

**Case File No. 22-0034
Aaron Jordan**



Original Concept Plan

EROSION CONTROL NOTES

- Owner and Contractor shall obtain MPCA-NPDES permit. Contractor shall be responsible for all fees pertaining to this permit. The SWPPP shall be kept onsite at all times.
- Install temporary erosion control measures (inlet protection, silt fence, and rock construction entrances) prior to beginning any excavation or demolition work at the site.
- Erosion control measures shown on the erosion control plan are the absolute minimum. The contractor shall install temporary earth dikes, sediment traps or basins, additional siltation fencing, and/or disk the soil parallel to the contours as deemed necessary to further control erosion. All changes shall be recorded in the SWPPP.
- All construction site entrances shall be surfaced with crushed rock across the entire width of the entrance and from the entrance to a point 50' into the construction zone.
- The toe of the silt fence shall be trenched in a minimum of 6". The trench backfill shall be compacted with a vibratory plate compactor.
- All grading operations shall be conducted in a manner to minimize the potential for site erosion. Sediment control practices must be established on all down gradient perimeters before any up gradient land disturbing activities begin.
- All exposed soil areas must be stabilized as soon as possible to limit soil erosion but in no case later than 7 days after the construction activity in that portion of the site has temporarily or permanently ceased. Temporary stockpiles without significant silt, clay or organic components (e.g., clean aggregate stockpiles, demolition concrete stockpiles, sand stockpiles) and the constructed base components of roads, parking lots and similar surfaces are exempt from this requirement.
- The normal wetted perimeter of any temporary or permanent drainage ditch or swale that drains water from any portion of the construction site, or diverts water around the site, must be stabilized within 200 lineal feet from the property edge, or from the point of discharge into any surface water. Stabilization of the last 200 lineal feet must be completed within 24 hours after connecting to a surface water. Stabilization of the remaining portions of any temporary or permanent ditches or swales must be complete within 7 days after connecting to a surface water and construction in that portion of the ditch has temporarily or permanently ceased.
- Pipe outlets must be provided with energy dissipation within 24 hours of connection to surface water.
- All riprap shall be installed with a filter material or soil separation fabric and comply with the Minnesota Department of Transportation Standard Specifications.
- All storm sewers discharging into wetlands or water bodies shall outlet at or below the normal water level of the respective wetland or water body at an elevation where the downstream slope is 1 percent or flatter. The normal water level shall be the invert elevation of the outlet of the wetland or water body.
- All storm sewer catch basins not needed for site drainage during construction shall be covered to prevent runoff from entering the storm sewer system. Catch basins necessary for site drainage during construction shall be provided with inlet protection.
- In areas where concentrated flows occur (such as swales and areas in front of storm catch basins and intakes) the erosion control facilities shall be backed by stabilization structure to protect those facilities from the concentrated flows.
- Inspect the construction site once every seven days during active construction and within 24 hours after a rainfall event greater than 0.5 inches in 24 hours. All inspections shall be recorded in the SWPPP.
- All silt fences must be repaired, replaced, or supplemented when they become nonfunctional or the sediment reaches 1/3 of the height of the fence. These repairs must be made within 24 hours of discovery, or as soon as field conditions allow access. All repairs shall be recorded in the SWPPP.
- If sediment escapes the construction site, off-site accumulations of sediment must be removed in a manner and at a frequency sufficient to minimize off-site impacts.
- All soils tracked onto pavement shall be removed daily.
- All infiltration areas must be inspected to ensure that no sediment from ongoing construction activity is reaching the infiltration area and these areas are protected from compaction due to construction equipment driving across the infiltration area.
- Temporary soil stockpiles must have silt fence or other effective sediment controls, and cannot be placed in surface waters, including stormwater conveyances such as curb and gutter systems, or conduits and ditches unless there is a bypass in place for the stormwater.
- Collected sediment, asphalt and concrete millings, floating debris, paper, plastic, fabric, construction and demolition debris and other wastes must be disposed of properly and must comply with MPCA disposal requirements.
- Oil, gasoline, paint and any hazardous substances must be properly stored, including secondary containment, to prevent spills, leaks or other discharge. Restricted access to storage areas must be provided to prevent vandalism. Storage and disposal of hazardous waste must be in compliance with MPCA regulations.
- External washing of trucks and other construction vehicles must be limited to a defined area of the site. Runoff must be contained and waste properly disposed of. No engine degreasing is allowed onsite.
- All liquid and solid wastes generated by concrete washout operations must be contained in a leak-proof containment facility or impermeable liner. A compacted clay liner that does not allow washout liquids to enter ground water is considered an impermeable liner. The liquid and solid wastes must not contact the ground, and there must not be runoff from the concrete washout operations or areas. Liquid and solid wastes must be disposed of properly and in compliance with MPCA regulations. A sign must be installed adjacent to each washout facility to inform concrete equipment operators to utilize the proper facilities.
- Upon completion of the project and stabilization of all graded areas, all temporary erosion control facilities (silt fences, hay bales, etc.) shall be removed from the site.
- All permanent sedimentation basins must be restored to their design condition immediately following stabilization of the site.
- Contractor shall submit Notice of Termination for MPCA-NPDES permit within 30 days after Final Stabilization.
- Stabilize vegetation and soil stockpiles within 7 days of rough grading or inactivity.

TREE PROTECTION NOTES

- TREE PROTECTION LIMITS TO BE MARKED IN FIELD PRIOR TO ANY TREE CLEARING ACTIVITY.
- SILT / TREE PROTECTION FENCE TO BE INSTALLED AT CONSTRUCTION LIMIT LINE.
- CARE IS TO BE TAKEN TO AVOID CONSTRUCTION ACTIVITY OR CONSTRUCTION VEHICLE TRAFFIC WITHIN THE DRIP LINE OF TREES IN THE TREE PROTECTION ZONE.
- FIELD DECISIONS WILL BE MADE ON LOCATION OF TREE PROTECTION LIMITS TO PRESERVE SIGNIFICANT TREES.
- SOME TREES AND DEAD FALL ARE TO BE CLEARED. THIS MAY BE DONE PRIOR TO INSTALLATION OF SILT / TREE PROTECTION FENCE. GRUBBING OF STUMPS WILL OCCUR AFTER EROSION CONTROL MEASURE ARE INSTALLED.

 DENOTES TREE PRESERVATION AREA

SYMBOL LEGEND

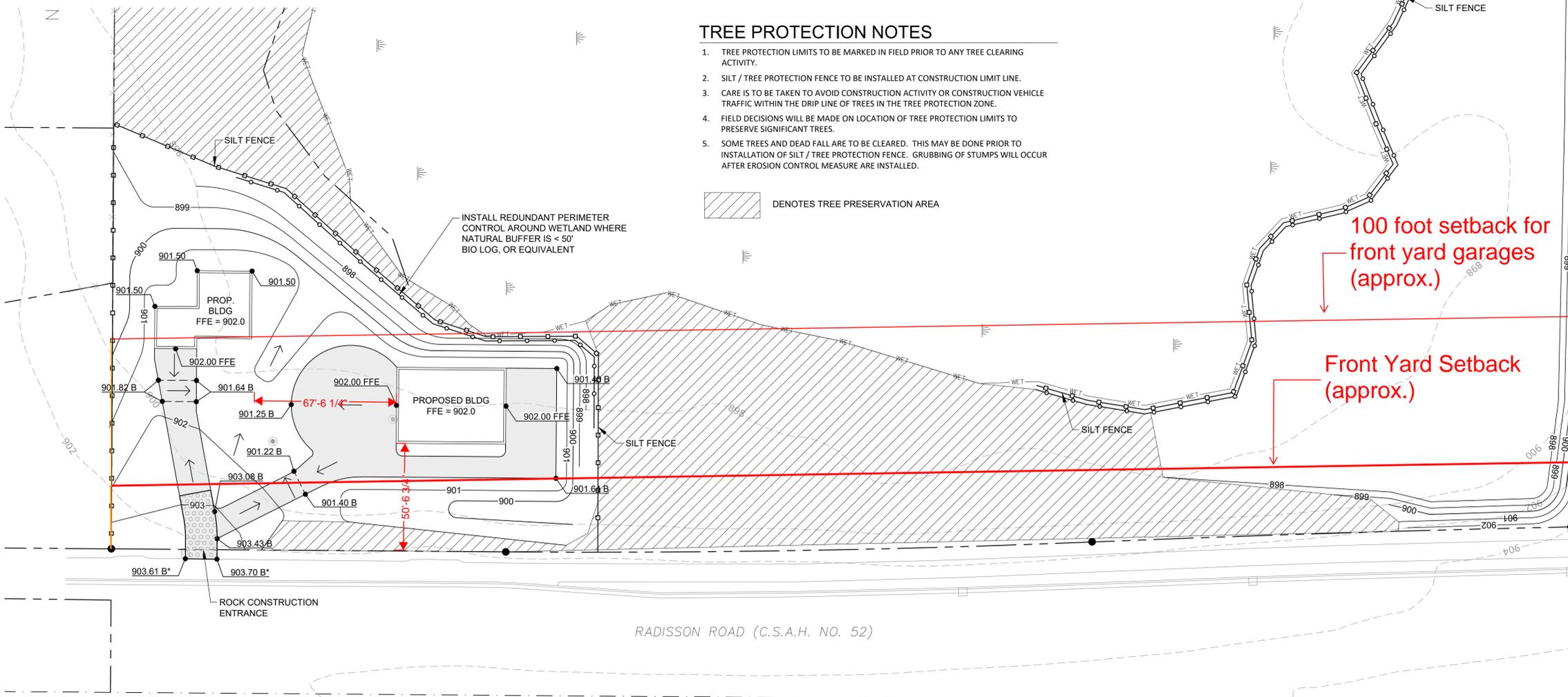
-  950 EXISTING CONTOURS
-  950 PROPOSED CONTOURS - MAJOR INTERVAL
-  949 PROPOSED CONTOURS - MINOR INTERVAL
-  GRADE BREAK LINE
-  2.0% GRADE SLOPE
-  SILT FENCE
-  RIP-RAP / ROCK CONST. ENTRANCE
-  INLET PROTECTION
- SPOT ABBREVIATIONS:**
-  950.00 TC TC - TOP OF CURB
-  949.50 GL GL - GUTTER LINE
-  B BITUMINOUS
-  C CONCRETE
-  EO EMERGENCY OVERFLOW
-  TW TOP OF WALL
-  BW BOTTOM OF WALL (F/G)
-  (*) - EXISTING TO BE VERIFIED
-  NEW IMPERVIOUS PAVEMENT

GRADING NOTES

- Tree protection consisting of snow fence or safety fence installed at the drip line shall be in place prior to beginning any grading or demolition work at the site.
- All elevations with an asterisk (*) shall be field verified. If elevations vary significantly, notify the Engineer for further instructions.
- Grades shown in paved areas represent finish elevation.
- Restore all disturbed areas with 4" of good quality topsoil and seed.
- All construction shall be performed in accordance with state and local standard specifications for construction.

CONSTRUCTION SEQUENCING NOTES

- INSTALL ALL TEMPORARY EROSION CONTROL MEASURES PRIOR TO BEGINNING ANY EXCAVATION OR DEMOLITION WORK AT THE SITE.
- INSTALL TREE PROTECTION AS SHOWN ON THE PLANS.
- BEGIN GRADING OF SITE AND CONSTRUCTION OF BUILDINGS, UTILITIES, AND DRIVEWAYS.
- FINALIZE GRADES AND STABILIZE ALL AREAS DISTURBED BY GRADING AND CONSTRUCTION.
- SITE IS FULLY STABILIZED WITH ESTABLISHED VEGETATION.
- REMOVE ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES AFTER SITE IS FULLY STABILIZED AND ALL CONSTRUCTION IN THE CONTRIBUTING DRAINAGE AREAS IS COMPLETE.



PRELIMINARY NOT FOR CONSTRUCTION

Larson Engineering, Inc.
 3524 Labore Road
 White Bear Lake, MN 55110
 651.481.9120 (F) 651.481.9201
 www.larsonengr.com

Client: **AARON JORDAN**

Project Title: **RADISSON ROAD SITE DEVELOPMENT**
 RADISSON ROAD, BLAINE, MN

I hereby certify that this plan, specifications or report was prepared by me or under my direct supervision and that I am a duly licensed Professional Engineer under the laws of the state of Minnesota.

First M. Last, P.E.
 Date: _____ Lic. No.: _____

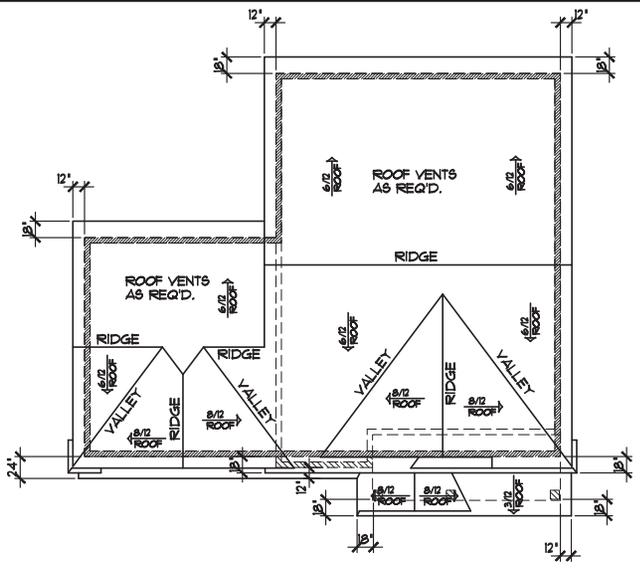
Rev.	Date	Description

Project #: 12216029.000
 Drawn By: TJR
 Checked By: MJW
 Issue Date: 03.05.21

Sheet Title: **SITE IMPROVEMENT, GRADING, AND EROSION CONTROL PLAN**

Sheet: **C100**

REVISIONS	BY
XXXX	XX

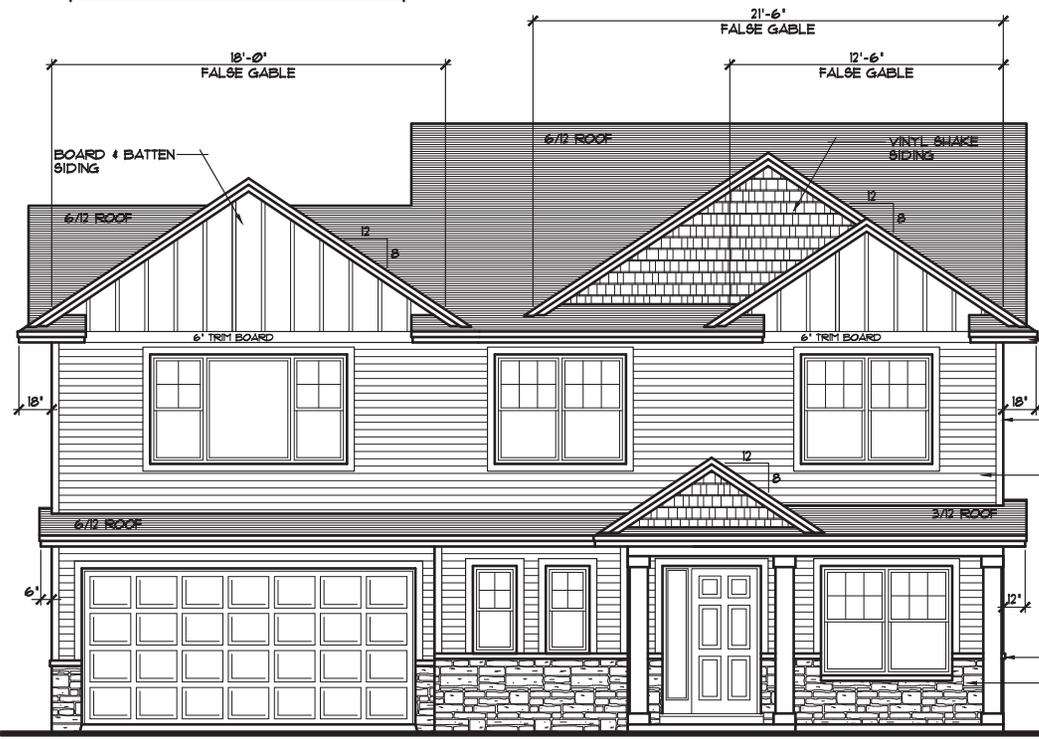


BIRDS EYE ROOF PLAN 1/8"=1'-0"

NOTE!!!
 PROVIDE STANDARD ENERGY
 HEEL @ UPPER LEVEL 6/12 ROOF
 TRUSSES w/ 18" OVERHANGS, ADJUST
 HEEL HEIGHT OF ALL 8/12 ROOF
 TRUSSES w/ 18" OVERHANGS TO MATCH
 EAVES w/ 6/12 ROOFS (TYP.)

NOISE ABATEMENT STANDARDS

- ALL EXTERIOR BUILDING ELEMENTS SHALL MEET THE FOLLOWING STC STANDARDS:
 - WALLS - 40 STC
 - ROOF - 40 STC
 - WINDOWS - 30 STC
 - DOORS - 20 STC
- A MECHANICAL VENTILATION SYSTEM SHALL BE INSTALLED WHICH PROVIDES THE MINIMUM AIR CIRCULATION & FRESH AIR SUPPLY AS REQ'D. BY MINNESOTA STATE BUILDING CODE WITHOUT THE NEED TO OPEN ANY EXTERIOR DOORS OR WINDOWS
- THE PERIMETER OF ALL EXTERIOR WINDOWS AND DOOR FRAMES SHALL BE SEALED AIRTIGHT TO THE EXTERIOR WALL CONSTRUCTION
- FIREPLACES SHALL BE EQUIPPED w/ WELL FITTED CHIMNEY CAP DEVICES
- ALL VENTILATION DUCTS, EXCEPT RANGE HOODS, CONNECTING INTERIOR SPACE TO OUTDOORS, SHALL BE PROVIDED w/ A BEND SUCH THAT NO DIRECT LINE OF SIGHT EXISTS FROM EXTR. TO INTR. THROUGH THE VENT DUCT
- DOORS & WINDOWS SHALL BE CONSTRUCTION SO THEY ARE CLOSE FITTING. WEATHER STRIPPING SEALS SHALL BE INCORPORATED TO ELIMINATE ALL EDGE GAPS
- ALL PENETRATIONS THROUGH EXTERIOR WALLS BY PIPES, DUCTS, CONDUITS AND THE LIKE SHALL BE CALLED AIRTIGHT TO THE EXTERIOR CONSTRUCTION



LEVEL HEIGHT INFORMATION TABLE

LEVEL	R.C.H.	TOP OF WINDOW R.O.
MAIN LEVEL	8'-1 1/8"	6'-10 1/2"
UPPER LEVEL	8'-1 1/8"	6'-10 1/2"

- GENERIC WINDOWS SPEC'D.
- MAINTENANCE FREE SOFFITS & FASCIA
- BOARD & BATTEN SIDING WHERE SHOWN
- VINYL SIDING/CORNER TRIM (TYP.)
- VINYL SHAKE SIDING WHERE SHOWN
- WINDOW/DOOR TRIM WHERE SHOWN
- OPTIONAL GRIDS SHOWN ON WINDOWS

NOTE!!!
 ADJUST HEEL HEIGHT @
 MAIN LEVEL 6/12 & 8/12 TRUSSES
 TO MATCH EAVES w/ 3/12
 TRUSSES w/ 18" OVERHANG
 (TYP.)

FRONT ELEVATION 1/4"=1'-0"

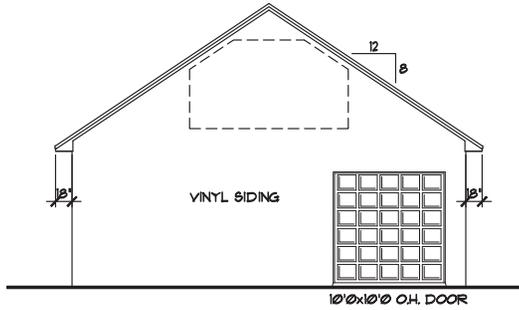
885 SQFT. MAIN LEVEL
 1260 SQFT. UPPER LEVEL
 2145 SQFT. ABOVE GRADE
 351 SQFT. ATTACHED GARAGE

DESIGN and DRAFTING BY:

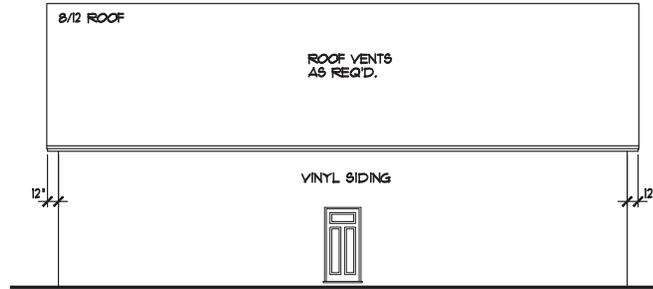
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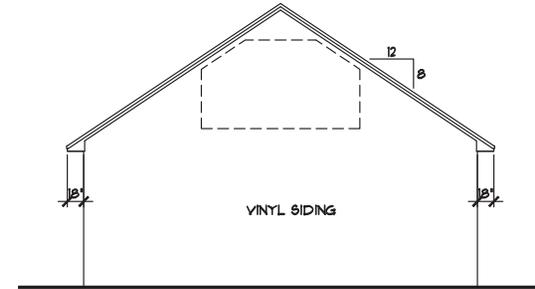
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CHECKED	XX
DATE:	03/10/2022
SCALE:	AS NOTED
CADD FILE #	22055



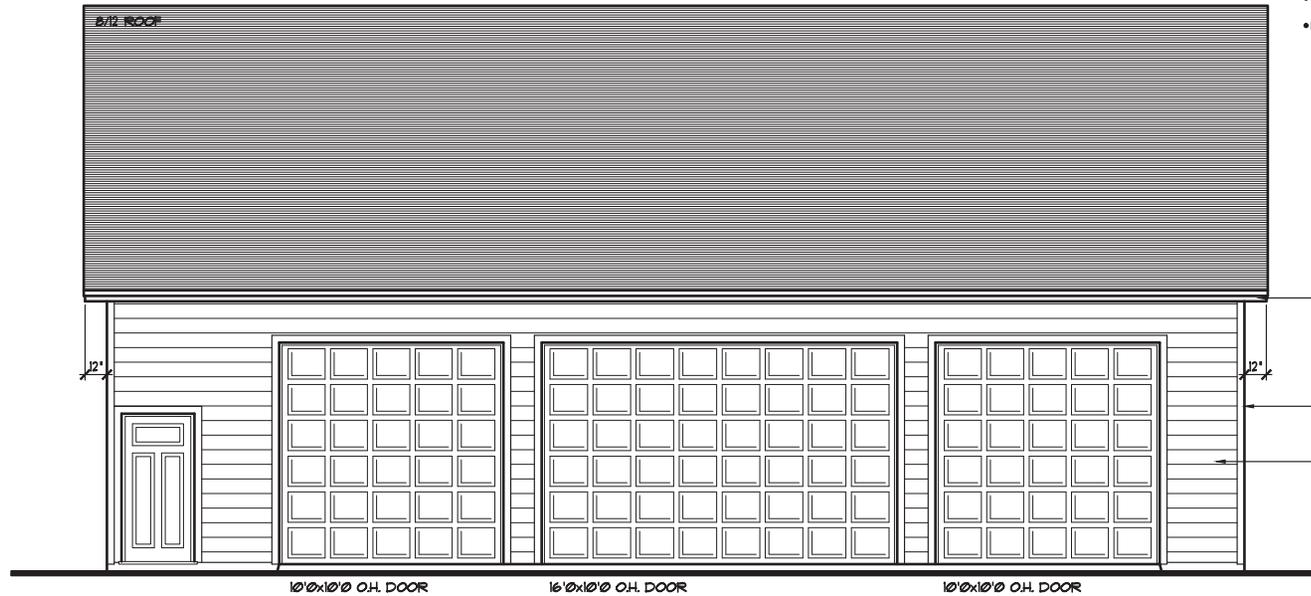
RIGHT ELEVATION 1/8"=1'-0"



REAR ELEVATION 1/8"=1'-0"



LEFT ELEVATION 1/8"=1'-0"



FRONT ELEVATION 1/4"=1'-0"

1872 SQFT. GARAGE LEVEL
 141 SQFT. BONUS ROOM LEVEL
 2613 SQFT. GARAGE AREA

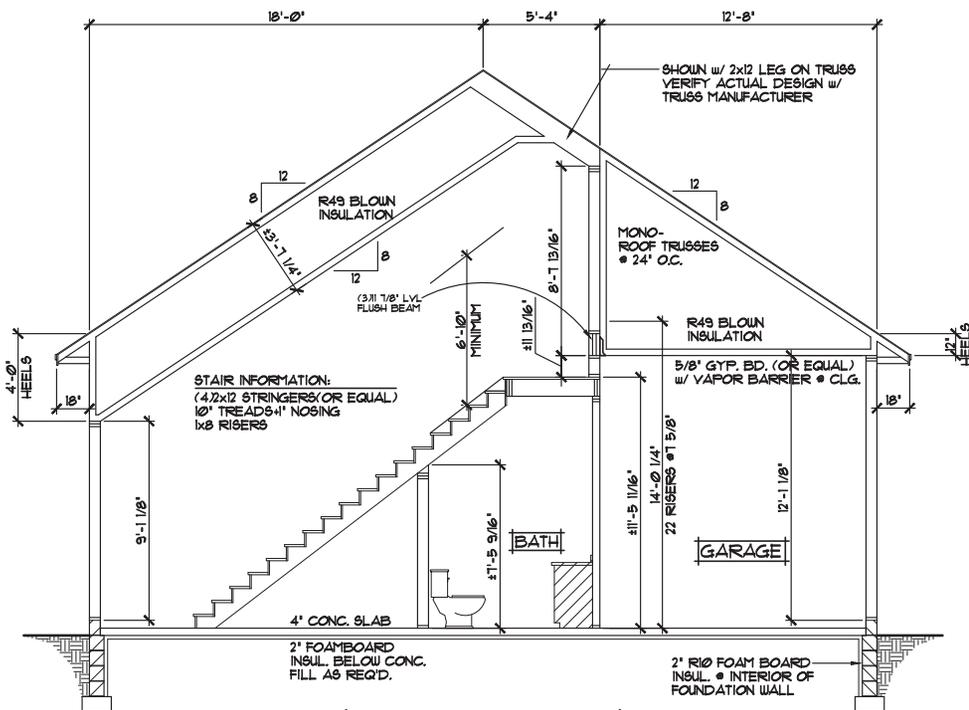
LEVEL HEIGHT INFORMATION TABLE		
LEVEL	R.C.H.	TOP OF WINDOW R.O.
MAIN LEVEL	12'-1 1/8"	6'-10 1/2"
UPPER LEVEL	8'-1 1/8"	6'-10 1/2"

- GENERIC WINDOWS SPEC'D.
- MAINTENANCE FREE SOFFITS & FASCIA
- VINYL SIDING/CORNER TRIM (TYP.)
- WINDOW/DOOR TRIM WHERE SHOWN

SPECIAL NOTICE:
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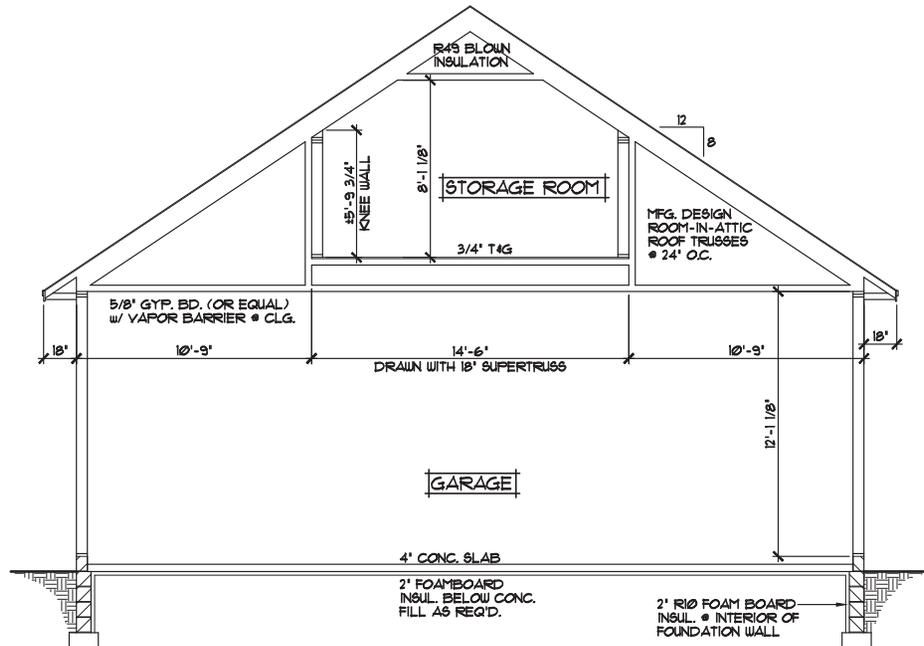


CROSS SECTION "E" 1/4"=1'-0"

NOTE III
IN FLOOR RADIANT
HEAT @ ENTIRE
MAIN LEVEL (TYP.)

NOTE III
PROVIDE 2" (R10) RIGID
FOAM BOARD INSULATION
BELOW SLAB FOR IN FLOOR
HEATING

NOTE III
PROVIDE 12" HEEL @ ALL
ROOM IN ATTIC TRUSSES
UNLESS NOTED OTHERWISE



CROSS SECTION "D" 1/4"=1'-0"

ALL HEIGHT CALCULATIONS FOR FOUNDATIONS ARE BASED ON THE USE OF FULL 8" HIGH BLOCK WITH 3/8" JOINTS. IF MODULAR BLOCK IS USED, CONTRACTORS SHOULD ADJUST HEIGHTS ACCORDINGLY.

SPECIAL NOTICE:
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SHEET

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OF 14

CADD FILE # 22029

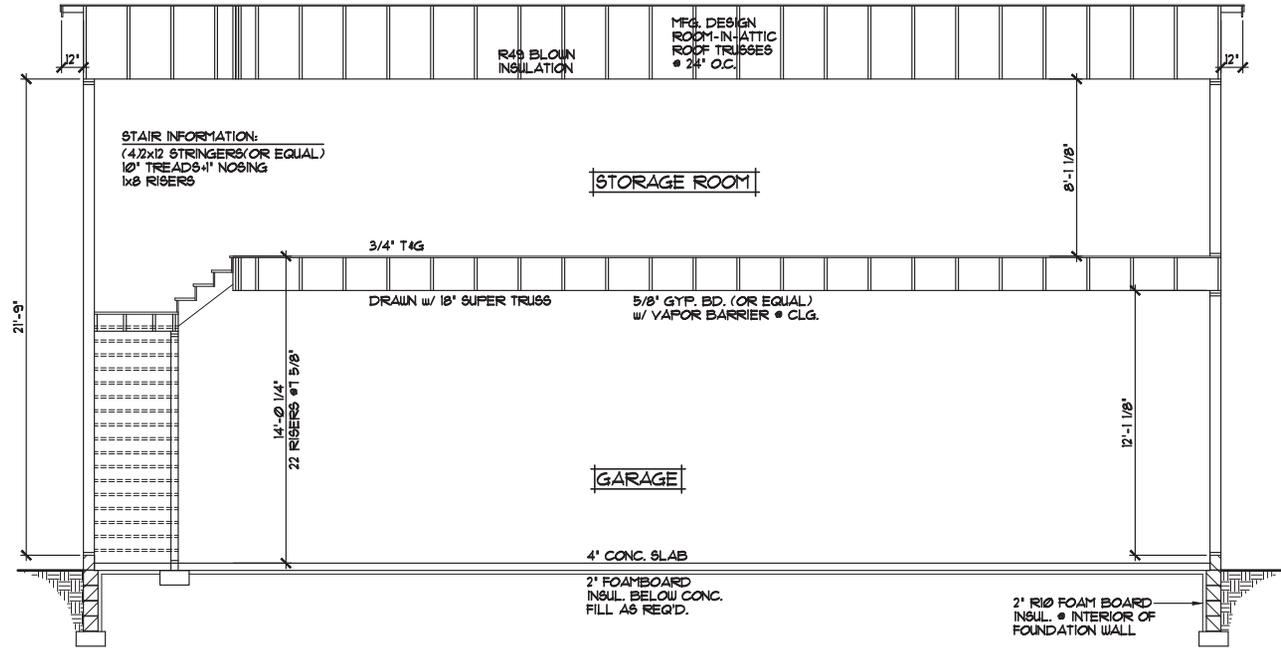
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NOTE!!!
 PROVIDE 12" HEEL @ ALL ROOM IN ATTIC TRUSSES UNLESS NOTED OTHERWISE



- ROOF CONSTRUCTION:**
- PREMANUFACTURED ROOF TRUSSES - ENGINEERED BY SUPPLIER - SLOPES VARY - SEE PLAN
 - R49 BLOWN FIBERGLASS INSULATION
 - 1/16" ROOF VENT AT SOFFITS, 1/16" VENT AT RIDGE
 - AIR CHUTE AT EACH TRUSS SPACE
 - 15/32" ROOF SHEATHING
 - 15" ROOFING FELT
 - ICE & WATER MEMBRANE APPLIED 24" PAST EXTERIOR WALL
 - ASPHALT SHINGLES

- SOFFIT / FASCIA:**
- 2x6 SUB-FASCIA
 - MAINTENANCE FREE FASCIA COVER
 - MAINTENANCE FREE VENTED SOFFIT

- WALL CONSTRUCTION:**
- HOUSE WRAP
 - 1/16" OSB SHEATHING
 - 2x6 STUDS @ 16" O.C.
 - WINDOWS PER SPEC'S.
 - R-20 F.G. BATT INSULATION
 - 4 MIL POLY VAPOR RETARDER
 - 1/2" GYPSUM BOARD

- RIM AREA CONSTRUCTION:**
- CLOSED CELL SPRAYED FOAM INSUL. R20 (MINIMUM) @ RIM AREA AND R30 (MINIMUM) @ CANTS.

- WALL CONSTRUCTION:**
- SIMILAR TO ABOVE

- SILL CONSTRUCTION:**
- 2x6 SILL PLATE & SEALER
 - 1/2" ANCHOR BOLTS @ 12" O.C.

- FOUNDATION CONSTRUCTION:**
- BLOCK WALL FOUNDATION (SEE FOUNDATION PLAN FOR COURSING)

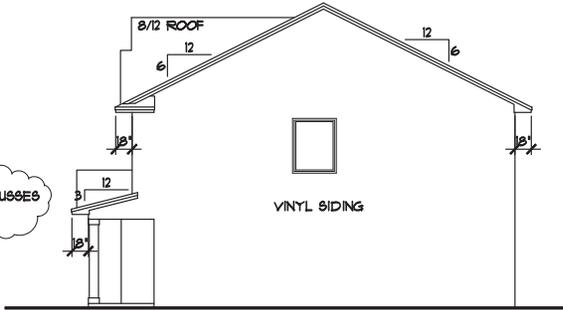
CROSS SECTION "F" 1/4" = 1'-0"

NOTE!!!
 IN FLOOR RADIANT HEAT @ ENTIRE MAIN LEVEL (TYP.)

NOTE!!!
 PROVIDE 2" (R10) RIGID FOAM BOARD INSULATION BELOW SLAB FOR IN FLOOR HEATING

ALL HEIGHT CALCULATIONS FOR FOUNDATIONS ARE BASED ON THE USE OF FULL 8" HIGH BLOCK WITH 3/8" JOINTS. IF MODULAR BLOCK IS USED, CONTRACTORS SHOULD ADJUST HEIGHTS ACCORDINGLY

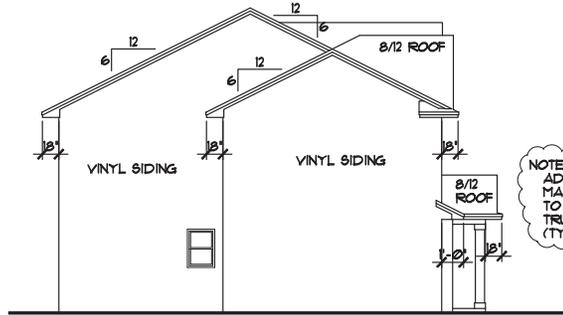
NOTE!!!
ADJUST HEEL HEIGHT @
MAIN LEVEL 6/12 & 8/12 TRUSSES
TO MATCH EAVES w/ 3/12
TRUSSES w/ 18' OVERHANG
(TYP.)



RIGHT ELEVATION 1/8"=1'-0"

NOTE!!!
PROVIDE STANDARD ENERGY
HEEL @ UPPER LEVEL 6/12 ROOF
TRUSSES w/ 18' OVERHANGS. ADJUST
HEEL HEIGHT OF ALL 8/12 ROOF
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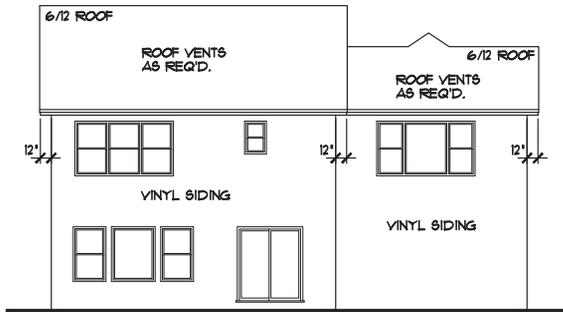
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TRUSSES w/ 18' OVERHANGS TO MATCH
EAVES w/ 6/12 ROOFS (TYP.)



LEFT ELEVATION 1/8"=1'-0"

NOTE!!!
ADJUST HEEL HEIGHT @
MAIN LEVEL 6/12 & 8/12 TRUSSES
TO MATCH EAVES w/ 3/12
TRUSSES w/ 18' OVERHANG
(TYP.)

NOTE!!!
PROVIDE STANDARD ENERGY
HEEL @ UPPER LEVEL 6/12 ROOF
TRUSSES w/ 18' OVERHANGS. ADJUST
HEEL HEIGHT OF ALL 8/12 ROOF
TRUSSES w/ 18' OVERHANGS TO MATCH
EAVES w/ 6/12 ROOFS (TYP.)



REAR ELEVATION 1/8"=1'-0"

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BUILT BY:

Dear Planning Commission,

I am writing to voice my support for the City of Blaine granting the variance requested in Case 22-0051. The applicant and the surrounding neighborhood have put a lot of effort into arriving at a solution for the detached garage location which is supported by all parties. The neighborhood appreciates the applicant's willingness to go the extra mile to pause his original CUP application and pursue a variance which addresses the neighborhood's concerns. The garage location with the variance also has the following benefits compared to the previously requested location with the CUP application:

- Reduce tree clearing by placing the garage in a location which has already been cleared of trees
- Maintain existing drainage patterns along the backyards of the existing houses along 125th Lane NE
- Minimize the amount of additional impervious area being added by driveway construction
- Improve water quality by minimizing additional impervious area
- Protect property values of existing properties adjacent to the 12640 Radisson Road NE property
- Protect existing wetland by limiting driveway runoff
- Reduce the use of natural resources required to construct a lengthy asphalt driveway
- Maximize the natural area available to Mr. Jordan by locating both proposed structures within a smaller footprint on the property
- Reduce floodplain impacts by locating the garage in an area with a higher existing ground elevation

I have attached a copy of the petition previously submitted to the Blaine Planning Commission during the public hearing of Case 22-0034, as the petition remains in support of the detached garage location proposed in the CASE 22-00051 variance request.

I respectfully request the Blaine Planning Commission vote to grant the variance request. This is a great opportunity to provide a positive example of government working with the community to arrive at a solution for which all parties involved win.

Thank you,
Brett Burfeind
1925 125th Lane NE
Blaine, MN

Patricia Robinson

From: Hayley Baldwin <hbaldwin85@gmail.com>
Sent: Tuesday, June 7, 2022 5:54 AM
To: Patricia Robinson
Subject: Case # 22-0034 Hearing date June 14, 2022 at 7 p

To who it may concern,

Our house backs up to the property listed. Since it has been purchased by Mr. Aaron Jordan it has been become a nuisance. Skid steer(s) have been running nonstop. Cleaning trees and making it look like a disaster. First, a dirt bike track was installed. Listening to the motors revving and running circles has been less then pleasing. Second, the winter and snowmobiling. Now back to spring/summer and the skid steer is back to piling up more trees everywhere. I understand at some point the land will probably be developed. My concern is that is it turning into a play area with dirt bike track and snowmobiling will affect property value. We enjoy having the windows open hearing normal city sounds. Due to the current situation, several days a week, we are not able to do that. I know that this behavior so far, has affected our neighbors and neighborhood.

Thanks for your time and consideration,

Hayley Baldwin

Patricia Robinson

From: Chris Armstrong <cramstrong82@hotmail.com>
Sent: Wednesday, June 8, 2022 12:00 PM
To: Patricia Robinson
Subject: Case # 22-0034

Good afternoon,

I am writing in regards to the proposed structure. I currently live across the street (Isanti Street), however since the property has been purchased the noise pollution has been pretty intense. Between skid steers, dirt bikes and snowmobiles, it has become vary apparent that they are building some sort of playground at the expense of the local community. I would have the same feeling if someone rode their snowmobile around their front yard for hours on end.

I can only imagine that if they build a toy shed (2,000+ square feet, nonetheless), the noise will only get worse. I think that when most people purchased a house in the neighborhood, they didn't think they would have a racetrack in their backyard (or in my case, front yard).

Please let me know if you have any questions,

Thanks

Chris

Patricia Robinson

From: Beth Tamblyn <btamblyn14@gmail.com>
Sent: Thursday, June 9, 2022 3:11 PM
To: Patricia Robinson
Subject: Case #22-0034

My questions/concerns regarding this parcel are as follows:

1. The owner has removed many trees from the site already, is this allowed by city ordinances?
2. With such a large garage, are there restrictions as to commercial equipment being stored on the exterior of the structure?
3. What is being done for the wetlands surrounding and in his property to make sure they are not being compromised?
4. I already have a low spot in my back yard. I am concerned that if he brings in fill, it will cause my low spot to retain more moisture.

Beth Tamblyn
12655 Isanti St NE, Blaine, MN 55449
651.410.8537

Patricia Robinson

From: Brett Burfeind <brettburfeind@gmail.com>
Sent: Thursday, June 9, 2022 9:07 PM
To: Patricia Robinson
Subject: Case 22-0034
Attachments: Site plan with garage location.pdf; Planning Commission Notice.pdf

Dear Blaine Planning Department,

My name is Brett Burfeind and I am a resident of Blaine Ward 3. My address is 1925 125th Lane NE. I am writing you with regards to Case 22-0034 and the proposed detached garage to be built on the 12640 Radisson Road 10-acre property. I will be attending the public hearing to reiterate my information below, but felt it important to send you this in writing as it is a lot of information and I am not sure I will be able to adequately relay it in front of a live audience. My request to the Blaine Planning Department is to allow Mr Jordan, the owner of 12640 Radisson Road, to construct a detached garage structure adjacent to his future house (along Radisson Road) rather than behind his future house.

For background, my property backs up to Mr. Jordan's 10 acre parcel of land which has been forest/wetland for the entire 17 years we have owned the property. A couple years ago, Mr. Aaron Jordan purchased the 10 acres with the intent of constructing a single-family home on it, along with a large, detached garage. In talking to Mr. Jordan, his original plan was to construct the primary house in the SE corner of the property and construct the detached garage to the north of the primary house, placing the detached garage adjacent to the new house and along Radisson Road. His proposed detached garage location was previously cleared of trees and is located away from the existing homes along 125th Lane that back up to his 10-acre property. Please see the attachment for his proposed site plan and the approximate location of his alternate/preferred detached garage location.

About a week ago we were notified of a Blaine Planning Commission Public Hearing scheduled for Thursday, June 14th, 2022 at 7pm to discuss Mr. Jordan's application to construct the detached building approximately 350' west of Radisson Road and directly behind the existing homes along 125th Lane NE. Please see the attached plan illustrating the proposed location of the garage. In addition, Mr. Jordan will need to construct a 400' long asphalt driveway along the backyards of multiple properties along 125th Lane NE. Both the garage and driveway require significant tree clearing, soil correction, drainage pattern changes, and construction impacts to the wooded 10-acre parcel.

This afternoon I discussed the proposed garage location with Mr. Jordan and he expressed to me that his desired detached garage location is still the location north of the proposed house along Radisson Road (as illustrated on the attached plan in red), not where it is shown in the attached plan behind the 125th Lane NE homes. My understanding after talking to Mr. Jordan is that the City of Blaine will not allow him to construct the detached garage along Radisson Road and is requiring him to build the detached garage in the location behind our houses. Per Mr. Jordan, the City of Blaine has informed him that per City ordinances, detached garages must be located behind the primary house and cannot be located adjacent to the primary house.

I request the City of Blaine allow Mr. Jordan to construct his detached garage in his desired location, adjacent to his primary house and along Radisson Road. I am in the process of discussing this proposed variance with my neighbors and so far have not talked to any neighbors who oppose this garage location variance request. Approving this variance from city ordinance provides the following benefits to Mr. Jordan, the surrounding neighborhood, and the environment as a whole:

- The alternate/preferred location is in a location which has already been cleared of trees, allowing the trees in the proposed location to remain in place.
- The alternate/preferred location will reduce the driveway length by over 300', saving a lot of natural resources required to perform the ground improvements and pave the long asphalt driveway.
- The alternate location/preferred location will limit the footprint of tree clearing and woodland impacts required to construct the garage and driveway.
- Constructing the detached garage in the required location will unnecessarily negatively impact the property value of at least five adjacent long time Blaine residential properties.
 - This is unacceptable considering a viable alternative detached garage location is available which would not impact any adjacent residential property values
- Mr. Jordan prefers the alternative/preferred detached garage location as it will maintain more of his property as wooded and would substantially decrease the cost of driveway construction and associated ground improvements
- The alternate/preferred location allows the existing drainage patterns behind the existing properties along 125th Lane NE to remain unimpacted. This is important as the land in this area is within a flood plain and has a history of flooding. Flooding and resulting standing water was witnessed on the 10 acres along the back of 125th Lane NE properties as recently as 2017. During that occurrence, the standing water remained for approximately 1 ½ months.
- The alternate/preferred location would limit the length of driveway and associated stormwater runoff adjacent to a wetland
- The alternate/preferred location would reduce the amount of impervious area being added to the 10-acre site, improving ground water quality.

While I understand the reasoning behind requiring detached garages to be located behind the primary residence on standard city lots, I feel that that same rule should be revisited when considering a 10-acre parcel classified as farm residential.

Multiple residents of the properties along 125th Lane NE will be in attendance at next Tuesday's Planning Commission Meeting to voice our desire for the City of Blaine to allow Mr. Jordan to locate his detached garage adjacent to his proposed house and along Radisson Road. We would appreciate the Planning Commission considering and approving our request to everyone's benefit. At this time we have not identified any Blaine residents which would be negatively impacted by allowing the garage to be located adjacent to the primary house being built.

I have reached out to my Blaine City Council Members along with the Mayor with a similar request.

Thank you for your consideration. If you have any questions please feel free to contact me at 612-384-4681.

Brett Burfeind

1925 125th Lane NE

Blaine, MN 55449

TREE PROTECTION NOTES

1. TREE PROTECTION LIMITS TO BE MARKED IN FIELD PRIOR TO ANY TREE CLEARING ACTIVITY.
2. SILT / TREE PROTECTION FENCE TO BE INSTALLED AT CONSTRUCTION LIMIT LINE.
3. CARE IS TO BE TAKEN TO AVOID CONSTRUCTION ACTIVITY OR CONSTRUCTION VEHICLE TRAFFIC WITHIN THE DRIP LINE OF TREES IN THE TREE PROTECTION ZONE.
4. FIELD DECISIONS WILL BE MADE ON LOCATION OF TREE PROTECTION LIMITS TO PRESERVE SIGNIFICANT TREES.
5. SOME TREES AND DEAD FALL ARE TO BE CLEARED. THIS MAY BE DONE PRIOR TO INSTALLATION OF SILT / TREE PROTECTION FENCE. GRUBBING OF STUMPS WILL OCCUR AFTER EROSION CONTROL MEASURE ARE INSTALLED.

 DENOTES TREE PRESERVATION AREA

SYMBOL LEGEND

- - - 950 EXISTING CONTOURS
- - - 950 PROPOSED CONTOURS - MAJOR INTERVAL
- - - 949 PROPOSED CONTOURS - MINOR INTERVAL
- - - GRADE BREAK LINE
- 2.0% GRADE SLOPE
- SILT FENCE
-  RIP-RAP / ROCK CONST. ENTRANCE
-  INLET PROTECTION
- SPOT ABBREVIATIONS:
TC - TOP OF CURB
GL - GUTTER LINE
B - BITUMINOUS
C - CONCRETE
EO - EMERGENCY OVERFLOW
TW - TOP OF WALL
BW - BOTTOM OF WALL (F/G)
(*) - EXISTING TO BE VERIFIED
-  NEW IMPERVIOUS PAVEMENT

GRADING NOTES

1. Tree protection consisting of snow fence or safety fence installed at the drip line shall be in place prior to beginning any grading or demolition work at the site.
2. All elevations with an asterisk (*) shall be field verified. If elevations vary significantly, notify the Engineer for further instructions.
3. Grades shown in paved areas represent finish elevation.
4. Restore all disturbed areas with 4" of good quality topsoil and seed.
5. All construction shall be performed in accordance with state and local standard specifications for construction.

CONSTRUCTION SEQUENCING NOTES

- a. INSTALL ALL TEMPORARY EROSION CONTROL MEASURES PRIOR TO BEGINNING ANY EXCAVATION OR DEMOLITION WORK AT THE SITE.
- b. INSTALL TREE PROTECTION AS SHOWN ON THE PLANS.
- c. BEGIN GRADING OF SITE AND CONSTRUCTION OF BUILDINGS, UTILITIES, AND DRIVEWAYS.
- d. FINALIZE GRADES AND STABILIZE ALL AREAS DISTURBED BY GRADING AND CONSTRUCTION.
- e. SITE IS FULLY STABILIZED WITH ESTABLISHED VEGETATION.
- f. REMOVE ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES AFTER SITE IS FULLY STABILIZED AND ALL CONSTRUCTION IN THE CONTRIBUTING DRAINAGE AREAS IS COMPLETE.

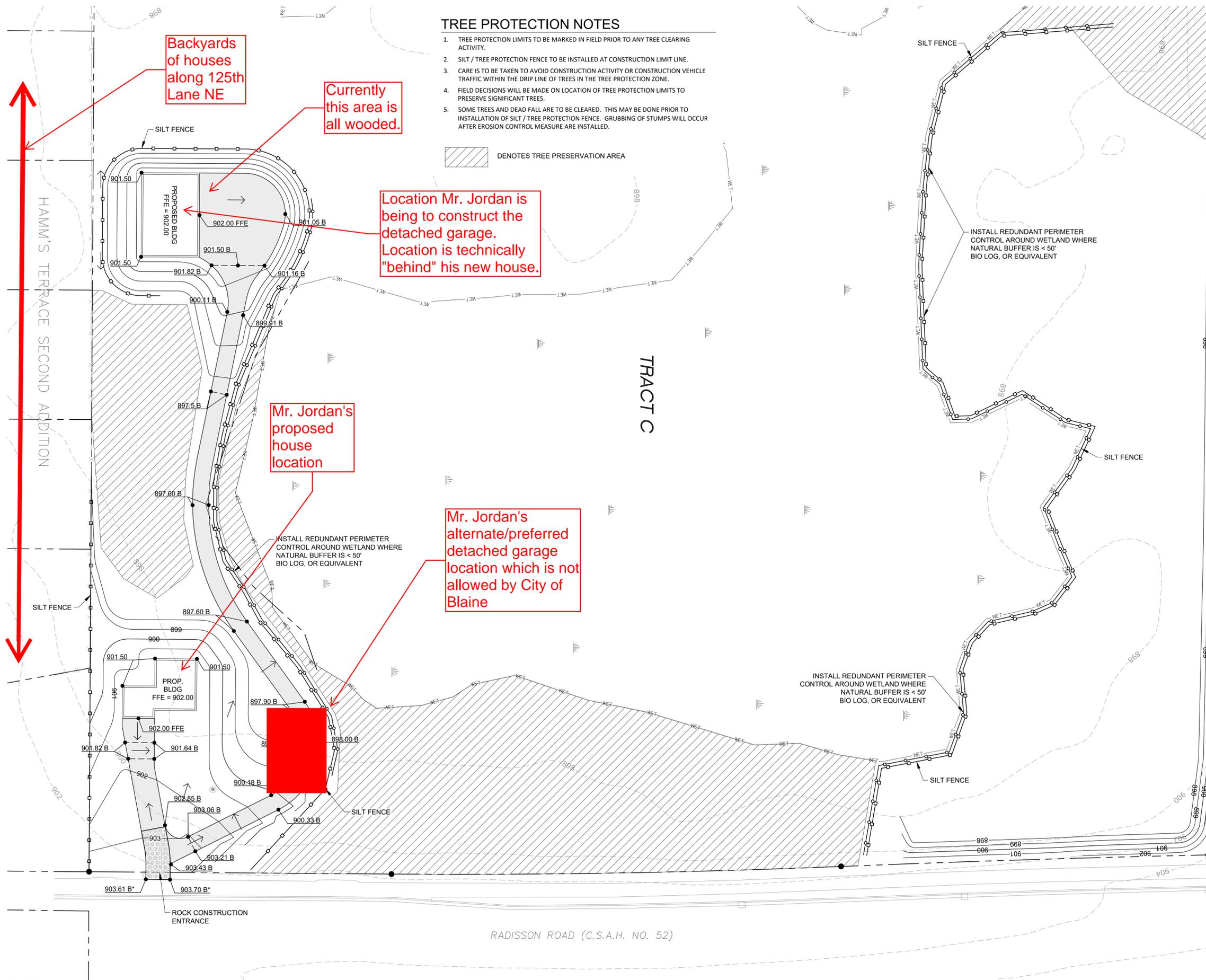
Backyards of houses along 125th Lane NE

Currently this area is all wooded.

Location Mr. Jordan is being to construct the detached garage. Location is technically "behind" his new house.

Mr. Jordan's proposed house location

Mr. Jordan's alternate/preferred detached garage location which is not allowed by City of Blaine



PRELIMINARY NOT FOR CONSTRUCTION

Larson Engineering, Inc.
 3524 Labore Road
 White Bear Lake, MN 55110
 651.481.9120 (f) 651.481.9201
 www.larsonengr.com

Client: AARON JORDAN

Project Title: RADISSON ROAD SITE DEVELOPMENT RADISSON ROAD, BLAINE, MN

I hereby certify that this plan, specifications or report was prepared by me or under my direct supervision and that I am a duly licensed Professional Engineer under the laws of the state of Minnesota.

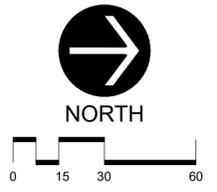
First M. Last, P.E.
 Date: _____ Lic. No.: _____

Rev.	Date	Description
1	01.04.22	City Comments

Project #: 12216029.000
 Drawn By: TJR
 Checked By: MJW
 Issue Date: 03.05.21

Sheet Title: SITE IMPROVEMENT, GRADING, AND EROSION CONTROL PLAN

Sheet: **C100**



Patricia Robinson

From: Mark Wollschlager <mrwollschlager@gmail.com>
Sent: Sunday, June 12, 2022 5:32 PM
To: Patricia Robinson; Chris Massoglia; Richard Paul; maisa@redcarpetagents.com
Subject: Fwd: Related to Aaron Jordan (Case# 22-0034)
Attachments: image.png

On Jun 12, 2022, at 12:13, Mark Wollschlager <mrwollschlager@gmail.com> wrote:

Dear Maisa O (Planning Commissioner), Richard P (Council Member Ward 3) and Chris M (Council Member Ward 3);

From Mark Wollschlager

Julie Huang/ Mark Wollschlager being the home owner's at address;
1950 125th Lane NE
Blaine MN 55449

We purchased this property in March 2020. Since moving in we have been making improvements on our house and property.

I would like to voice my concern with the activities on property 22-0034 which is located to the north of our house. For the past several months, we have witnessed the removal of trees, construction of roads, and ATV and dirtbike tracks. The meeting on June 14th to review case 22-0034, is the first official notice sent by the City of Blaine where citizens can speak on the topic.

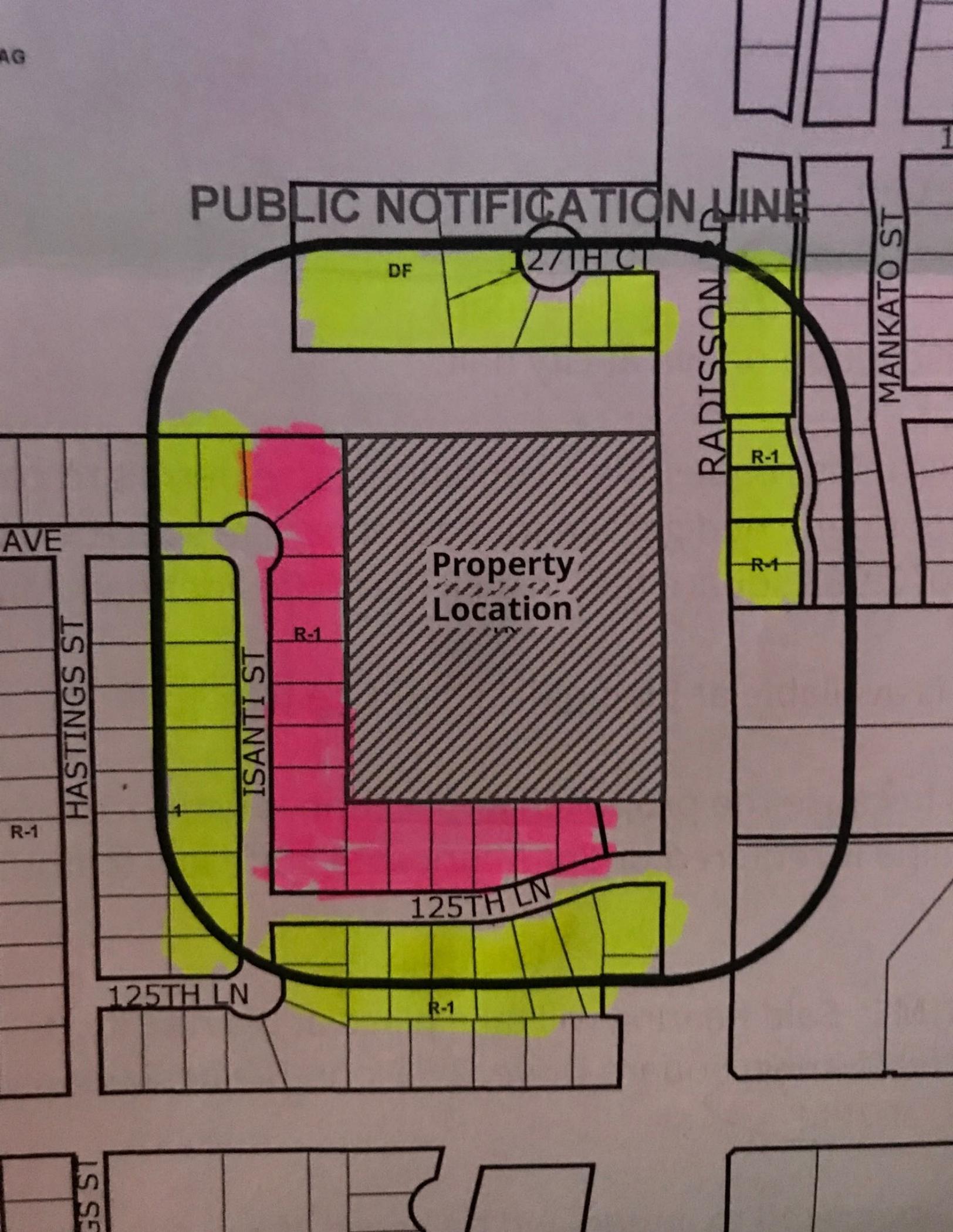
We love our Blaine community because of the mutual respect and neighborly manner we share. Their use of ATV/dirt bikes as well as the running of skid-loaders and chainsaws well into the evening, disturbs the neighborhood. Additionally, their use of this historic lowlands is devaluing property estimates of our neighboring homeowners who live on the perimeter of this property (Case #22-0034). This devaluing of properties could grow to include the 14 other perimeter residents (pink highlight below) directly, as well as the homeowners who live within the vicinity. This ripples in an additional 34 homes on adjacent properties (yellow highlight below).

It's very concerning how one Blaine property owner can negatively affect nearly 50 others home values.
<image.png>

Sincerely,
Mark Wollschlager

AG

PUBLIC NOTIFICATION LINE



DF

27TH CT

RADISSON RD

MANKATO ST

R-1

R-1

AVE

Property Location

R-1

ISANTI ST

HASTINGS ST

R-1

125TH LN

125TH LN

R-1

GS ST

Patricia Robinson

From: Mark Wollschlager <mrwollschlager@gmail.com>
Sent: Sunday, June 12, 2022 5:32 PM
To: Patricia Robinson; Chris Massoglia; Richard Paul; maisa@redcarpetagents.com
Subject: Fwd: Related to Aaron Jordan (Case# 22-0034)
Attachments: image.png

Council Member Chris M,
Yes, I will be attending Tuesday's meeting with a number of my neighbors for the public hearing on case #22-0034.
Sincerely,
Mark Wollschlager

----- Forwarded message -----

From: **Chris Massoglia** <cmassoglia@blainemn.gov>
Date: Sun, Jun 12, 2022 at 5:12 PM
Subject: Re: Related to Aaron Jordan (Case# 22-0034)
To: Mark Wollschlager <mrwollschlager@gmail.com>

Mark,

Thanks for reaching out. I've been in contact with Aaron and many of your neighbors. I'd encourage you to attend the planning commission and voice your concern if you have issues with the detached garage Aaron is building.

Thanks for taking the time to reach out!

Chris Massoglia
Ward 3, Blaine MN City Council

On Jun 12, 2022, at 12:13, Mark Wollschlager <mrwollschlager@gmail.com> wrote:

Dear Maisa O (Planning Commissioner), Richard P (Council Member Ward 3) and Chris M (Council Member Ward 3);

From Mark Wollschlager

Julie Huang/ Mark Wollschlager being the home owner's at address;
1950 125th Lane NE
Blaine MN 55449

We purchased this property in March 2020. Since moving in we have been making improvements on our house and property.

I would like to voice my concern with the activities on property 22-0034 which is located to the north of our house. For the past several months, we have witnessed the removal of trees, construction of roads, and ATV and dirtbike tracks. The meeting on June 14th to review case 22-0034, is the first official notice sent by the City of Blaine where citizens can speak on the topic.

We love our Blaine community because of the mutual respect and neighborly manner we share. Their use of ATV/dirt bikes as well as the running of skid-loaders and chainsaws well into the evening, disturbs the neighborhood. Additionally, their use of this historic lowlands is devaluing property estimates of our neighboring homeowners who live on the perimeter of this property (Case #22-0034). This devaluing of properties could grow to include the 14 other perimeter residents (pink highlight below) directly, as well as the homeowners who live within the vicinity. This ripples in an additional 34 homes on adjacent properties (yellow highlight below).

It's very concerning how one Blaine property owner can negatively affect nearly 50 others home values.
<image.png>

Sincerely,
Mark Wollschlager

Patricia Robinson

From: Brett Burfeind <brettburfeind@gmail.com>
Sent: Sunday, June 12, 2022 8:44 PM
To: pastoral@skypoint.com; jasonhalpern2015@gmail.com; Impatrin@gmail.com; tlhoman@yahoo.com; JonGorzycki@gmail.com; Maisa Olson - Realtor; knswan@comcast.net; Sheila Sellman; Patricia Robinson; Chris Massoglia; Richard Paul
Subject: Planning Commission Case File 22-0034 Petition
Attachments: Case File No 22-0034 Signed petition.pdf

Dear Planning Commission and City Council Members,

In advance of Tuesday's Planning Commission meeting, I would like to present the attached petition for your review. The petition supports relocating Mr. Jordan's proposed detached garage to a location adjacent to Radisson Road, directly northeast of his proposed primary home structure, as described on the petition.

With regards to the petition, I would like to note the following details:

- The petition was presented to residents along Isanti Street and 125th Lane NE within Blaine's Notice of Public Hearing zone.
- Of the 21 individual properties we were able to contact, 20 signed the petition.

In reviewing Blaine's 2040 Comprehensive Plan, specifically Chapter 2, page 20, NATURAL RESOURCES AND SUSTAINABILITY, I would like to emphasize that relocating the garage to a location along Radisson Road supports all of Blaine's Natural Resources Goals italicized below for ease of reference:

- *Goal #1 Promote preservation of Blaine's high value natural resource areas for public enjoyment through passive and active recreational opportunities.*
- *Goal #2 Promote and protect natural resources areas in the review and approval of new development.*
- *Goal #3 Elevate the importance of both maintenance and management of existing natural resources in open spaces and developed land.*
- *Goal #4 Become a more sustainable city by continuing to focus on programs and policies that advance environmental enhancement, including zoning regulations and standards that support the use of solar energy generation throughout the City.*
- *Goal #5 Conserve water and air resources through a mixture of conservation practices, incentives, and/or regulation.*

The positive environmental aspects of constructing the detached garage at a location adjacent to Radisson Road directly northeast of his proposed primary structure construction rather than the current proposed location include:

1. Reducing tree clearing by placing the garage in a location which has already been cleared of trees.
2. Maintaining existing drainage patterns along the backyards of the existing houses along 125th Lane NE.
3. Reducing the amount of impervious area being added to the site by approximately 3,500 sq-ft by substantially reducing the driveway length.
4. Improving water quality by minimizing additional impervious area.
5. Protecting existing wetlands by reducing the amount of driveway runoff draining to the wetland.
6. Reducing floodplain impacts by locating the garage in an area with a higher existing ground elevation.

In addition, there are multiple social/economic advantages of locating the detached garage to a location adjacent to Radisson Road directly northeast of Mr. Jordan's proposed primary home structure rather than the current proposed location, including:

- Protecting property values of existing properties bordering Mr. Jordan's property, especially in the current unstable economic environment.
- Reducing Mr. Jordan's construction costs by significantly reducing the driveway length and associated required ground improvements.
- Resolving numerous concerns and frustrations of surrounding homeowners.

Ultimately, the Planning Commission is tasked with determining the most beneficial/least negatively impactful variance and/or conditional use permit to issue Mr. Jordan, if any is issued at all. Collectively we feel that approving a conditional use permit for the larger-than-standard detached garage (2,613 square feet) in the location proposed as part of Case File 22-0034 will result in the most negative impacts to the environment and all surrounding property owners, while allowing the detached garage to be constructed adjacent to Radisson Road directly northeast of Mr. Jordan's proposed primary home is the most beneficial for the environment and all parties involved.

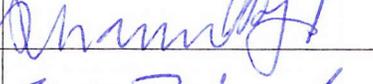
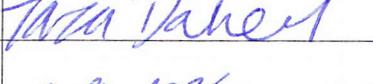
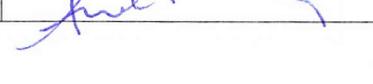
Thank you,

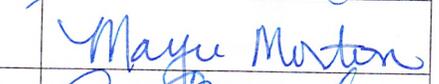
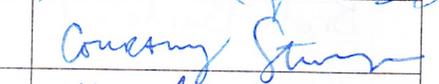
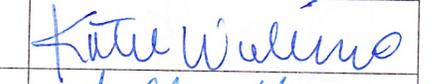
Brett Burfeind
1925 125th Lane NE
Blaine, MN 55449

Petition to locate the proposed 12640 Radisson Road NE detached garage within the Radisson Road roadway setback

We, the undersigned, respectfully request the detached garage proposed to be built on the 12640 Radisson Road NE property be located within the Radisson Road roadway setback. The location proposed by this petition would place the detached garage directly Northeast of the proposed primary building planned to be concurrently constructed on the property. Locating the proposed detached garage in this location would realize the following benefits:

- Reduce tree clearing by placing the garage in a location which has already been cleared of trees
- Maintain existing drainage patterns along the back yards of the existing houses along 125th Lane NE
- Minimize the amount of additional impervious area being added by driveway construction
- Improve water quality by minimizing additional impervious area
- Protect property values of existing properties adjacent to the 12640 Radisson Road NE property
- Protect existing wetland by limiting driveway runoff
- Reduce the use of natural resources required to construct a lengthy asphalt driveway
- Maximize the natural area available to Mr. Jordan by locating both proposed structures within a smaller footprint on the property
- Reduce floodplain impacts by locating the garage in an area with a higher existing ground elevation

Name	Address	Signature
Brett Burfeind	1925 125 th Lane NE, Blaine	
Allen Hanzlers	1958 125 th Lane NE Blaine	
Diane Hartlieb	1938 125 th Lane NE	
Todd Trick	1939 125 th Ln	
Xian Trick	1939 125 th Lane	
Shannon Burtund	1925 125 th Ln NE	
Tara Daher	1913 125 th Ln NE	
Chris Murphy	1913 125 th Ln NE	
Andrea Kaminski	12636 Isanti St. NE	

Name	Address	Signature
Jim Wallnaff	12672 Isanti St	
Rodney Baldwin	12691 Isanti St	
Chris Armstrong	12690 Isanti St NE	
Kern Mascher	1914 125th Lane NE	
MARK R. WOLLSCHLAGER	1950 125th Lane	
Steven Ricci	1902-125th Lane NE	
Margorie Morton	1901 125th Ln NE	
Tom Morton	1901 125th Ln NE	
DANNY LINDSEY	12618 ISANTI ST NE	
Shelley & Keith Johnson	12637 ISANTI ST NE	
Beth Tamblyn	12655 ISANTI ST NE	
Mike Gattfield	12701 Isanti St NE	
TRAVIS STURGES	12565 ISANTI ST NE	
COURTNEY Sturges	12565 ISANTI ST NE	
Michelle Case	12582 Isanti St NE	
Katie Williams	1976 125th Lane NE	
SHELLEY AURORA	1953 125th Lane NE	
DAVID GARD	1953 125th Ln NE	
Julie Huang	1950 125th Ln NE	

Patricia Robinson

From: Shannon Burfeind <shannonburfeind@yahoo.com>
Sent: Monday, June 13, 2022 10:42 PM
To: Patricia Robinson
Subject: Public Hearing Case 22-0034

Ms. Robinson and Blaine Planning Commission,

I will attend the hearing for case 22-0034 on Tuesday, June 13, 2022 at 7pm, however, I wanted to provide my comments ahead of time.

Sincerely,
Shannon Burfeind
1925 125th Lane NE, Blaine, MN 55449

After reviewing the City of Blaine's Zoning Code and property details for parcel ID 04-31-23-33-0084 (12640 Radisson Road NE), I believe that parcel ID 04-31-23-33-0084 associated with Planning Commission CASE 22-0034 is incorrectly zoned as Farm Residential (FR).

A conditional use permit should not be issued to construct a 2,613 square foot detached garage on the parcel, for a total combined 2,963 square feet of garage space, because the parcel does not meet the criteria for the FR Zoning District as established by Blaine Zoning Code Chapter 29.011, which states:

This district is intended for areas where urban services are not presently available. A minimum lot size of ten (10) acres will retain these lands in their natural uses and agricultural uses pending proper timing of economical provisions for parks, streets, utilities, and other public facilities, so that orderly development will occur.

In addition, Blaine Zoning Code Chapter 29.015 - Standards, states:
(a) *Minimum lot area – ten (10) acres*

Parcel ID 04-31-23-33-0084 (12640 Radisson Road NE) does not meet the above criteria for the following reasons:

- **Acreage requirement:** Parcel ID 04-31-23-33-0084 is under the 10-acre limit to be zoned as Farm Residential. The City of Blaine and Anoka County have recorded the property at 12640 Radisson Road as 9.43565 acres.
- **Access to urban services:** Parcel ID 04-31-23-33-0084 is surrounded on three sides by residential development, including Radisson Cove just to the north of 12640 Radisson Road NE. Radisson Cove was constructed within the last 5 years. Public utilities are available within the Radisson Road roadway corridor.

I respectfully request the conditional use permit associated with Planning Commission CASE 22-0034 be denied.

REFERENCES

City of Blaine Property Information

Per the City of Blaine's "portal", property ID 04-31-23-33-0084 is classified as "FR" and "LDR" and 9.43565 acres.

Reference:

<https://blaine.ims16.com/ims/CustomFields/EditFields?EncrId=711700273&TblNm=BaseFields&EncrTblID=711700273&Pct=100&ReturnTo=Details>