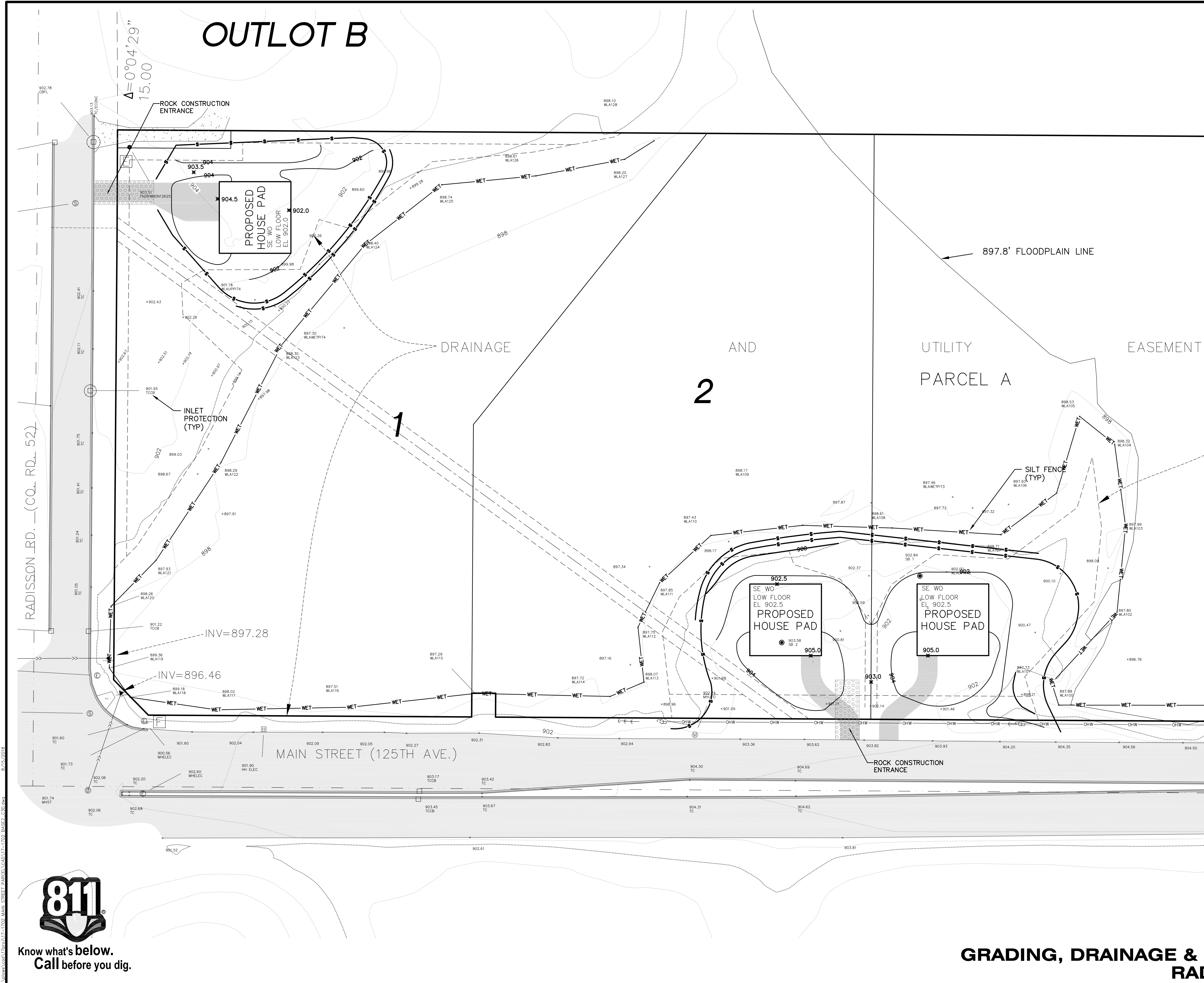
JASON E. RUD  
Date: 10/31/2018 License No. 41578

**GRAPHIC SCALE**



DRAWN BY:	BAB	JOB NO:	18200PP	DATE:	4/5/18
CHECK BY:	JER	SCANNED	<input type="checkbox"/>		
1	9/12/18	CITY COMMENTS	BAB		
2	10/31/18	UPDATE BOUNDARY AND LOTS	BAB		
3					
NO.	DATE	DESCRIPTION	BY		





### GRADING, DRAINAGE & EROSION CONTROL NOTES

PRIOR TO ANY GRADING OPERATIONS, THE CONTRACTOR SHALL PROVIDE WIMCO INLET PROTECTION (OR OTHER APPROVED EQUAL) FOR ALL STORM SEWER INLETS THAT WILL RECEIVE RUN-OFF FROM CONSTRUCTION ACTIVITIES.

CONTRACTOR TO PROVIDE TOPSOIL STOCKPILES AT LOCATION DESIGNATED BY OWNER. PLACE STOCKPILES AS FAR FROM DRAINAGE WAYS AS POSSIBLE. PROVIDE SILT FENCE AT DOWNSTREAM SIDE OF STOCKPILE LOCATIONS. IF STOCKPILE IS TO BE IN-PLACE LONGER THAN 7 DAYS, PROVIDE SEED AND MULCH.

THE CONTRACTOR SHALL PROVIDE ALL SOD, SEED, MULCH AND FERTILIZER WHICH SHALL CONFORM WITH THE FOLLOWING MNDOT SPECIFICATIONS AS MODIFIED BELOW.

ITEM	MNDOT SPECIFICATION/NOTES
SOD	3878
SEED **	3876
* FOR TURF ESTABLISHMENT	
COMMERCIAL TURF	MNDOT MIX 25-131 (220 LBS/ACRE)
RESIDENTIAL TURF	MNDOT MIX 25-131 (120 LBS/ACRE)
TEMPORARY FALL COVER	MNDOT MIX 21-112 (100 LBS/ACRE)
SPRING/SUMMER	MNDOT MIX 21-111 (100 LBS/ACRE)
SOIL-BUILDING COVER	MNDOT MIX 21-113 (100 LBS/ACRE)
1-2 YEARS COVER	MNDOT MIX 22-111 (30.5 LBS/ACRE)
2-5 YEARS COVER	MNDOT MIX 22-112 (40 LBS/ACRE)
MULCH	3882 (TYPE 1 - DISC ANCHORED)
FERTILIZER	3881
WOOD FIBER BLANKET	3885 (CATEGORY 2)

- \* MOW A MINIMUM OF:
  - RESIDENTIAL TURF - ONCE PER 2 WEEKS
  - COMMERCIAL TURF - ONCE PER 4 WEEKS
- \*\* SEEDING AREAS SHALL BE EITHER MULCHED OR COVERED BY FIBROUS BLANKETS TO PROTECT SEEDS AND LIMIT EROSION.

ALL EROSION AND SEDIMENT CONTROL MEASURES SHOWN ON THE PLANS OR IMPLEMENTED IN THE FIELD SHALL BE IN ACCORDANCE WITH THE CITY AND NPDES PHASE II PERMIT REQUIREMENTS, AND THE MPCA'S "PROTECTING WATER QUALITY IN URBAN AREAS BEST MANAGEMENT PRACTICES FOR MINNESOTA."

THE CONTRACTOR SHALL PROVIDE DESIGNATED CONCRETE TRUCK WASHOUT AREA WITH APPROPRIATE SIGNAGE. WASHOUT AREA IS TO BE A MINIMUM OF 50' FROM STORM DRAINS, DITCHES, PONDS, OR OTHER STORMWATER FEATURES. ALL LIQUID AND SOLID WASTE GENERATED BY CONCRETE WASHOUT OPERATIONS MUST BE CONTAINED IN A LEAK-PROOF CONTAINMENT FACILITY OR IMPERMEABLE LINER (E.G. COMPACTED CLAY LINER, IMPERMEABLE GEO-MEMBRANE). AFTER WASTE CONCRETE IS SET, BREAK-UP AND DISPOSE OF PROPERLY.

THE CONTRACTOR SHALL MAINTAIN SILT FENCE, INCLUDING THE REMOVAL OF ACCUMULATED SEDIMENT, THROUGH COMPLETION OF BUILDING CONSTRUCTION. SILT FENCE TO BE REMOVED ONLY AFTER COMPLETION OF BUILDING CONSTRUCTION AND UPON ESTABLISHMENT OF VEGETATION.

THE CONTRACTOR SHALL PAY SPECIAL ATTENTION TO ALL ADJACENT PROPERTY LINES AND MAKE SURE THE EROSION CONTROL PRACTICES IN-PLACE IN THOSE AREAS PREVENT MIGRATION OF SEDIMENT ONTO ADJACENT PROPERTIES.

THE CONTRACTOR SHALL PROVIDE WOOD FIBER BLANKET FOR ALL AREAS OF CONCENTRATED FLOW AND FOR ALL SLOPES 3:1 OR GREATER.

IF ANY SLOPES APPEAR TO BE FAILING, THE CONTRACTOR SHALL PROVIDE ADDITIONAL SILT FENCE, BIOROLLS AND EROSION CONTROL BLANKET AS NEEDED.

THE CONTRACTOR SHALL FINAL GRADE SWALE AREAS UPON STABILIZATION OF UPSTREAM AREAS.

THE CONTRACTOR SHALL SOD ALL DISTURBED DRAINAGE AREAS, INCLUDING SWALES, OVERFLOWS, AROUND STORM SEWER FLARED-END SECTIONS, AND OFF-STREET CATCH BASINS.

UPON GRADING COMPLETION THE CONTRACTOR SHALL PROVIDE NATIVE TOPSOIL, SEED, AND MULCH ANCHORED WITH A STRAIGHT SET DISC WITHIN 48 HOURS OF FINAL GRADING.

EXCESS SOIL SHOULD BE TREATED LIKE OTHER EXPOSED SOIL AND STABILIZED WITHIN 72 HOURS. ANY SOIL STOCKPILES ARE TO HAVE SILT FENCE PLACED ON DOWNSTREAM SIDES AND SHALL NOT BE PLACED IN SURFACE WATERS.

ADJACENT STREETS SHALL BE KEPT CLEAN OF CONSTRUCTION MATERIALS, DIRT, AND OTHER UNDESIRABLE MATERIALS. WHEN MATERIALS OR DEBRIS HAVE WASHED/FLOWED ONTO ADJACENT STREETS, IT IS THE CONTRACTOR'S RESPONSIBILITY TO SWEEP/SCRAPE STREETS AS NECESSARY OR AS DIRECTED BY THE CITY.

DRAWN BY:  
R.W.  
CHKD BY:  
C.W.P.

DESIGN BY:  
R.K.A.  
PROJ. NO.  
17-1702  
ORIGINAL DATE:  
JUNE 02, 2017

DATE	REVISION DESCRIPTION	CCWD COMMENTS
8/14/18		

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

**Charles W. Plowe**  
CHARLES W. PLOWE  
LIC. NO. 16227  
DATE: 08.14.2018

**RADISSON WOODS ON MAIN**  
BLAINE, MINNESOTA  
GRADING PLAN

PREPARED FOR:  
**21ST CENTURY BANK**

**Plowe Engineering, Inc.**  
6776 LAKE DRIVE  
SUITE 110  
LINO LAKES, MN 55014  
PHONE: (651) 361-8210  
FAX: (651) 361-8701

**NORTH**

0 20 40  
1 INCH = 10 FEET

**C2.1**



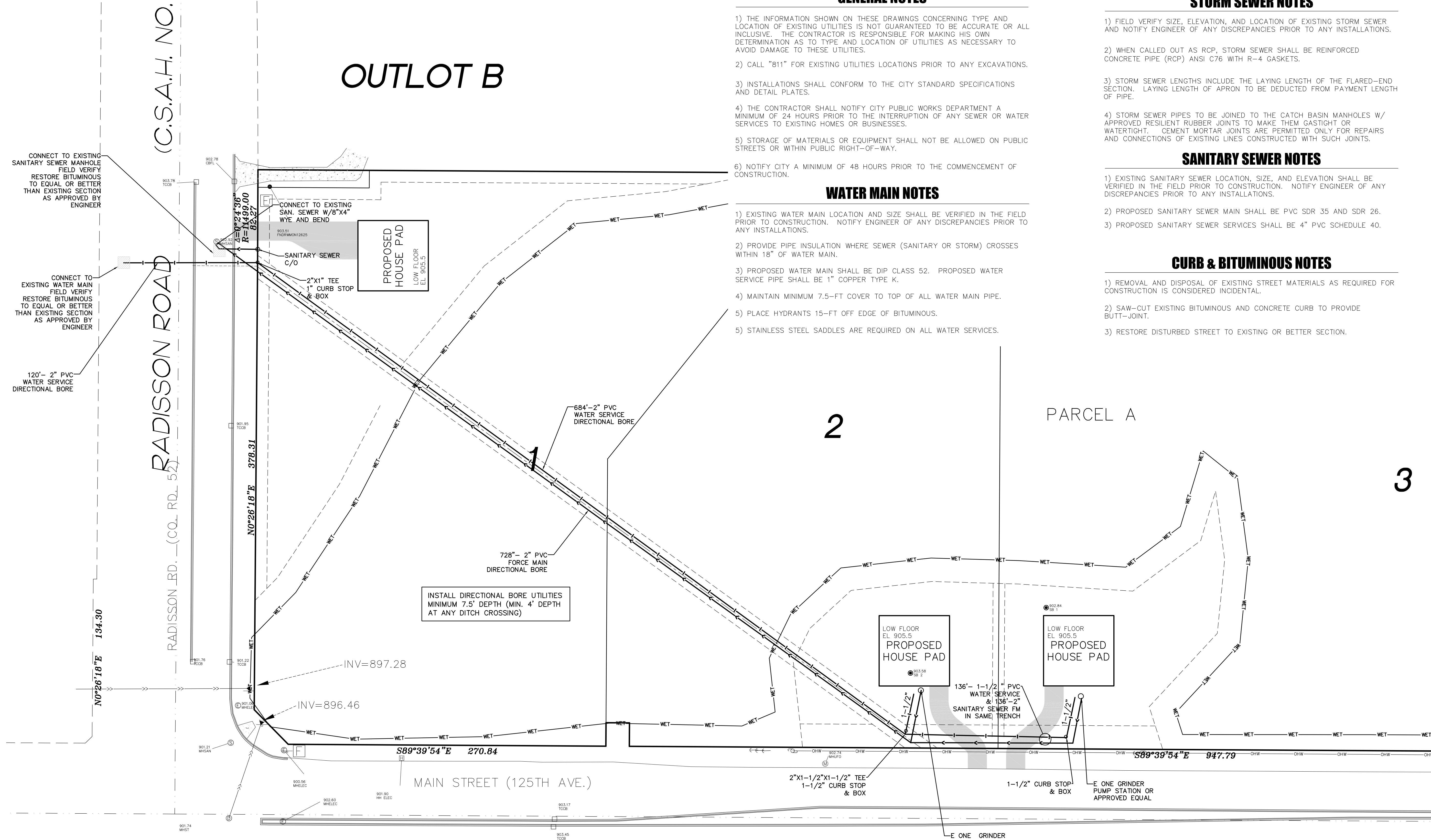
Know what's below.  
Call before you dig.

## GRADING, DRAINAGE & EROSION CONTROL PLAN RADISSON WOODS ON MAIN





OUTLOT B



GENERAL NOTES

- 1) THE INFORMATION SHOWN ON THESE DRAWINGS CONCERNING TYPE AND LOCATION OF EXISTING UTILITIES IS NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIS OWN DETERMINATION AS TO TYPE AND LOCATION OF UTILITIES AS NECESSARY TO AVOID DAMAGE TO THESE UTILITIES.
- 2) CALL "811" FOR EXISTING UTILITIES LOCATIONS PRIOR TO ANY EXCAVATIONS.
- 3) INSTALLATIONS SHALL CONFORM TO THE CITY STANDARD SPECIFICATIONS AND DETAIL PLATES.
- 4) THE CONTRACTOR SHALL NOTIFY CITY PUBLIC WORKS DEPARTMENT A MINIMUM OF 24 HOURS PRIOR TO THE INTERRUPTION OF ANY SEWER OR WATER SERVICES TO EXISTING HOMES OR BUSINESSES.
- 5) STORAGE OF MATERIALS OR EQUIPMENT SHALL NOT BE ALLOWED ON PUBLIC STREETS OR WITHIN PUBLIC RIGHT-OF-WAY.
- 6) NOTIFY CITY A MINIMUM OF 48 HOURS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.

WATER MAIN NOTES

- 1) EXISTING WATER MAIN LOCATION AND SIZE SHALL BE VERIFIED IN THE FIELD PRIOR TO CONSTRUCTION. NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO ANY INSTALLATIONS.
- 2) PROVIDE PIPE INSULATION WHERE SEWER (SANITARY OR STORM) CROSSES WITHIN 18" OF WATER MAIN.
- 3) PROPOSED WATER MAIN SHALL BE DIP CLASS 52. PROPOSED WATER SERVICE PIPE SHALL BE 1" COPPER TYPE K.
- 4) MAINTAIN MINIMUM 7.5'-FT COVER TO TOP OF ALL WATER MAIN PIPE.
- 5) PLACE HYDRANTS 15'-FT OFF EDGE OF BITUMINOUS.
- 5) STAINLESS STEEL SADDLES ARE REQUIRED ON ALL WATER SERVICES.

STORM SEWER NOTES

- 1) FIELD VERIFY SIZE, ELEVATION, AND LOCATION OF EXISTING STORM SEWER AND NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO ANY INSTALLATIONS.
- 2) WHEN CALLED OUT AS RCP, STORM SEWER SHALL BE REINFORCED CONCRETE PIPE (RCP) ANSI C76 WITH R-4 GASKETS.
- 3) STORM SEWER LENGTHS INCLUDE THE LAYING LENGTH OF THE FLARED-END SECTION. LAYING LENGTH OF APRON TO BE DEDUCTED FROM PAYMENT LENGTH OF PIPE.
- 4) STORM SEWER PIPES TO BE JOINED TO THE CATCH BASIN MANHOLES W/ APPROVED RESILIENT RUBBER JOINTS TO MAKE THEM GASTIGHT OR WATERTIGHT. CEMENT MORTAR JOINTS ARE PERMITTED ONLY FOR REPAIRS AND CONNECTIONS OF EXISTING LINES CONSTRUCTED WITH SUCH JOINTS.

SANITARY SEWER NOTES

- 1) EXISTING SANITARY SEWER LOCATION, SIZE, AND ELEVATION SHALL BE VERIFIED IN THE FIELD PRIOR TO CONSTRUCTION. NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO ANY INSTALLATIONS.
- 2) PROPOSED SANITARY SEWER MAIN SHALL BE PVC SDR 35 AND SDR 26.
- 3) PROPOSED SANITARY SEWER SERVICES SHALL BE 4" PVC SCHEDULE 40.

CURB & BITUMINOUS NOTES

- 1) REMOVAL AND DISPOSAL OF EXISTING STREET MATERIALS AS REQUIRED FOR CONSTRUCTION IS CONSIDERED INCIDENTAL.
- 2) SAW-CUT EXISTING BITUMINOUS AND CONCRETE CURB TO PROVIDE BUTT-JOINT.
- 3) RESTORE DISTURBED STREET TO EXISTING OR BETTER SECTION.

DRAWN BY:	DESIGN BY:
R.K.A.	R.K.A.
CHKD BY:	PROJ. NO.
C.W.P.	17-1702
ORIGINAL DATE:	
JUNE 02, 2017	
DATE	REVISION DESCRIPTION
9/7/18	LOW FLOOR ADJUSTMENTS
10/9/18	REVISE WATER SERVICES

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

*Charles W. Plowe*  
CHARLES W. PLOWE  
LIC. NO. 16827  
DATE: 10.09.2018

RADISSON WOODS ON MAIN  
BLAINE, MINNESOTA  
UTILITY PLAN

PREPARED FOR:  
21ST CENTURY BANK

SITE PLANNING & ENGINEERING  
**PLOWE ENGINEERING, INC.**  
6776 LAKE DRIVE  
SUITE 110  
LINO LAKES, MN 55014  
PHONE: (651) 361-8210  
FAX: (651) 361-8701

NORTH

0 20 40  
1 INCH = 40 FEET

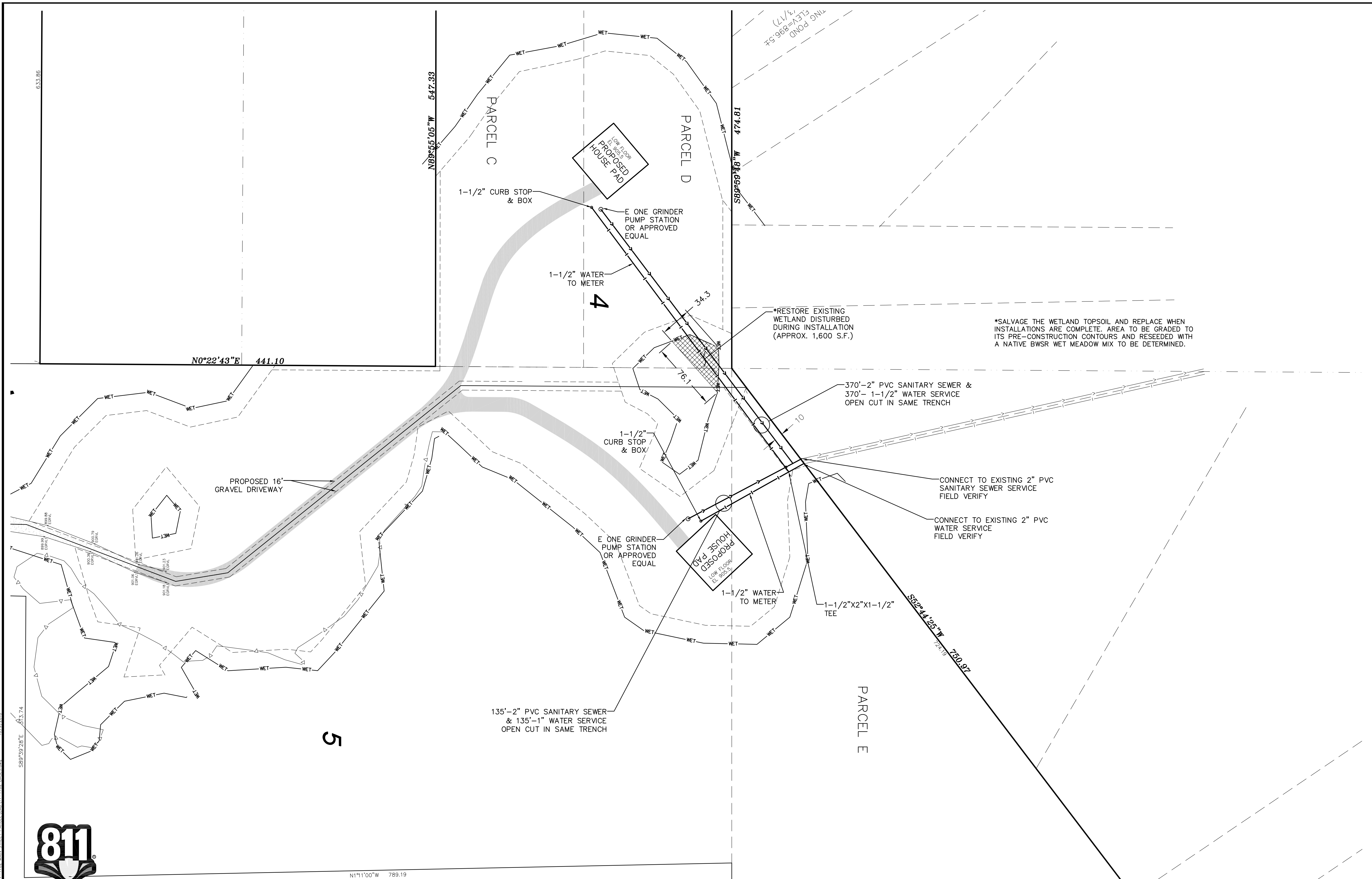
C3.1



Know what's below.  
Call before you dig.

UTILITY PLAN  
RADISSON WOODS ON MAIN



[illegible]

I hereby certify that this plan was prepared by me or by a duly Licensed Professional Engineer under the law of the State of Minnesota.

*Charles W. Plow*  
\_\_\_\_\_  
CHARLES W. PLOW

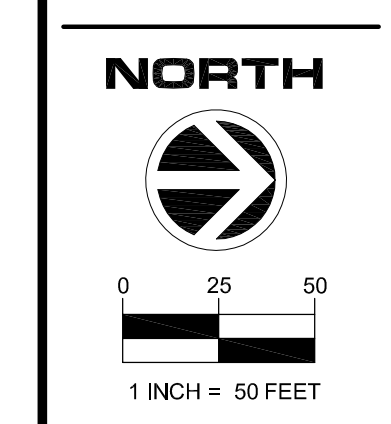
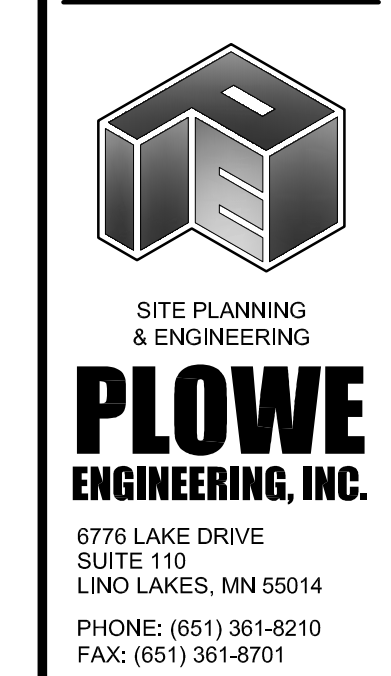
DATE: 10-09-2018 LIC. NO. 18227

# RADISSON WOODS ON MAIN

## BLAINE, MINNESOTA

### UTILITY PLAN

PREPARED FOR:  
21ST CENTURY  
BANK



### C3.2