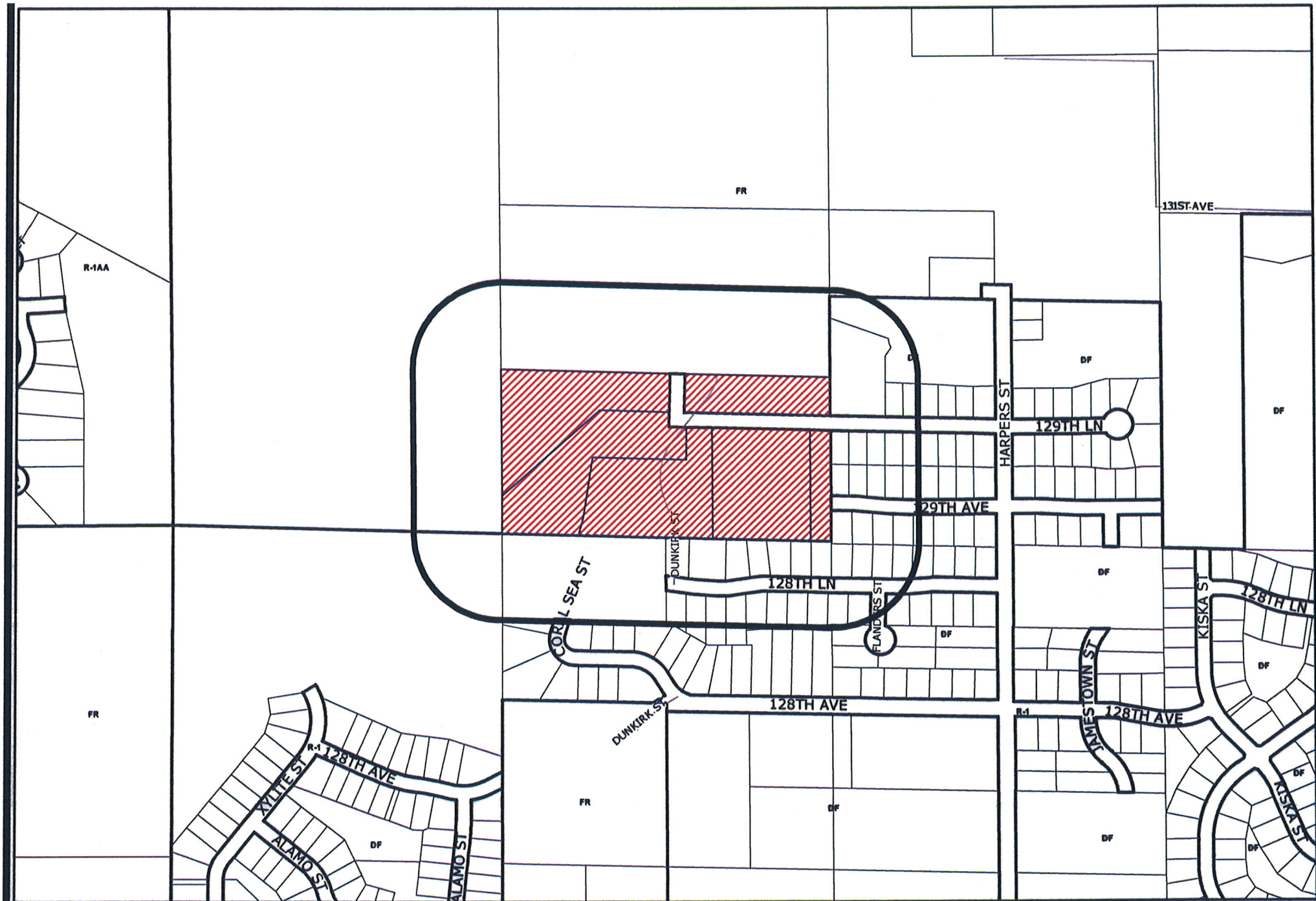
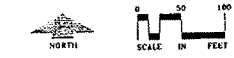
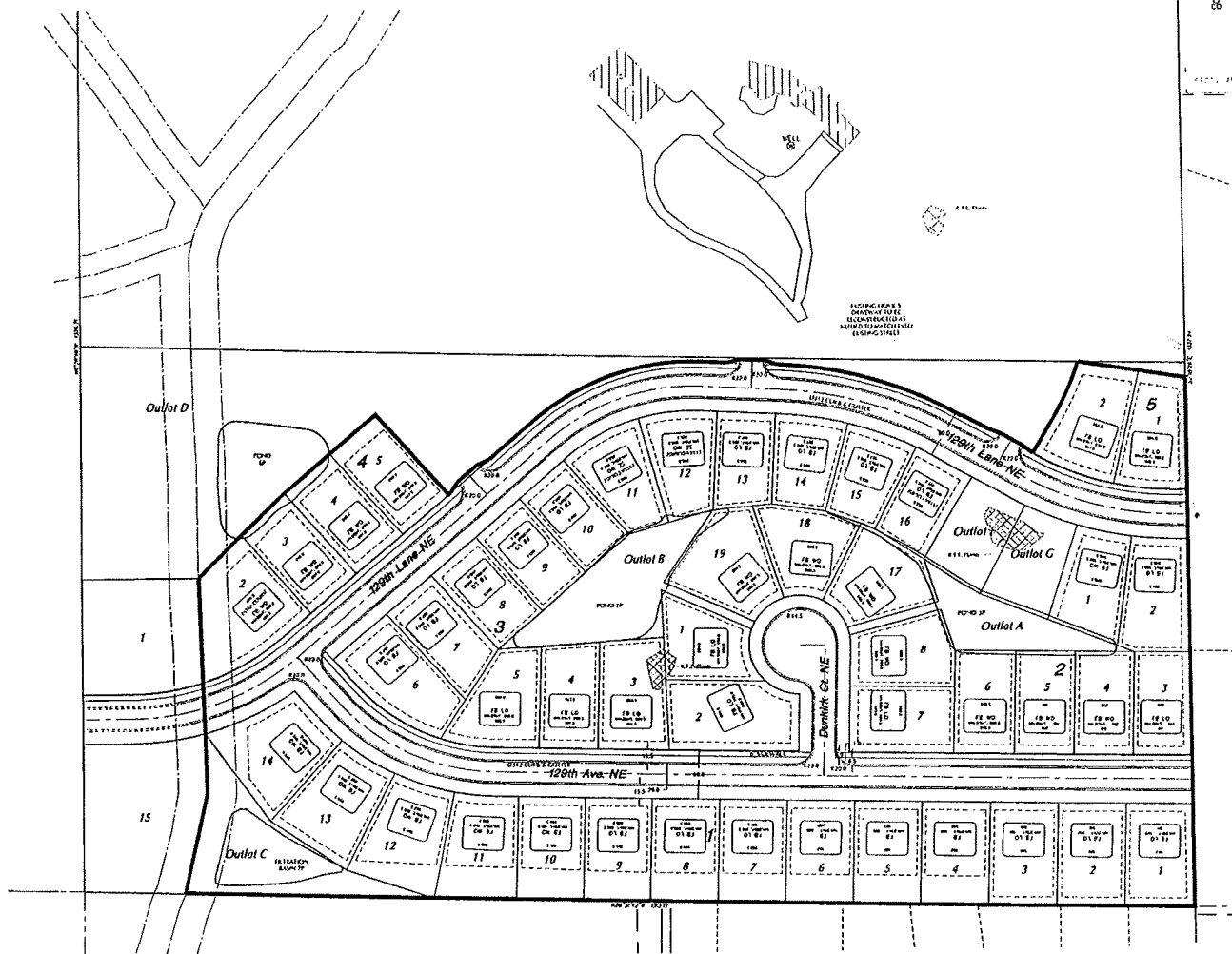




Case File No. 14-0038

Blaine Planning Department / 10801 Town Square Dr NE / Blaine, MN 55449 / (763) 785-6180





- SITE PLAN GENERAL NOTES**
1. ALL LOTS ARE TO BE DEVELOPED WITH A MINIMUM OF 10,000 S.F. OF IMPERVIOUS SURFACE AREA.
 2. ALL LOTS ARE TO BE DEVELOPED WITH A MINIMUM OF 10,000 S.F. OF IMPERVIOUS SURFACE AREA.
 3. ALL LOTS ARE TO BE DEVELOPED WITH A MINIMUM OF 10,000 S.F. OF IMPERVIOUS SURFACE AREA.
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 19. ALL LOTS ARE TO BE DEVELOPED WITH A MINIMUM OF 10,000 S.F. OF IMPERVIOUS SURFACE AREA.

Symbol	Description	Symbol	Description
1	Lot Line	10	Proposed Road
2	Proposed Road	11	Proposed Road
3	Proposed Road	12	Proposed Road
4	Proposed Road	13	Proposed Road
5	Proposed Road	14	Proposed Road
6	Proposed Road	15	Proposed Road
7	Proposed Road	16	Proposed Road
8	Proposed Road	17	Proposed Road
9	Proposed Road	18	Proposed Road
10	Proposed Road	19	Proposed Road
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12	Proposed Road	21	Proposed Road
13	Proposed Road	22	Proposed Road
14	Proposed Road	23	Proposed Road
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90	Proposed Road	99	Proposed Road
91	Proposed Road	100	Proposed Road

SPRINGBROOK PHASE ONE

Blanco, Minnesota
 Loucks Associates, Inc.
 14155 141st Ave. NE
 Blaine, MN 55425

Project Information

Project Name: Springbrook Phase One
 Project Location: Blaine, Minnesota
 Project Date: 11/11/11
 Project Status: Final

Site Plan

Site Plan Scale: 1" = 100'
 Site Plan Date: 11/11/11
 Site Plan Status: Final

Legend

1. Lot Line
 2. Proposed Road
 3. Proposed Road
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 100. Proposed Road

SPRINGBROOK PHASE ONE

Blaine, Minnesota
Capstone Homes, Inc.
14015 Sunfish Lake Blvd NW
Ramsey, MN 55303



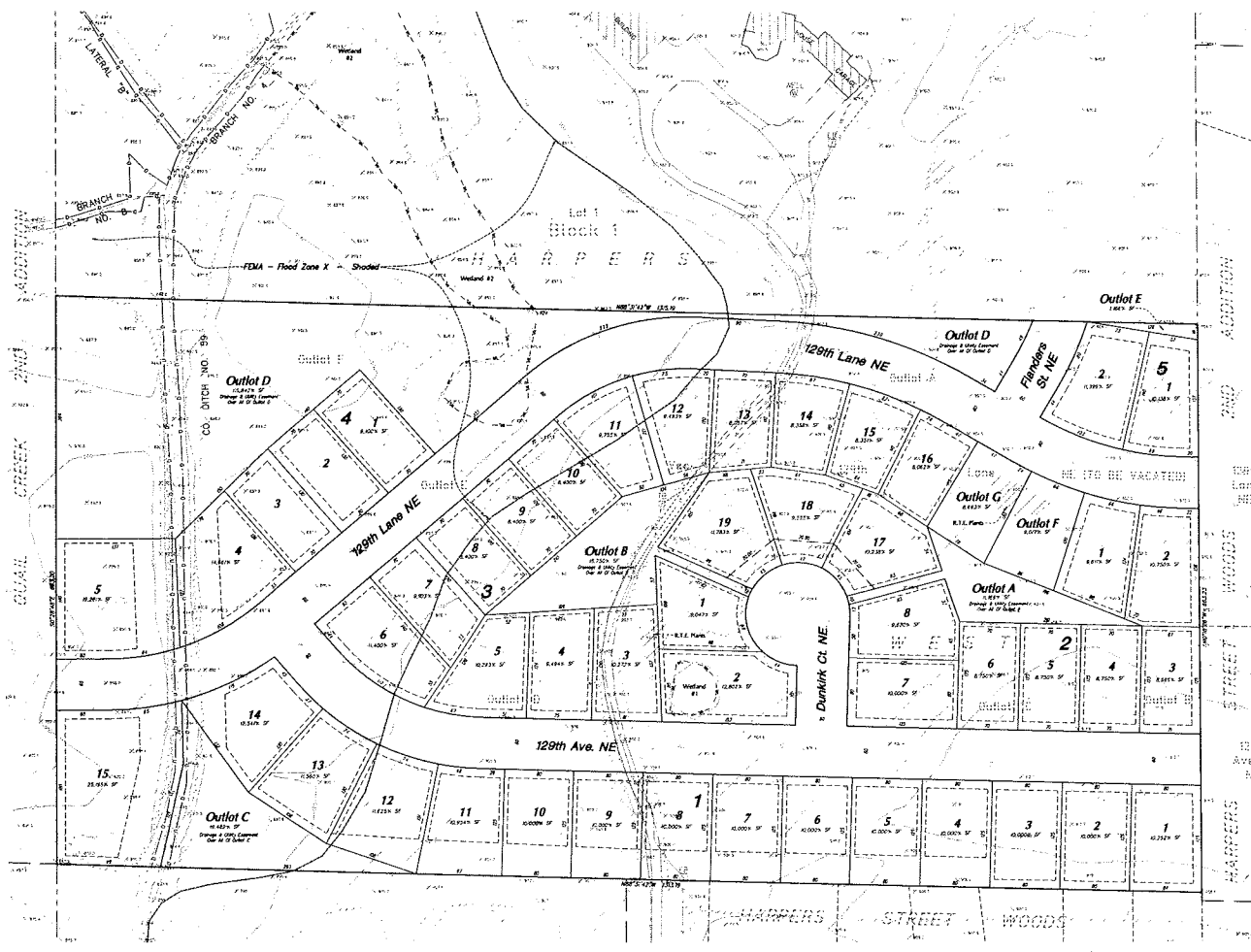
FOR THE PURPOSES OF THIS PLAN, THE NORTH ARROW IS TO BE USED TO DETERMINE THE DIRECTION OF SOUTH 89° 00' 00" EAST.

○ DENOTES 1/2 INCH IS 1 INCH HIGH, UNLESS OTHERWISE NOTED.

■ DENOTES 1/2 INCH IS 1 INCH HIGH, UNLESS OTHERWISE NOTED.

NOT TO SCALE
DRAINAGE AND UTILITY EASEMENTS ARE SHOWN IN THIS PLAN.

ROADS 5 FEET IN WIDTH, UNLESS OTHERWISE NOTED. ALL OTHERS ARE 10 FEET IN WIDTH, UNLESS OTHERWISE NOTED. ALL OTHERS ARE 10 FEET IN WIDTH, UNLESS OTHERWISE NOTED.



PRELIMINARY PLAT GENERAL NOTES

SURVEYOR:
Louds Associates, Inc.
7000 Highway Lane, Suite 300
Maple Grove, MN 55305
763-424-6505

OWNER/DEVELOPER:
Capstone Homes, Inc.
14015 Sunfish Lake Blvd NW
Ramsey, MN 55303
651-271-4661

LEGAL DESCRIPTION:
CROSS A, B, C, D, E and F, Harpers West, Anoka County, Minnesota

Together with:
Vested 129th Lane NE, as plat in Harpers West, Anoka County, Minnesota

DATE OF PREPARATION:
JUNE 2014

EXISTING ZONING:
Zone (R-2)

PROPOSED ZONING:
Zone (Development Plan)

FLOOD ZONE DESIGNATION:
This property is contained in Zone X (areas determined to be outside the 500-year floodplain) and Zone X - shaded (areas of 500-year flood. Areas of 100-year flood with average depths of one foot or less, or with drainage areas less than 1 square mile, and areas protected by levees from 100-year flood per Flood Insurance Rate Map, Community Panel No. 270207 0005 D, effective date of June 17, 2005).

EXISTING INFORMATION:
The existing information shown herein was obtained from a Boundary & Topographical Survey performed by RLK, Inc. for Mark Austin, dated June 21, 2008.

DELIMITED WETLANDS:
The wetlands shown herein were delineated by Rphaug Environmental Services Company and located on September 22, 2014 by Louds Associates, Inc.

SURVEY LEGEND - EXISTING CONDITIONS

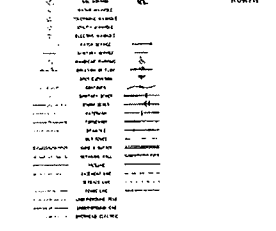
- GATCH BASIN
- STORM MANHOLE
- SANITARY MANHOLE
- WATER MANHOLE
- HYDRAULIC
- GATE VALVE
- TELEPHONE POLE/STAKE
- POWER POLE
- LIGHT POLE
- SIGN
- SPOT ELEVATION
- STORM SEWER
- SANITARY SEWER
- WATERMAIN
- UNDERGROUND ELECTRIC
- UNDERGROUND GAS
- UNDERGROUND TELEPHONE
- DRAINAGE UTILITY
- CHAIN LINK FENCE
- CONCRETE CURB
- CONCRETE
- CONTOUR

Professional Engineer	
Signature	_____
Stamp	_____
Scale	1/2" = 10'
North Arrow	_____
Project No.	14155
Sheet No.	12/29/14
Revision	_____
Drawn By	_____
Checked By	_____
Reviewed By	_____
Approved By	_____

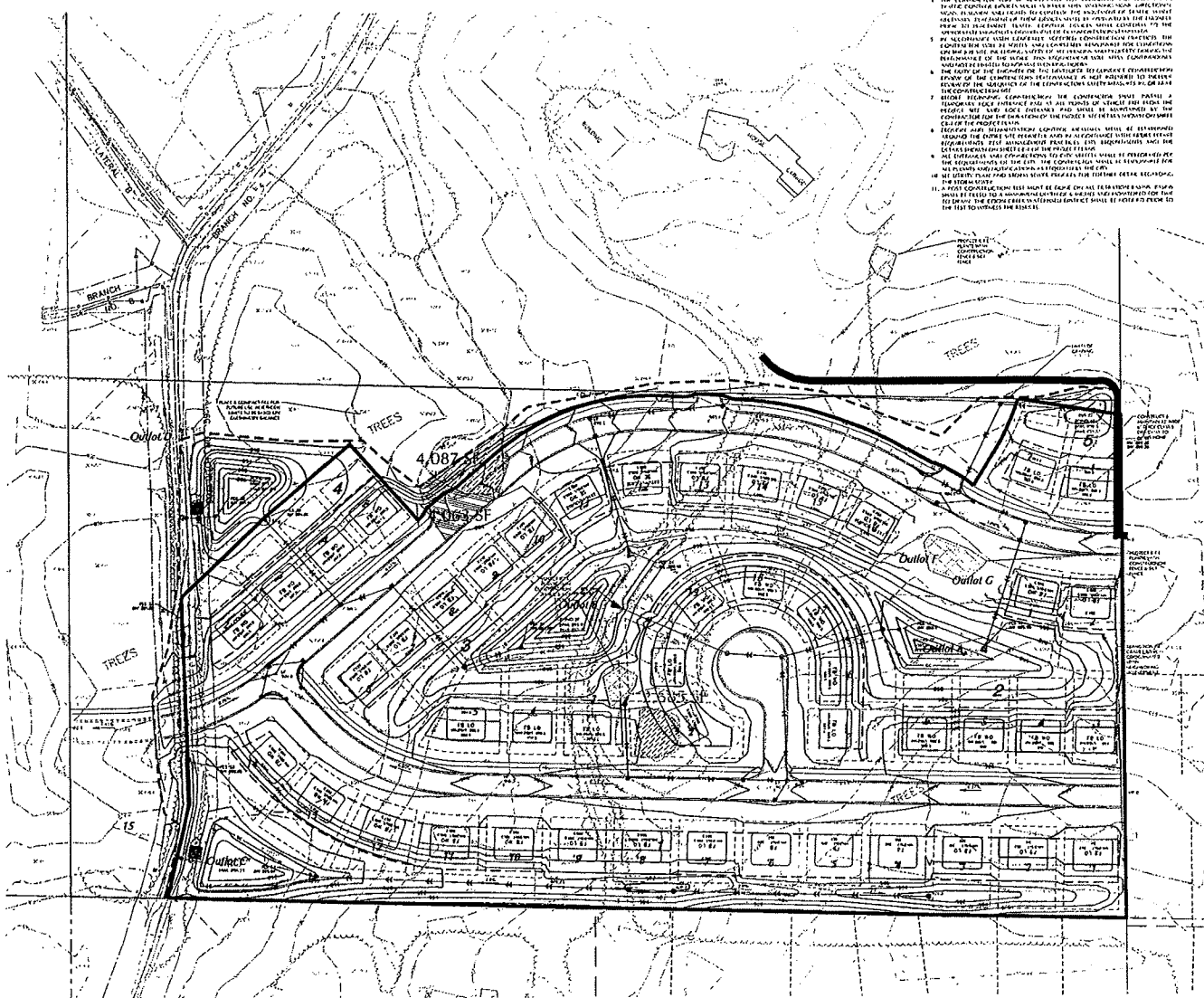
PRELIMINARY PLAT

Project No. 14155
Sheet No. 12/29/14

C6-1

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14155

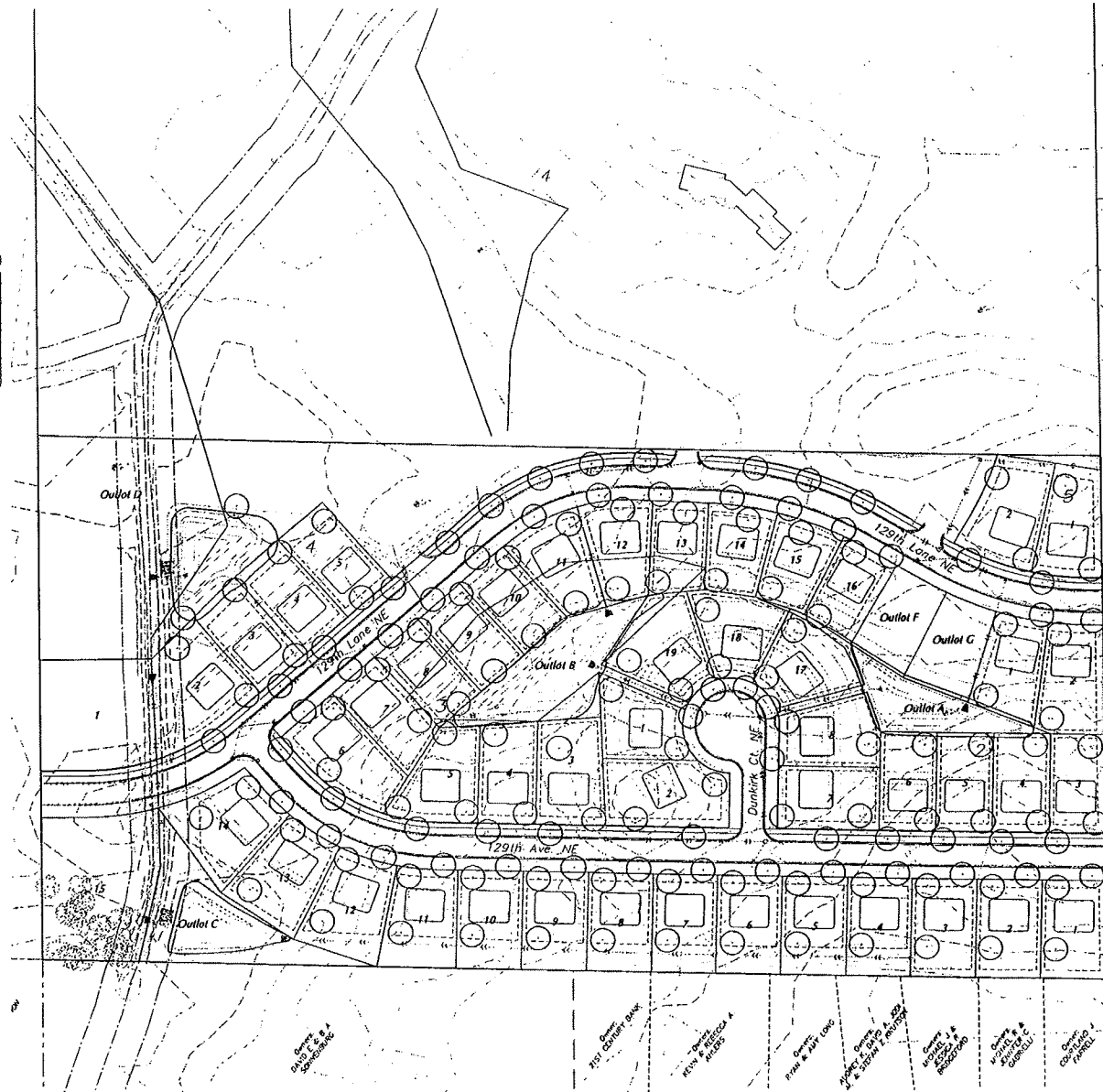
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PLANT SCHEDULE OVERALL:

[illegible]

21 LABRAC: EFF. 10/1/2006

COGNATE NAME	SYNOPSIS	DATE	CONT.	COMMENTS
JOHN BISHOP	Devils Night	11/20/01	415	GROUP
JOHN BISHOP	Devils Night	11/21/01	415	GROUP
JOHN BISHOP	Devils Night	11/22/01	415	GROUP
JOHN BISHOP	Devils Night	11/23/01	415	GROUP
JOHN BISHOP	Devils Night	11/24/01	415	GROUP
JOHN BISHOP	Devils Night	11/25/01	415	GROUP
JOHN BISHOP	Devils Night	11/26/01	415	GROUP
JOHN BISHOP	Devils Night	11/27/01	415	GROUP
JOHN BISHOP	Devils Night	11/28/01	415	GROUP
JOHN BISHOP	Devils Night	11/29/01	415	GROUP
JOHN BISHOP	Devils Night	11/30/01	415	GROUP
JOHN BISHOP	Devils Night	12/01/01	415	GROUP
JOHN BISHOP	Devils Night	12/02/01	415	GROUP
JOHN BISHOP	Devils Night	12/03/01	415	GROUP
JOHN BISHOP	Devils Night	12/04/01	415	GROUP
JOHN BISHOP	Devils Night	12/05/01	415	GROUP
JOHN BISHOP	Devils Night	12/06/01	415	GROUP
JOHN BISHOP	Devils Night	12/07/01	415	GROUP
JOHN BISHOP	Devils Night	12/08/01	415	GROUP
JOHN BISHOP	Devils Night	12/09/01	415	GROUP
JOHN BISHOP	Devils Night	12/10/01	415	GROUP
JOHN BISHOP	Devils Night	12/11/01	415	GROUP
JOHN BISHOP	Devils Night	12/12/01	415	GROUP
JOHN BISHOP	Devils Night	12/13/01	415	GROUP
JOHN BISHOP	Devils Night	12/14/01	415	GROUP
JOHN BISHOP	Devils Night	12/15/01	415	GROUP
JOHN BISHOP	Devils Night	12/16/01	415	GROUP
JOHN BISHOP	Devils Night	12/17/01	415	GROUP
JOHN BISHOP	Devils Night	12/18/01	415	GROUP
JOHN BISHOP	Devils Night	12/19/01	415	GROUP
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JOHN BISHOP	Devils Night	12/22/01	415	GROUP
JOHN BISHOP	Devils Night	12/23/01	415	GROUP
JOHN BISHOP	Devils Night	12/24/01	415	GROUP
JOHN BISHOP	Devils Night	12/25/01	415	GROUP
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JOHN BISHOP	Devils Night	12/27/01	415	GROUP
JOHN BISHOP	Devils Night	12/28/01	415	GROUP
JOHN BISHOP	Devils Night	12/29/01	415	GROUP
JOHN BISHOP	Devils Night	12/30/01	415	GROUP
JOHN BISHOP	Devils Night	12/31/01	415	GROUP



Blaine, Minnesota
 "Lumber & Box Store"
 Captains: Holmes, Inc.
 14015 Seaside Lake Blvd NW
 Blaine, MN 55301

LOUCKS ASSOCIATES
Planning • Estimating • Land Surveying

[illegible]

Technical Support:

CONFIDENTIAL

[illegible]LANDSCAPE
PLAN

Project No. _____

14155

Ranney, AM 55091

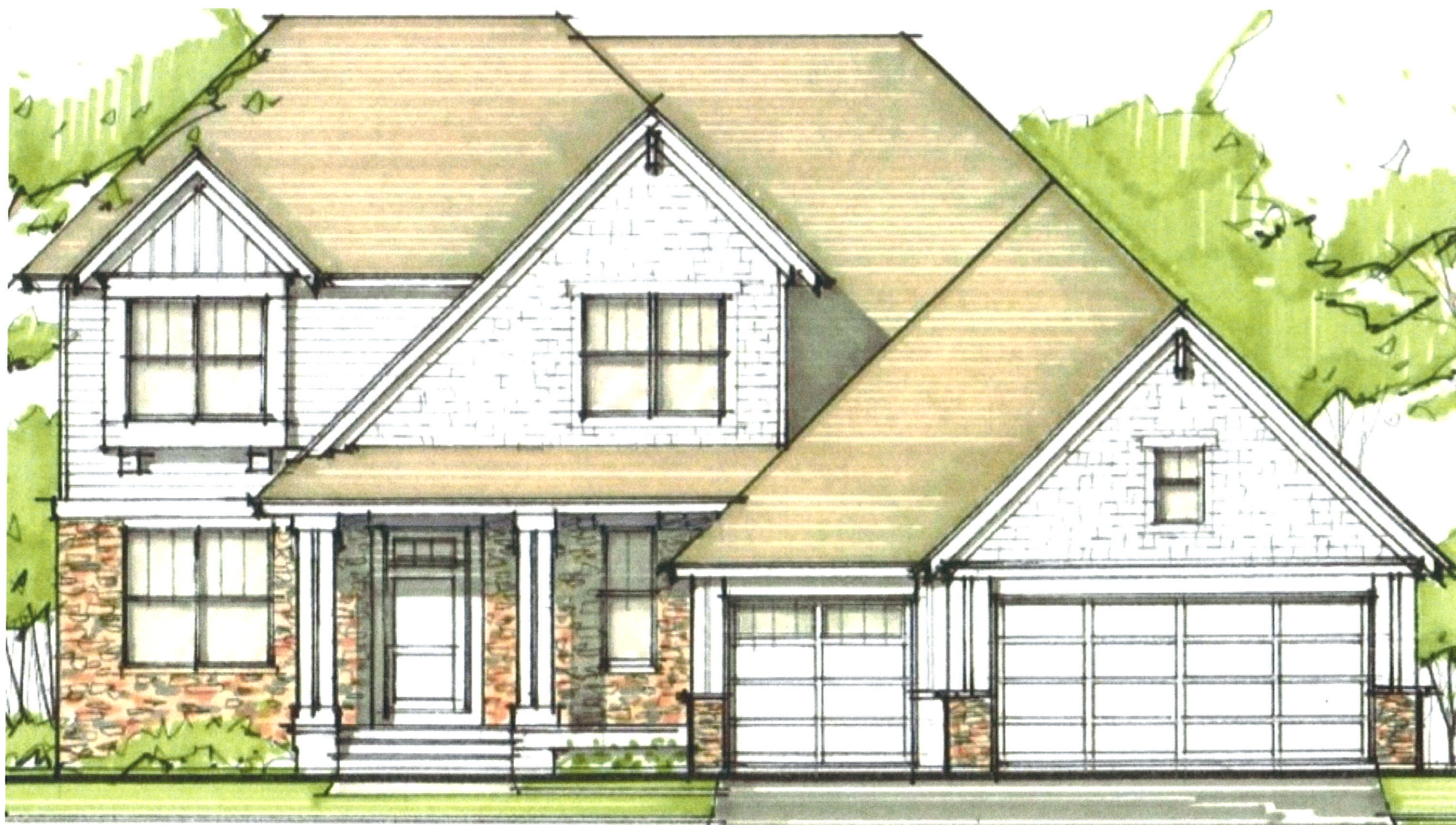
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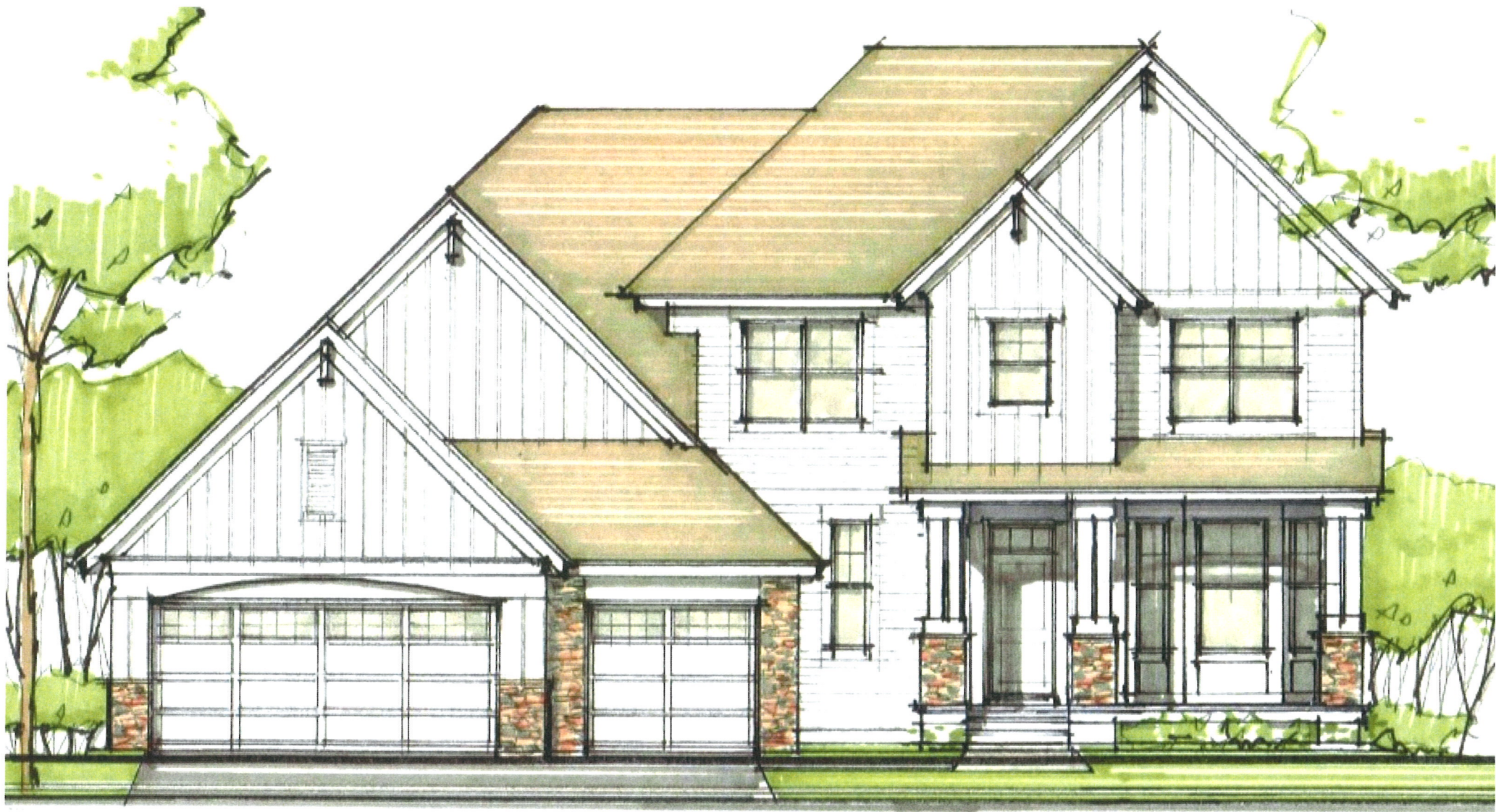
NOTE:
WETLAND BANKING IS PLANNED TO BE USED FOR ALL
WETLAND MITIGATION.

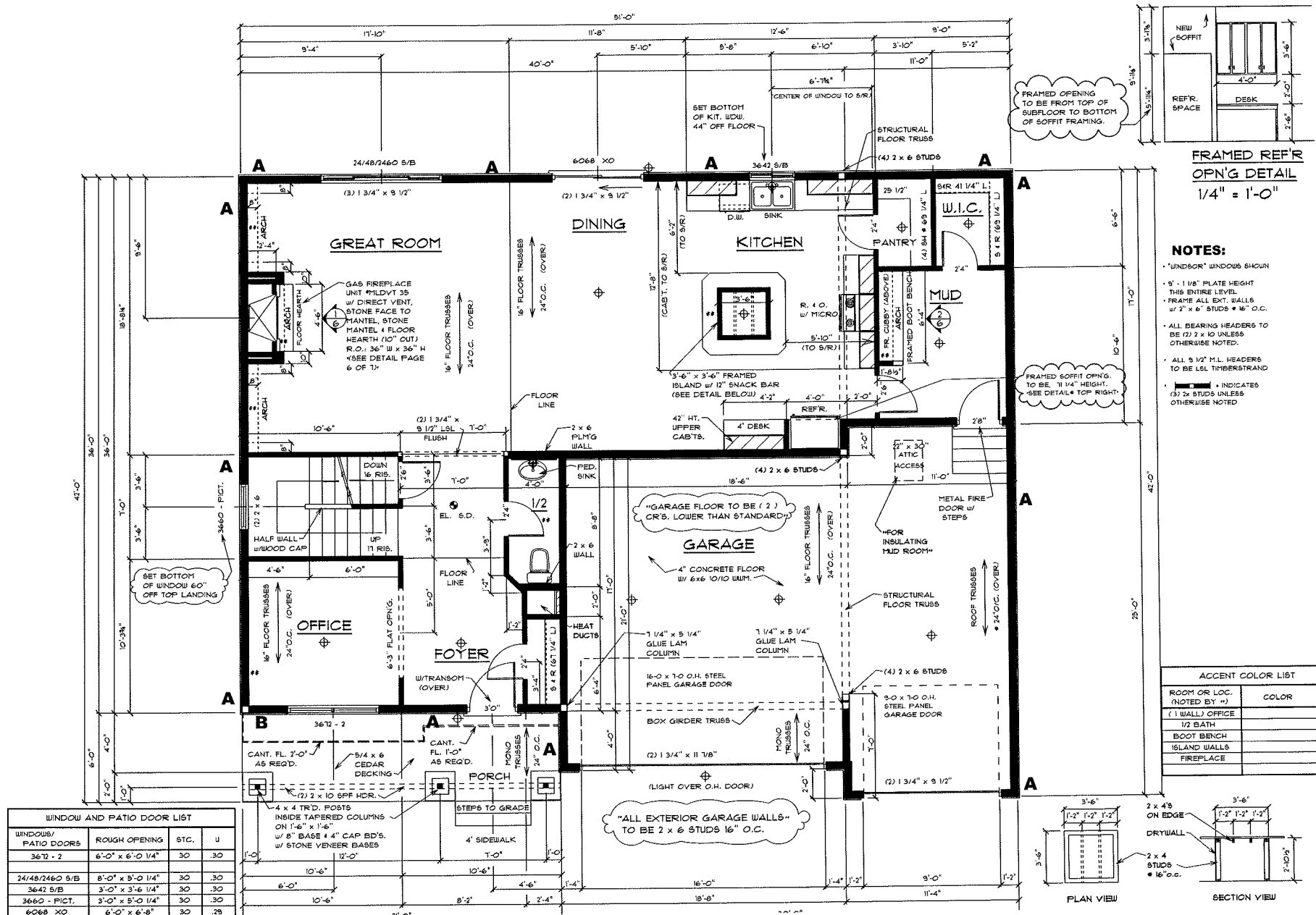




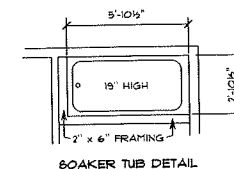
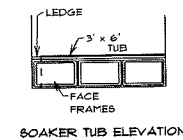
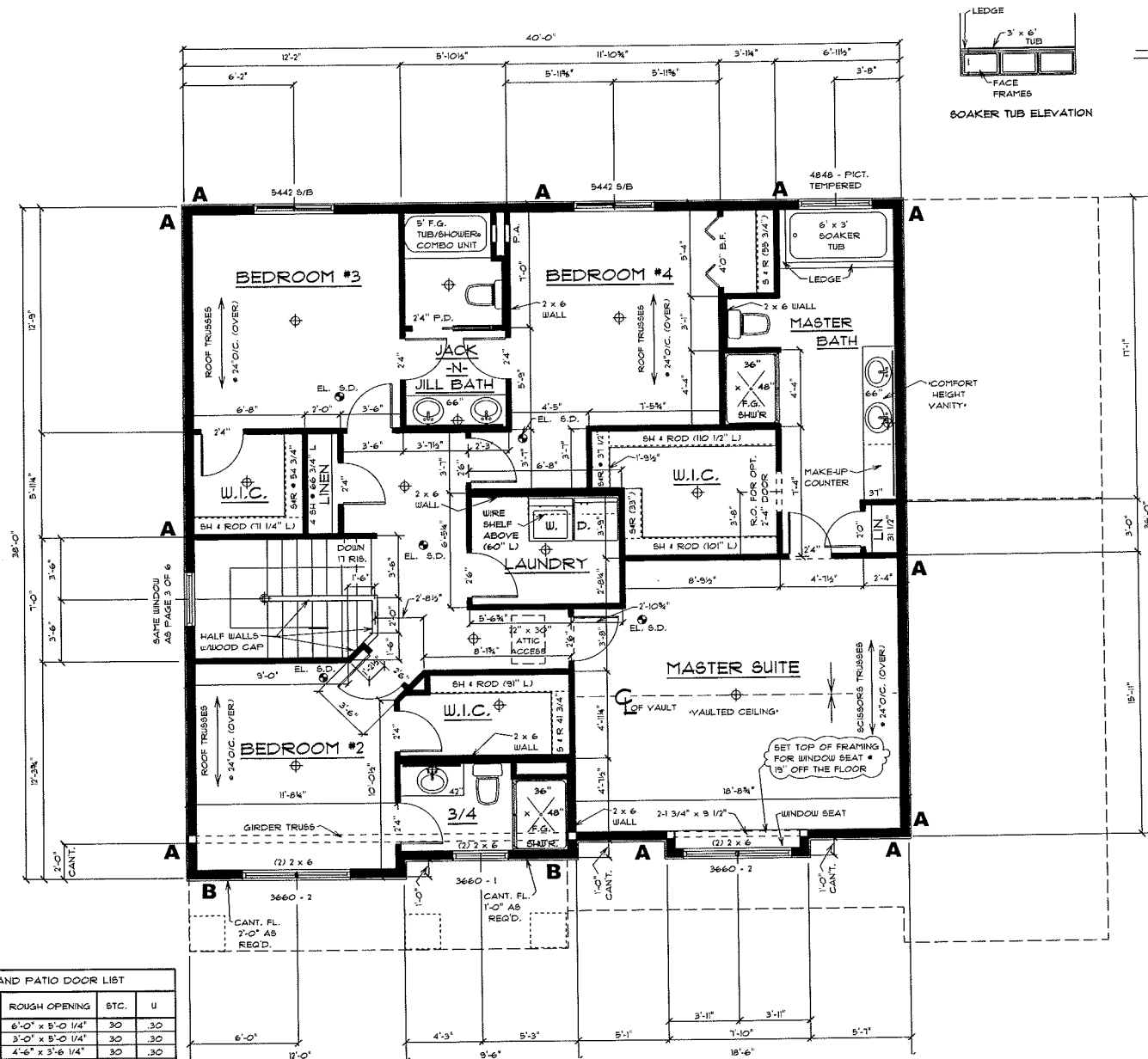








WINDOW AND PATIO DOOR LIST			
WINDOW/ PATIO DOORS	ROUGH OPENING	ETC.	U
3660 - 2	6'-0" x 8'-0 1/4"	30	30
3660 - 1	3'-0" x 8'-0 1/4"	30	30
5442 5/B	4'-6" x 3'-6 1/4"	30	30



NOTES:

- * "WINDOW" WINDOWS SHOWN
- * 5' - 1 1/8" PLATE HEIGHT THIS ENTIRE LEVEL
- * FRAME ALL EXT. WALLS w/ 2" x 6" STUDS • 16" O.C.
- * ALL BEARING HEADERS TO BE (2) 2 x 10 UNLESS OTHERWISE NOTED
- * ALL 3 1/2" M.L. HEADERS TO BE LSL TIMBERSTRAND
- * [Symbol] INDICATES (3) 2x STUDS UNLESS OTHERWISE NOTED

