

PUBLIC NOTIFICATION LINE

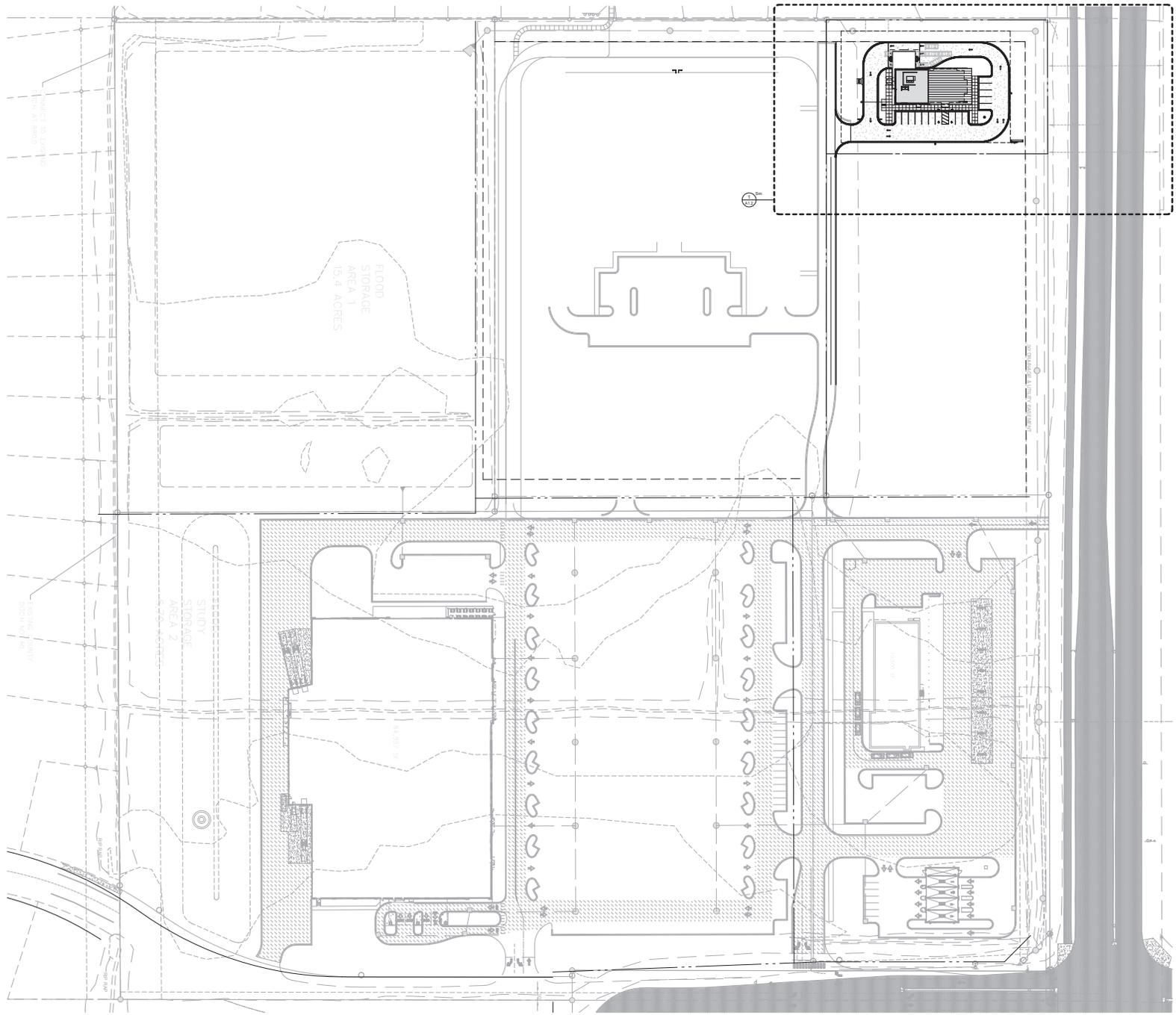
Property Location



BlaineMN.gov

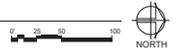
**Case File No. 21-0073
Wings Financial Credit Union**





NOT FOR CONSTRUCTION

1
A1.1 OVERALL ARCHITECTURAL SITE PLAN
1" = 50'-0"



POPE ARCHITECTS, INC.
1205 BENDANA BLVD PL SUITE 200
ST. PAUL, MN 55108-2735
(651) 642-9200 | FAX (651) 642-2202
www.popearch.com



WINGS FINANCIAL,
BLAINE - NEW
BUILDING
125TH AVENUE NE
BLAINE, MN

OVERALL SITE PLAN

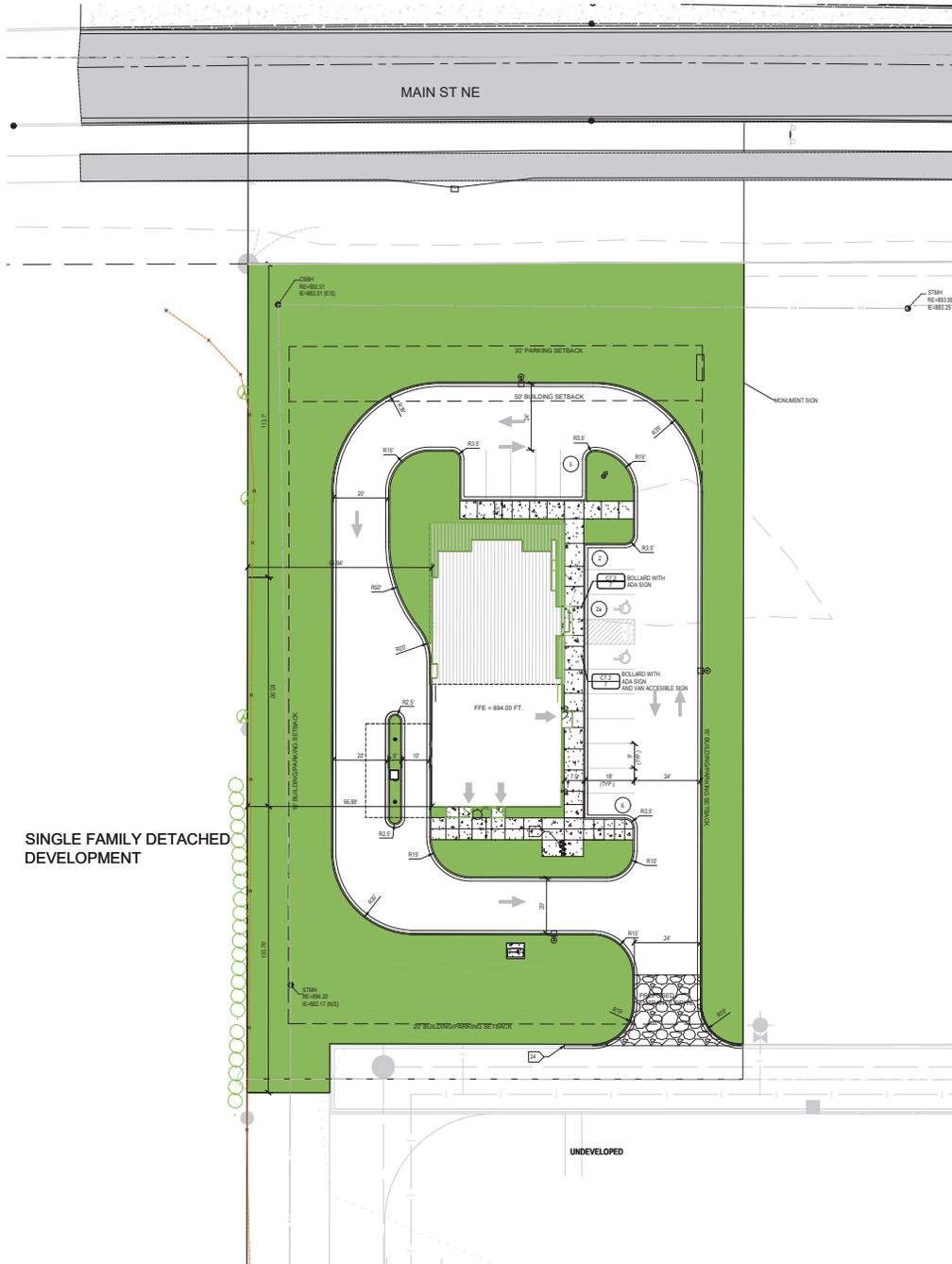
SITE PLAN REVIEW 10/08/21

I hereby certify that this plan specification,
or report was prepared by me or under
my direct supervision and that I am a duly
Licensed Architect under the laws of the
State of Minnesota.
E. Sullivan
Architect Name
Date: 10-08-2021 Lic. No. 51570

83537-21095
DO
GV

SHEET

A1.1



SINGLE FAMILY DETACHED DEVELOPMENT

UNDEVELOPED

GENERAL NOTES

1. For construction staking and surveying services contact Landform at 612.252.9070.

SITE PLAN NOTES

- Obtain all necessary permits for construction within, or use of, public right-of-way.
- The digital file, which can be obtained from the Engineer, shall be used for staking. Discrepancies between the drawings and the digital file shall be reported to the Engineer. The building footprint, as shown on these drawings, and the digital file, shall be compared to the structural drawings prior to staking.
- Building layout angles are parallel with or perpendicular to the property line at the location indicated.
- Dimensions shown are to face of curb and exterior face of building unless noted otherwise.
- Delimitate parking stalls with 4-inch wide white / yellow painted strips. Delimitate access aisles with 4-inch wide white / yellow painted stripes 15 inches on center and at 45 degree angle to direction of travel.
- Blue rock. Refer to sheet L2.1.

ZONING AND SETBACK SUMMARY

The Property is Zoned Planned Business District Zone (PBD)

Building Setback Information is as follows:
 Front Yard = 10 ft.
 Rear = 20 ft.
 Side = 10 ft.

Parking Setback Information is as follows:
 Front Yard = 30 ft.
 Rear = 20 ft.
 Side = 10 ft.

AREA SUMMARY

Existing	Area	Ac.	%
Pavement	54,156	1.24	100.0%
Impervious	0	0	0%
	54,156	1.24	100.0%
Permeant			
Proposed	27,427	0.62	50.0%
Total	81,583	1.86	100.0%

PARKING SUMMARY

Total Required Parking	13
One Stall per 450 s.f. of Building	
5,000 s.f. Total	
5,000 s.f. / 400 = 10 Stalls	
Total Parking Stalls Required	13
Provided Parking	
Standard Stalls (16'x18')	13
Accessible Stalls (16'x18')	2
Total Parking Stalls Provided	15

LEGEND

Green Space (Landscape Area)

DEVELOPER

WINGS FINANCIAL CREDIT UNION
 14985 GLAZIER AVENUE, SUITE 100
 APPLE VALLEY, MN 55124

MUNICIPALITY



PROJECT

WINGS FINANCIAL CREDIT UNION
 BLAINE, MN

ISSUE / REVISION HISTORY

DATE	ISSUE / REVISION	NO.
07/01/2021	PROPOSAL SET	001
08/02/2021	LOT SUBMITTAL	002

CERTIFICATION

PRELIMINARY
 NOT FOR
 CONSTRUCTION

IF THE SIGNIFICANT SEAL, DESIGN OR SPECIFICATIONS HAVE NOT BEEN REVIEWED BY THE ENGINEER, THE PROJECT HAS BEEN PREPARED BY THE ARCHITECT OR DESIGNER AND IS NOT GUARANTEED. THE ARCHITECT OR DESIGNER IS NOT RESPONSIBLE FOR ANY ERRORS OR OMISSIONS.

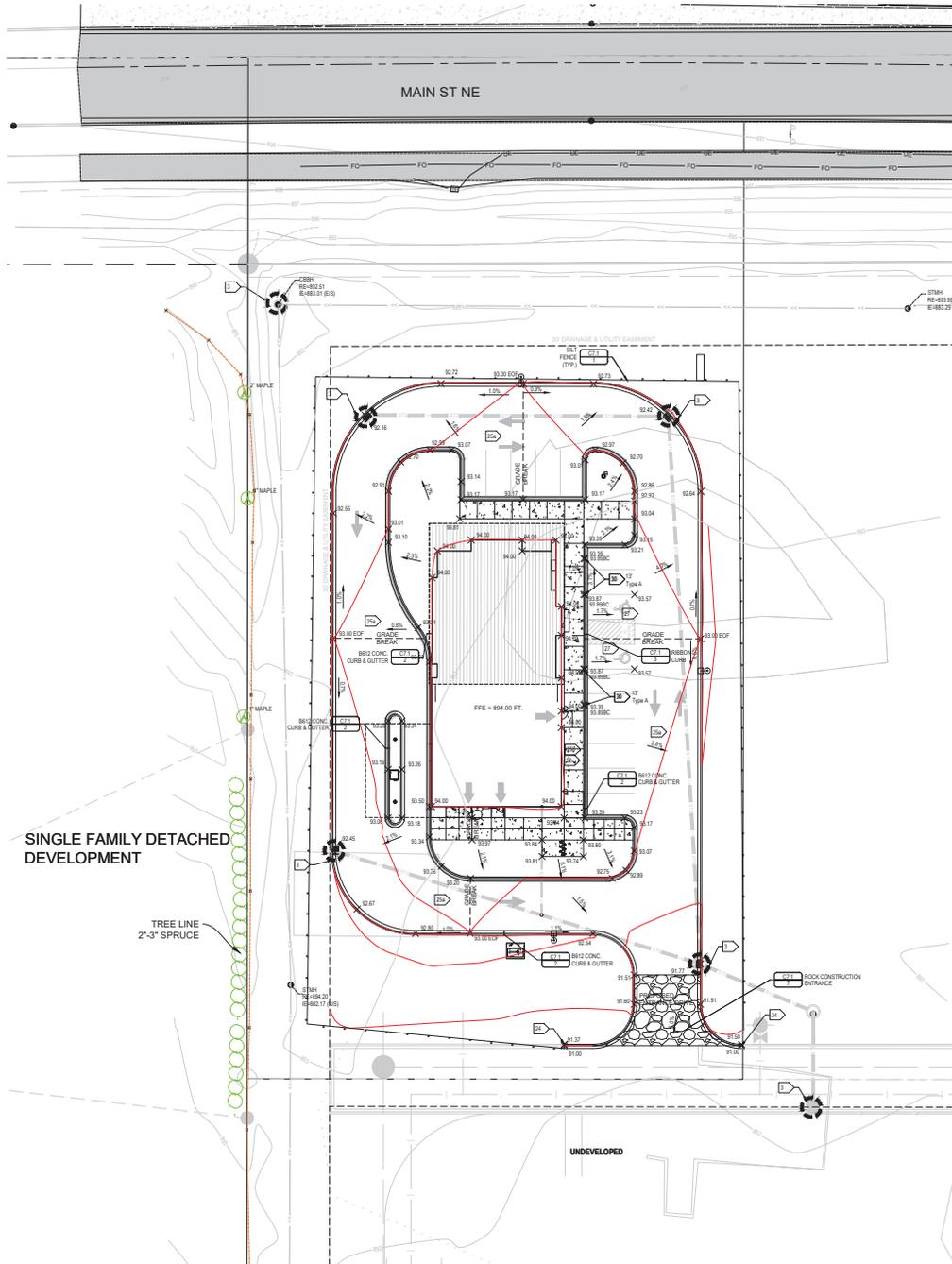
CITY SUBMITTAL
 10.08.2021



105 South Fifth Avenue Tel: 612-252-9070
 Suite 513 Fax: 612-252-9077
 Minneapolis, MN 55401 Web: landform.net

FILE NAME: C21WFC023.DWG
 PROJECT NO: WFC21003

SITE PLAN
C2.1



GENERAL NOTES

- For construction staking and surveying services contact Landform at 612.252.9070.

EROSION PREVENTION AND SEDIMENT CONTROL NOTES

- Install perimeter sediment controls prior to beginning work and maintain for duration of construction. Remove controls after areas contributing runoff are permanently stabilized and dispose of fill.
- Install silt protection: Wilcox PD or CD matting as appropriate, or approved equal. Maintain protection until project is stabilized.
- Limit soil disturbance to the grading limits shown. Schedule operations to minimize length of exposure of disturbed areas.
- Management practices shown on the erosion management plan. Implement and maintain additional controls as work proceeds to prevent erosion and control sediment carried by wind or water.
- Reserved.
- Reserved.
- Reserved.
- Reserved.

All exposed soil areas must be stabilized within 72 hours of completion of work in each area.

Seed, Sod, Mulch, Erosion Control Blanket, and Fertilizer shall meet the following Specifications, as modified:	Specification Number	Estimated Quantity
Seed	MNDOT 387B	25,155 s.f.t.
Sod	MN Type 21-111 @ 100 lb./sq. - Temporary Erosion Control - Temporary Erosion Control May 1 - Jul 31	
	MN Type 21-112 @ 100 lb./sq. - Temporary Erosion Control - Temporary Erosion Control Aug 1 - Oct 31	
Mulch	MNDOT 386C	
Erosion Control Blanket	(MNDOT Type 1 @ 20 mils) - Disc Anchored	MNDOT 386C
Fertilizer	(MNDOT Type 2N (12 mo) MN (24 mo))	MNDOT 3811
General Placement		MNDOT 207A

- See Landscape Sheets for permanent turf and landscape establishment.
- Storage adjacent streets clean daily and sweep clean weekly.

GRADING NOTES

- Construct utility service provisions for full location of service 72 hours prior to beginning grading.
- Refer to the Geotechnical Report prepared by Brian Hartke, dated 05/12/2017, for additional information on backfill material and groundwater conditions.
- Remove topsoil from grading areas and stockpile sufficient quantity for reuse. Materials may be removed from landscape areas for use on site and replaced with source organic material with prior Owner approval.
- Remove surface and ground water from excavations. Provide initial lifts of stable foundation material if exposed soils are wet and unstable.
- Rough grade Building Pad to 12 inches below Finished Floor Elevation (FFE).
- Refer to Structural Specifications for setback requirements for building pads.
- An Independent Testing Firm shall verify the removal of organic and unstable soils, soil correction, and compaction and provide periodic reports to the Owner.
- Place and compact fill using 18 inch thicknesses matched to soil type and compaction equipment to obtain specified compaction throughout the fill.
- Compact cohesive soils in paved areas to 90% of maximum dry density. Standard Proctor (ASTM D698) except the top 3 feet which shall be compacted to 90%. Compact 100% density where fill depth exceeds 10 feet. The soils shall be within 2% of maximum moisture content in granular soils at portions of the embankment shall be compacted to not less than 90% of Modified Proctor Density (ASTM D1557).
- Coordinate with Architectural for building stoop locations. Slopes shown on adjacent walks and pavements should continue over stoops.

PAVING NOTES

- Spot Elevations at curbsides indicate finished elevations unless noted otherwise. See Sheet C4.1 for rim elevations of catch basins.
- Grades between proposed spot elevations shall be continuous and nonvariable. Spot Elevations shall govern over contour lines.
- Match and Match existing curb. Transition as needed.
- Paving Sections (Refer to Geotech Report by Brian Hartke on 05/12/2017 for pavement sections)
 - Asphalt Paving (Light Duty)
 - Concrete Walkways
 - Concrete Drives, Aprons, and Exterior Slabs
- Concrete Joints
 - Install joints as shown and align across sidewalks, curbs, and pavement, paying attention to spacing of expansion joints. Joint spacing shall be as follows:
 - Trailed joints: Divide panels into generally equal areas unless shown otherwise.
 - Expansion joints: 40 feet max. Curb: 60 feet max. Pavement 80 feet max. Adjacent to building foundations and stoops.
 - Contraction joints: Sidewalks - 8 to 10 feet. Curbs and Aprons - 12 to 15 feet.
- Accessible Paving Slabs and adjacent access aisles shall not exceed a 2.0% slope in any direction.
- Possible Routes shall have a maximum cross slope of 2.0% and a maximum running slope of 5.00%.
- Match all structure lines to match pavement elevations.
- Transition from 812 curb & gutter to ribbon curb. See detail CT 1/4.
- Emergency overflow route.

LEGEND

SYMBOL	DESCRIPTION	ESTIMATED QUANTITY
	Silt Protection	6 ea.
	Silt Fence	624 ft.
	Pavement Sawcut	
	Tip Out Curb	
	GRAVEL	

DEVELOPER

WINGS FINANCIAL CREDIT UNION
14885 GLAZIER AVENUE, SUITE 100
APPLE VALLEY, MN 55124

MUNICIPALITY



PROJECT

WINGS FINANCIAL CREDIT UNION
BLAINE, MN

ISSUE REVISION HISTORY

DATE	ISSUE REVISION	NO.
07/01/2021	PROPOSED S11	001
08/02/2021	OFF MARKET	002

CERTIFICATION

PRELIMINARY
NOT FOR
CONSTRUCTION

CITY SUBMITTAL
10.08.2021



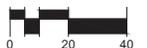
105 South Fifth Avenue Tel: 612-252-9070
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Minneapolis, MN 55401 Web: landform.net

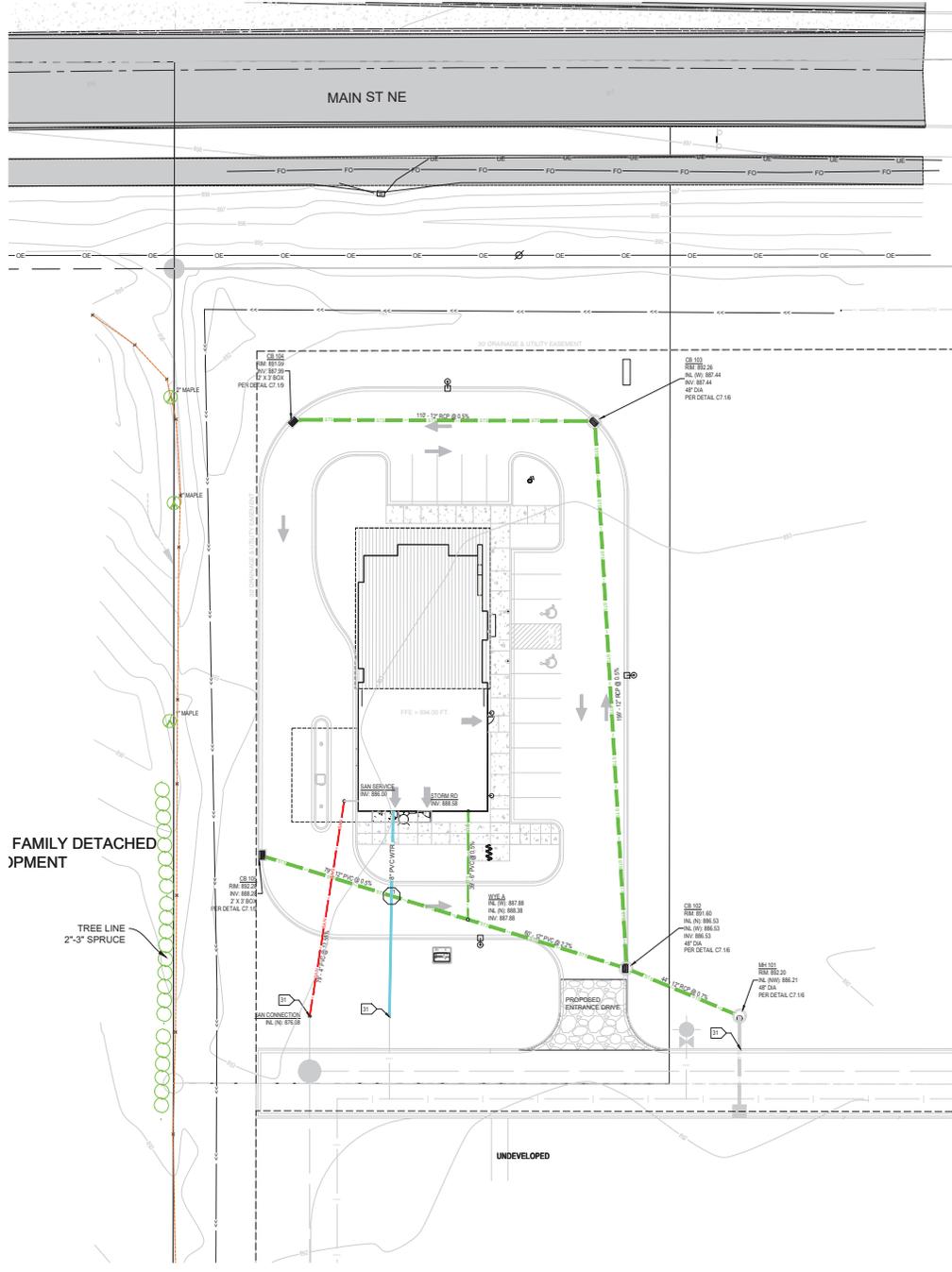
FILE NAME: C31WFC03.DWG
PROJECT NO: WFC21003

GRADING, DRAINAGE, PAVING & EROSION CONTROL
C3.1



Know what's Below.
Call before you dig.





GENERAL NOTES

- For construction staking and surveying services contact Landform at 612.252.9070.
- UTILITY NOTES**

 - | | |
|------------------------|--|
| Watermain | CS90 PVC |
| Water Service | C90P1 Tube K (ASTM 688) |
| Public Sanitary Sewer | PVC SDR 35 |
| Private Sanitary Sewer | PVC Schedule 40 (ASTM D1785, D2065, F754, & F1866) |
| Storm Sewer | PVC Schedule 40 (ASTM D1785, D2065, F754, & F1866) |
- Contact utility service providers for field location of services 72 hours prior to beginning.
- Contractor to field verify location and elevation of all utility points of connection prior to construction of any proposed utilities. Contractor to notify Engineer immediately if there is any discrepancy.
- Contractor to perform all utility crossings prior to construction of new utilities to verify depths of existing lines. Contact Engineer immediately if any conflicts are discovered.
- Provide means and measures to protect adjacent property from damage during utility installation.
- Pipe lengths shown are from center of structure to center of structure or end of end section.
- Install tracer wire with all non-conductive utilities in accordance with City of Blaine Standards.
- Connect to utility utilities in accordance with City of Blaine Standards.
- Reserved.
- Maintain 7.5 feet min. of cover on water.
- Deflect water to maintain 18-inch minimum outside separation at sewer crossings. Center pipe lengths to provide greatest separation between joints.
- Contact City of Blaine Engineering Department, at 763.765-6717 for building and pressure test inspections.
- The water distribution system shall be distributed per Minnesota Rules, Part 4714.
- Provide 4-inch rigid foam (ASTM C127) insulation on sanitary sewer less than 6 feet deep.
- Reserved.
- All portions of the storm sewer system, located within 10 feet of the building or water service line must be tested in accordance with Minnesota Rules, Part 4714.
- All joints and connections in the storm sewer system shall be gasketed or water tight. Approved resilient rubber joints must be used to make straight connections to manholes, catch basins, and other structures.
- Catch basins in curb and gutter are sumped 2 inches below the gutter grade. Refer to Detail 6 on Sheet C7.1.
- Reserved.
- Irrigation sleeves to be 4-inch Schedule 80 PVC buried 24" below grade. Extend sleeves 3-feet beyond the edge of pavement. Mark each end of sleeve with 3/4-inch rebar 12 inches below finish grade. (Coordinate with Irrigation Contractor.)
- Coordinate with Private Utilities to provide electric, natural gas, and communications services to building.
- The primary electric feed, transformer, and meter are provided and installed by V.E. Energy. The transformer pad design is provided by the utility and construction is by the Contractor. Contact utility for pad data. The secondary electric and conduits shall be installed by the Electrical Contractor.
- See site lighting plan for additional information.
- You will furnish and install gas service piping from the mainline to the meter and the meter. Gas service from the meter shall be installed by the Mechanical Contractor.
- Provide one 3/4-inch PVC conduit with pulling from existing telephone service to building.
- Provide conduits for cable television and other electronic communication.
- Coordinate with Mechanical, Plumbing, and Electrical Drawings for locations of service connections and continuation of services within building.
- Compact aggregate soils in paved areas to 98% of maximum dry density. Standard Proctor (ASTM D698), except the top 3 feet which shall be compacted to 100%, compact to 98% density where fill depth exceeds 10 feet. The soils shall be within 3% of optimum moisture content. In granular soils all portions of the embankment shall be compacted to not less than 95% of Modified Proctor Density (ASTM D1557).
- Adjust structures to final grade where disturbed. Comply with requirements of Utility. Meet requirements for traffic loading in paved areas.

UTILITY CROSSINGS

- | | |
|---|-------------------------------|
| 1 | Crossing 1 |
| | Sanitary Sewer 18" x 88.6 ft. |
| | Watermain Top 88.5 ft. |
| | Clearance = 2 ft. |

DEVELOPER

WINGS FINANCIAL CREDIT UNION
14885 GLAZIER AVENUE, SUITE 100
APPLE VALLEY, MN 55124



PROJECT
WINGS FINANCIAL CREDIT UNION
BLAINE, MN
ISSUE REVISION HISTORY

DATE	ISSUE REVISION	REVISION
07/20/2021	PROPOSED C41	883
08/02/2021	UPD. QUANTITIES	883

CERTIFICATION

PRELIMINARY NOT FOR CONSTRUCTION

IF THE GEOTECHNICAL DATA PROVIDED IS INCORRECTLY APPLIED AND NOT VERIFIED, THIS SHEET HAS BEEN REPRODUCED BY THE INTENDED READER AND LANDFORM ENGINEERING HAS NO RESPONSIBILITY FOR THE CONSEQUENCES OF SUCH APPLICATION.

CITY SUBMITTAL
10.08.2021



105 South Fifth Avenue Tel: 612-252-9070
Suite 510 Fax: 612-252-9077
Minneapolis, MN 55401 Web: landform.net

FILE NAME: C41WFC033.dwg
PROJECT NO: WFC21003

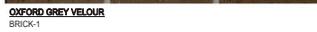
UTILITIES
C4.1

811
Know what's Below.
Call before you dig.

EXTERIOR MATERIAL FINISH SCHEDULE

MATERIAL ID	MATERIAL	MANUFACTURER	FINISH	COLOR	LOCATION
CSTN-1	STONE VENEER BASE	AMERICAN ARTSTONE	SMOOTH	103-83 MAE	GRADE SILLS, MONUMENT SIGN CAP STONE
MP-1	METAL PANEL	ALUCOBOND	FEVE	BRUSHED CARBON	NORTH, EAST, AND SOUTH SIDES
MP-2	METAL PANEL	ALUCOBOND	FEVE	NATURAL BRUSHED STAINLESS	VESTIBULE CANOPY AND CEILING
MP-3	METAL PANEL	ALUCOBOND	PVD/P	WINGS FINANCIAL CUSTOM COLOR - PMS 285	SOUTHEAST SIGNAGE FIN
MP-4	METAL PANEL	ALUCOBOND	PVD/P	NATURAL ZINC	ROOF FABCA AND SOFFIT, DRIVE-THRU
FLASH-1	CAP FLASHING	ALUCOBOND	PVD/P	BRUSHED CARBON	PARAPET CAP AT MP-1
FLASH-2	CAP FLASHING	ALUCOBOND	FEVE	NATURAL BRUSHED STAINLESS	PARAPET CAP AT MP-2
FLASH-3	CAP FLASHING	ALUCOBOND	PVD/P	WINGS FINANCIAL CUSTOM COLOR - PMS 285	PARAPET CAP AT MP-3
FLASH-4	CAP FLASHING	PACOLAD	KYNAR 500	WEATHERED ZINC	PARAPET CAP AT BRICK-1, RTU SCREEN
AFS-FLASH-1	WINDOW SILL FLASHING	KYNAR 500	SILVERSMITH		CURTAIN WALL AND STOREFRONT SILLS
AFS-1	ALUMINUM WINDOW FRAMES	KARMEER	XXXX	CLEAR ANODIZED ALUMINUM	2'-10" x 7'-10" CURTAIN WALL
AFS-2	ALUMINUM WINDOW FRAMES	KARMEER	XXXX	CLEAR ANODIZED ALUMINUM	2' x 4'-1/2" STOREFRONT
BRICK-1	FACE BRICK	SOLEX CITY BRICK	XXXX	OXFORD GREY VELOUR	NORTH, WEST, AND SOUTH OFFICE, MONUMENT SIGN BASE
RS-2	STANDING SEAM METAL ROOF	PACOLAD	KYNAR 500	WEATHERED ZINC	EAST BUILDING ROOF, DRIVE-THRU ROOF
SS-1	SUN SCREEN	INDUSTRIAL LOUVERS	KYNAR 500	MATCH CLEAR ANODIZED	CURTAIN WALL SCREEN

NOTE:
THE "BASIS OF DESIGN" MATERIALS FOR THE PROJECT ARE LISTED ON THE SCHEDULE ABOVE. SEE SPECIFICATIONS FOR ADDITIONAL MATERIAL INFORMATION AND OTHER APPROVED SUBSTITUTIONS.



BRUSHED CARBON
MP-1, FLASH-1

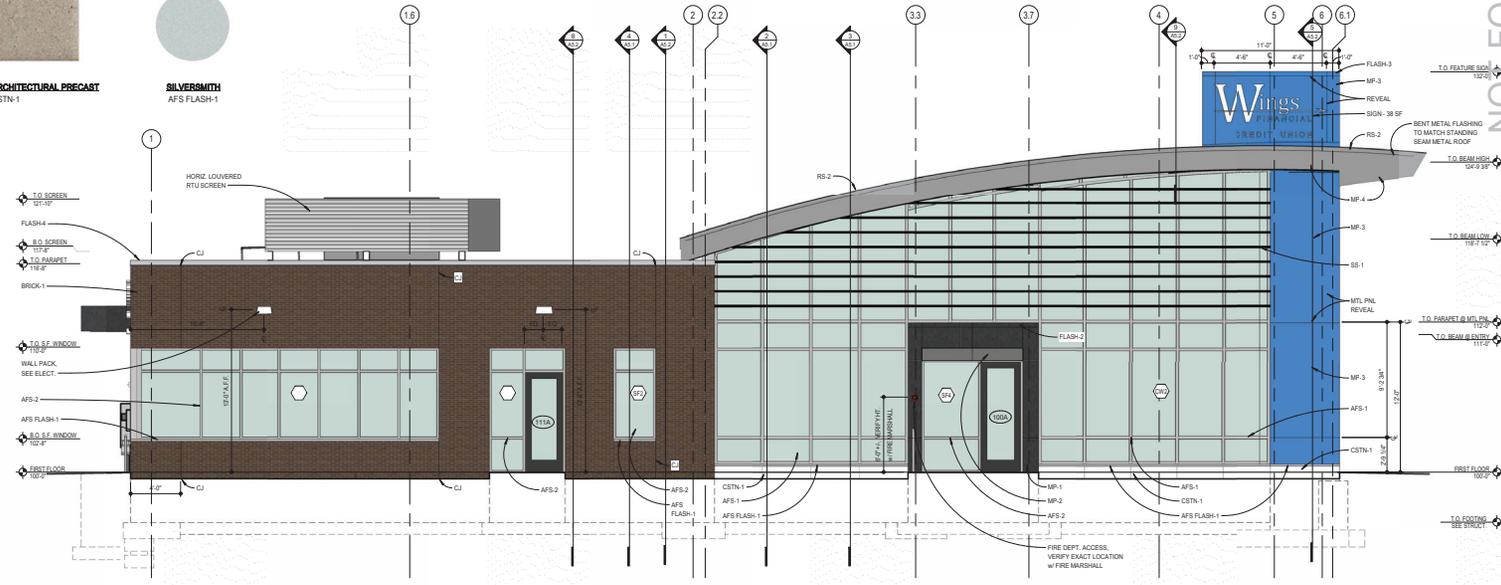
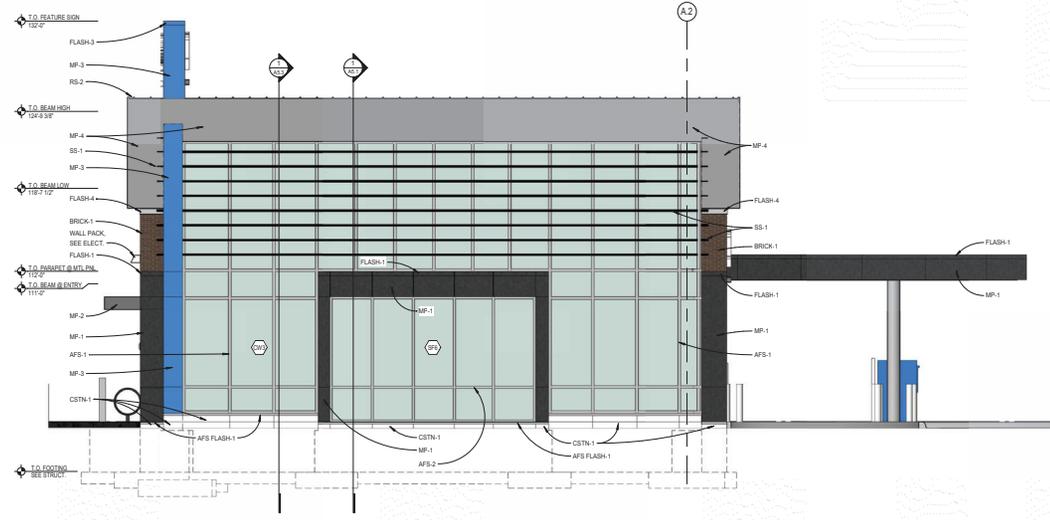
WINGS CUSTOM COLOR - PMS 285
MP-3, FLASH-3

ARCHITECTURAL PRECAST
CSTN-1

SILVERSMITH
AFS-FLASH-1

NOTE:
E.G.C. TO PROVIDE 2" DIA. HEAVY DUTY WELL ANCHORED STAINLESS STEEL EYE HOOKS, CONFIRM SIZE AND INSTALLATION LOCATION PER OWNERS DIRECTION.

2 NORTH BUILDING ELEVATION
A3.1 1/4" = 1'-0"



1 EAST BUILDING ELEVATION
A3.1 1/4" = 1'-0"

NOT FOR CONSTRUCTION



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WINGS FINANCIAL
BLAINE - NEW
BUILDING
125TH AVENUE NE
BLAINE, MN

EXTERIOR ELEVATIONS, EXTERIOR MATERIAL FINISH SCHEDULE

SITE PLAN REVIEW 10/08/21

I hereby certify that this plan specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the State of Minnesota.

Architect Name
Date: 10-08-2021 Lic. No. 51570

33537-21095
DO
GV

SHEET

A3.1

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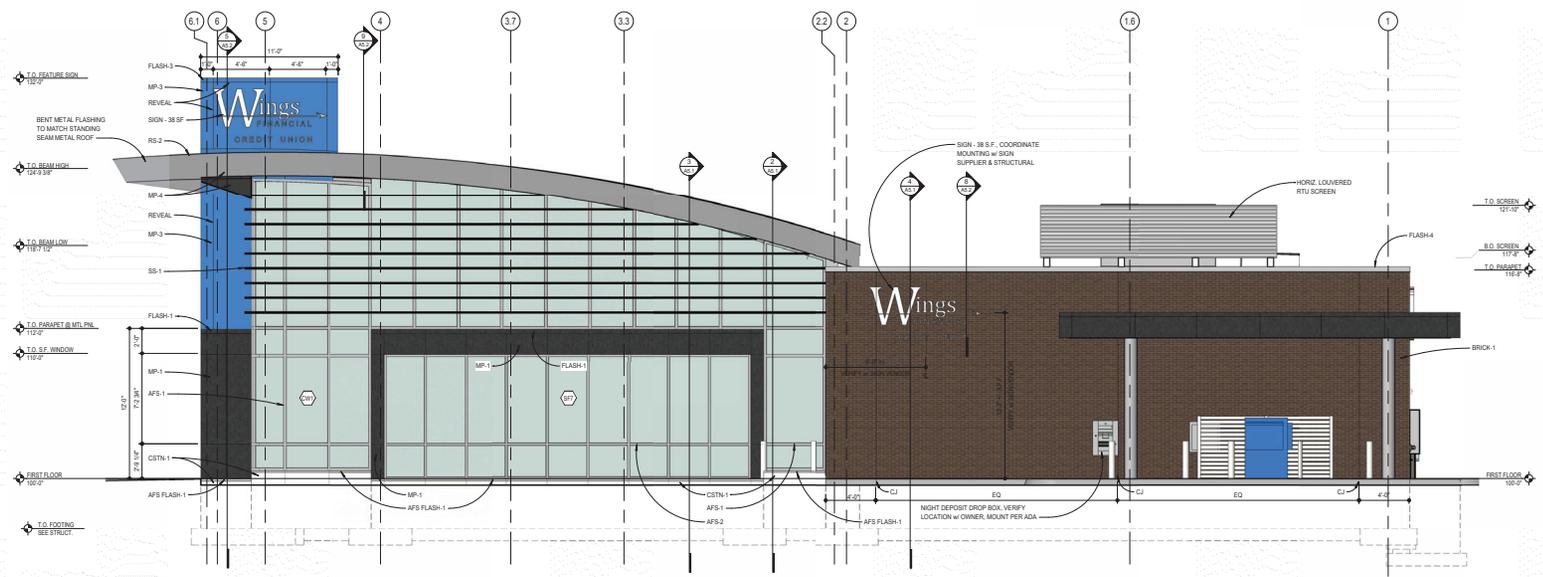
MATERIAL ID	MATERIAL	MANUFACTURER	FINISH	COLOR	LOCATION
CSTN-1	STONE VENEER BASE	AMERICAN ARTSTONE	SMOOTH	103-03 MAE	GRADE BILLS, MONUMENT SIGN CAP STONE
MP-1	METAL PANEL	ALUCOBOND	FEVE	BRUSHED CARBON	NORTH, EAST, AND SOUTH SIDES
MP-2	METAL PANEL	ALUCOBOND	FEVE	NATURAL BRUSHED STAINLESS	VESTIBULE CANOPY AND CEILING
MP-3	METAL PANEL	ALUCOBOND	PVD	WINGS FINANCIAL CUSTOM COLOR - PMS 385	SOUTHEAST SIGNAGE FIN
MP-4	METAL PANEL	ALUCOBOND	PVD	NATURAL ZINC	ROOF FASCIA AND SOFFIT, DRIVE-THRU
FLASH-1	CAP FLASHING	ALUCOBOND	PVD	BRUSHED CARBON	PARAPET CAP AT MP-1
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RS-2	STANDING SEAM METAL ROOF	PAACLAD	KYNAR 500	WEATHERED ZINC	EAST BUILDING ROOF, DRIVE-THRU ROOF
SS-1	SUN SCREEN	INDUSTRIAL LOWERS	KYNAR 500	MATCH CLEAR ANODIZED	CURTAIN WALL SCREEN

NOTE:
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NOTE:
S.I.C. TO PROVIDE 2" DIA. HEAVY DUTY WELL ANCHORED STAINLESS STEEL EYE HOOKS, CONFIRM SIZE AND INSTALLATION LOCATION PER OWNER'S DIRECTION.



2
A3.2 SOUTH BUILDING ELEVATION
1/4" = 1'-0"



Robinson, Patricia

From: Kelsey Brodt <kelseybrodt@gmail.com>
Sent: Thursday, November 4, 2021 10:25 AM
To: Sellman, Sheila; Robinson, Patricia
Cc: cperkinsncrb@gmail.com <cperkinsncrb@gmail.com>
Subject: Wings Financial & Summerville Meadows project

Hello there!

I am writing in opposition to the development on 125th in Blaine.

The nearby wetlands would be better supported with a project that did not create more pavement/runoff, shallow rooted lawns & potential pollution from yard chemicals and street salt . Any consideration to using the acreage for distributed renewable energy? It could help the nearby school & homes, as well as provide a place for pollinators & plants to help keep our waters clean. <https://acespace.org/2021/09/03/distributed-renewable-energy-101/>

It appears that there are two other Wings locations just about 4 miles away, one in Blaine and one in Coon Rapids. Perhaps this bank should utilize one of the many vacant commercial properties along University Ave or around Northtown Mall & Northtown Commons instead.

The world is increasingly threatened by habitat loss, biodiversity loss, pesticides, invasive species and natural disasters. I think humanity needs to do everything it can to heal the land & ensure our survival. No land is too trivial or project too small to make a difference.

Thank you for listening.

Kelsey Brodt

Sent from [Mail](#) for Windows

From: [JON HUSBY](#)
To: [Robinson, Patricia](#)
Subject: Case 21-0073 - Wings Financial location
Date: Monday, November 8, 2021 1:16:15 PM

Dear Pat,

This email is concerning case #21-0073. I cannot make tonight's meeting so here is my plea in writing.

I am writing you to move the currently planned location of the Wings Financial Credit Union to another location on that plot of land. This location was supposed to be for a senior living apartment complex, which we are fine with but do not put a bank building right in our backyard. Move it to a different area, there is plenty of land to work with. Please be considerate of the people who are living in this neighborhood and all of the changes the city has proposed of this land. Adding the bank will cause the value of our houses will drop greatly, it will be an eye sore for us to sit on our deck and have to look out at it every night and it will be a safety hazard for all of the kids that walk through our backyard going to and from school if you put the entrance right off 125th/Main St.

I can be reached at 763-300-4540 if you have any comments you would like to discuss.

Thank you,
Jon Husby

[Sent from Yahoo Mail for iPhone](#)

