

Case File No. 17-0062
Eagle Brook Church

Blaine Planning Department / 10801 Town Square Dr NE / Blaine, MN 55449 / (763) 785-6180





Eagle Brook Church
Blaine - Addition



380 St. Peter Street, Ste. 600
Saint Paul, MN 55102
651.222.3701
bwbr.com

CONSULTANTS:
SITE CONSTRUCTION PLANS PREPARED BY:
**CIVIL ENGINEERING
SITE DESIGN**
118 East Broadway St.
PO Box 566
Mankato, MN 56002
Phone: 763-214-2929
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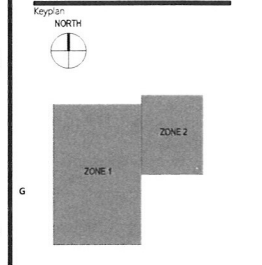
I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision, and that I am a duly Licensed Engineer under the laws of the State of Minnesota.
Printed Name: SCOTT DAHLKE
Signature: [Signature]
Date: 12/08/17 License #: 2438

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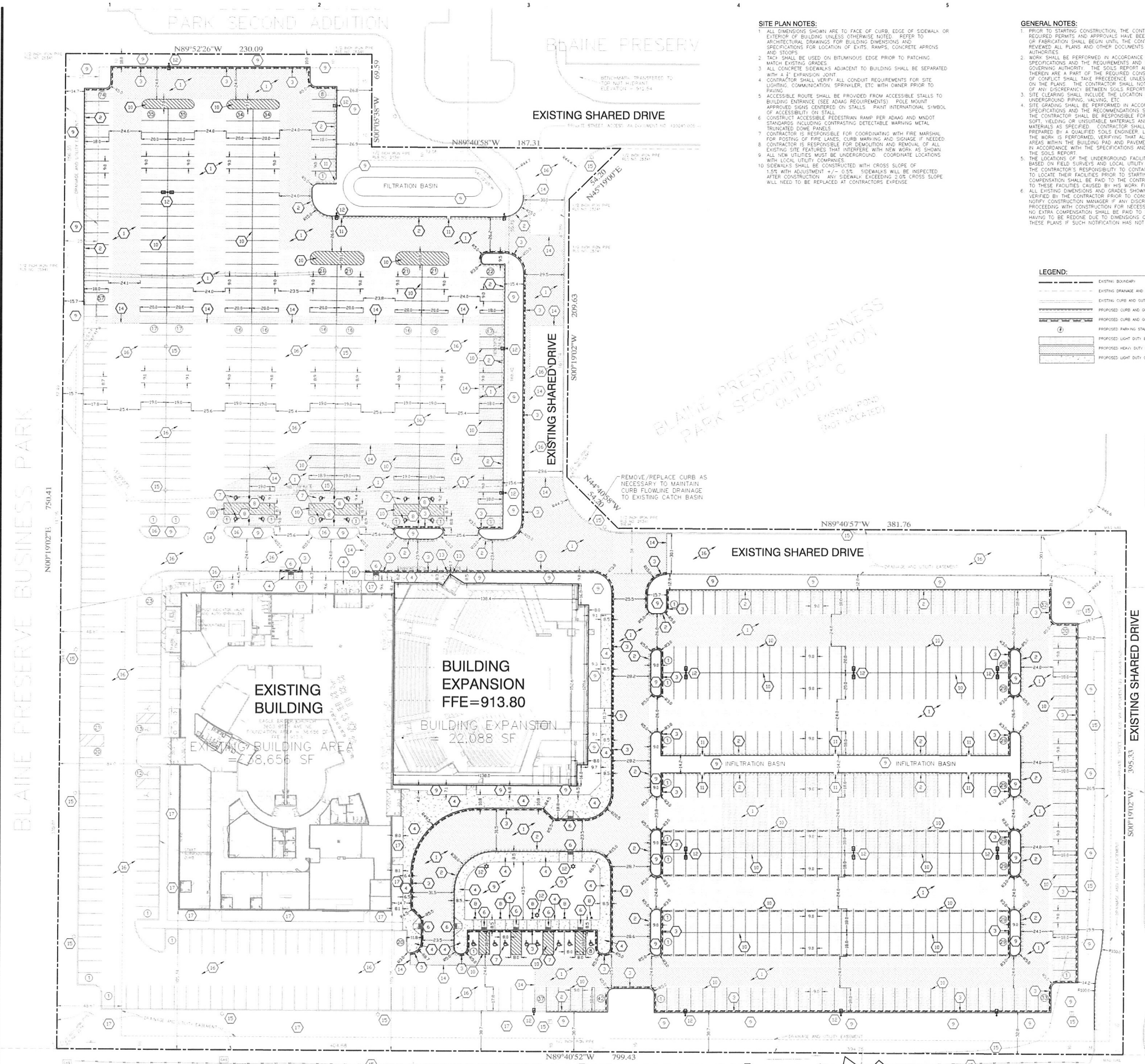
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Comm. No: 3.2011000.00
Drawn: SD
Sheet Title: SITE PLAN

Sheet No: C1.0



- SITE PLAN NOTES:**
1. ALL DIMENSIONS SHOWN ARE TO FACE OF CURB, EDGE OF SIDEWALK OR EXTERIOR OF BUILDING UNLESS OTHERWISE NOTED. REFER TO ARCHITECTURAL DRAWINGS FOR BUILDING DIMENSIONS AND SPECIFICATIONS FOR LOCATION OF EXITS, RAMPS, CONCRETE APRONS AND STAIRS.
 2. TACK SHALL BE USED ON BITUMINOUS GRADES PRIOR TO PATCHING.
 3. ALL CONCRETE SIDEWALKS ADJACENT TO BUILDING SHALL BE SEPARATED WITH A 1/2" EXPANSION JOINT.
 4. CONTRACTOR SHALL VERIFY ALL CONDUIT REQUIREMENTS FOR SITE LIGHTING, COMMUNICATION, SPRINKLER, ETC. WITH OWNER PRIOR TO PAVING.
 5. ACCESSIBLE ROUTE SHALL BE PROVIDED FROM ACCESSIBLE STALLS TO BUILDING ENTRANCE (SEE ADAAG REQUIREMENTS). POLE MOUNT APPROVED SIGNS CENTERED ON STALLS. PAINT INTERNATIONAL SYMBOL OF ACCESSIBILITY ON STALL.
 6. CONSTRUCT ACCESSIBLE PEDESTRIAN RAMP PER ADAAG AND MNDOT STANDARDS INCLUDING CONTRASTING DETECTABLE WARNING METAL TRUNCATED DOME PANELS.
 7. CONTRACTOR IS RESPONSIBLE FOR COORDINATING WITH FIRE MARSHAL FOR POSTING OF FIRE LANES, CURB MARKING AND SIGNAGE IF NEEDED.
 8. CONTRACTOR IS RESPONSIBLE FOR DEMOLITION AND REMOVAL OF ALL EXISTING SITE FEATURES THAT INTERFERE WITH NEW WORK AS SHOWN WITH LOCAL UTILITY COMPANIES.
 9. ALL NEW UTILITIES MUST BE UNDERGROUND. COORDINATE LOCATIONS WITH LOCAL UTILITY COMPANIES.
 10. SIDEWALKS SHALL BE CONSTRUCTED WITH CROSS SLOPE OF 1.5% WITH ADJUSTMENT +/- 0.5%. SIDEWALKS WILL BE INSPECTED AFTER CONSTRUCTION. ANY SIDEWALK EXCEEDING 2.0% CROSS SLOPE WILL NEED TO BE REPLACED AT CONTRACTOR'S EXPENSE.

- GENERAL NOTES:**
1. PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL VERIFY THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS APPROVED BY THE PERMITTING AUTHORITIES.
 2. WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS AND THE REQUIREMENTS AND STANDARDS OF THE LOCAL GOVERNING AUTHORITY. THE SOILS REPORT AND RECOMMENDATION SET FORTH THEREIN ARE A PART OF THE REQUIRED CONSTRUCTION DOCUMENTS AND IN CASE OF CONFLICT SHALL TAKE PRECEDENCE UNLESS SPECIFICALLY NOTED OTHERWISE ON THE PLANS. THE CONTRACTOR SHALL NOTIFY THE CONSTRUCTION MANAGER OF ANY DISCREPANCY BETWEEN SOILS REPORT AND PLANS.
 3. SITE CLEARING SHALL INCLUDE THE LOCATION AND REMOVAL OF ALL UNDERGROUND PIPING, VALVING, ETC.
 4. SITE GRADING SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE REQUIREMENTS AND STANDARDS OF THE LOCAL GOVERNING AUTHORITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING AND REPLACING ALL SOFT, YIELDING OR UNSUITABLE MATERIALS AND REPLACING WITH SUITABLE MATERIALS AS SPECIFIED. CONTRACTOR SHALL SUBMIT A COMPACTION REPORT PREPARED BY A QUALIFIED SOILS ENGINEER LICENSED WITHIN THE STATE WHERE THE WORK IS PERFORMED, VERIFYING THAT ALL FILLED AREAS AND SUBGRADE AREAS WITHIN THE BUILDING PAD AND PAVEMENT AREAS HAVE BEEN COMPACTED IN ACCORDANCE WITH THE SPECIFICATIONS AND RECOMMENDATIONS SET FORTH IN THE SOILS REPORT.
 5. THE LOCATIONS OF THE UNDERGROUND FACILITIES SHOWN ON THIS PLAN ARE BASED ON FIELD SURVEYS AND LOCAL UTILITY COMPANY RECORDS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE VARIOUS UTILITY COMPANIES TO LOCATE THEIR FACILITIES PRIOR TO STARTING CONSTRUCTION. NO ADDITIONAL COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR DAMAGE AND REPAIR TO THESE FACILITIES CAUSED BY HIS WORK. FORCE.
 6. ALL EXISTING DIMENSIONS AND GRADES SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY CONSTRUCTION MANAGER IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY PLAN OR GRADE CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR WORK HAVING TO BE REDONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.

- LEGEND:**
- EXISTING BOUNDARY
 - - - EXISTING DRAINAGE AND UTILITY EXISTENCE
 - - - EXISTING CURB AND GUTTER
 - - - PROPOSED CURB AND GUTTER
 - - - PROPOSED CURB AND GUTTER TIP-OUT FLOWLINE
 - PROPOSED PARKING STALLS
 - PROPOSED LIGHT DUTY BITUMINOUS PAVEMENT
 - PROPOSED HEAVY DUTY BITUMINOUS PAVEMENT
 - PROPOSED LIGHT DUTY CONCRETE PAVEMENT

DEVELOPMENT DATA

| COMPREHENSIVE PLAN LAND USE | Business / Office Park |
|---|---------------------------------|
| EXISTING ZONING | Planned Business District (PBD) |
| EXISTING LOT 1 AREA | 236,585 SF = 5.43 AC |
| EXISTING OUTLOT A AREA | 155,831 SF = 3.58 AC |
| EXISTING OUTLOT B AREA | 45,611 SF = 1.14 AC |
| TOTAL AREA | 442,027 SF = 10.14 AC |
| EXISTING BUILDING AREA | 38,656 SF |
| BUILDING EXPANSION AREA | 22,088 SF |
| TOTAL BUILDING AREA | 60,744 SF |
| FAR | 0.137 |
| EXISTING IMPERVIOUS AREA | 219,259 SF = 5.03 AC |
| PROPOSED IMPERVIOUS AREA | 360,476 SF = 8.27 AC |
| PERCENT PROPOSED IMPERVIOUS vs TOTAL AREA | = 81.6% |
| TOTAL DISTURBED AREA | = 6.0 AC |

PROPOSED PERFORMANCE STANDARDS:

| PARKING SETBACK | Row | Side | Rear |
|-----------------|-----|------|------|
| Row | 10' | 15' | 20' |
| Side | 10' | 15' | 20' |
| Rear | 10' | 15' | 20' |

BUILDING SETBACK:

| Row | Side | Rear |
|--|--|--|
| 10' or one-half (1/2) of building height, whichever is greater | 10' or one-half (1/2) of the total building height, whichever is greater | 20' or one-half (1/2) of the total building height, whichever is greater |

All setbacks shall be determined from Planned Right-of-Way (ROW)

PARKING STALL REQUIREMENTS:

| Autism-Friendly Area | Handicapped | Van Accessible |
|----------------------|-------------------------|----------------|
| 1 / 4 Stall | 2% Total Parking Stalls | 1 / 8 HC Stall |

PARKING STALLS PROVIDED:

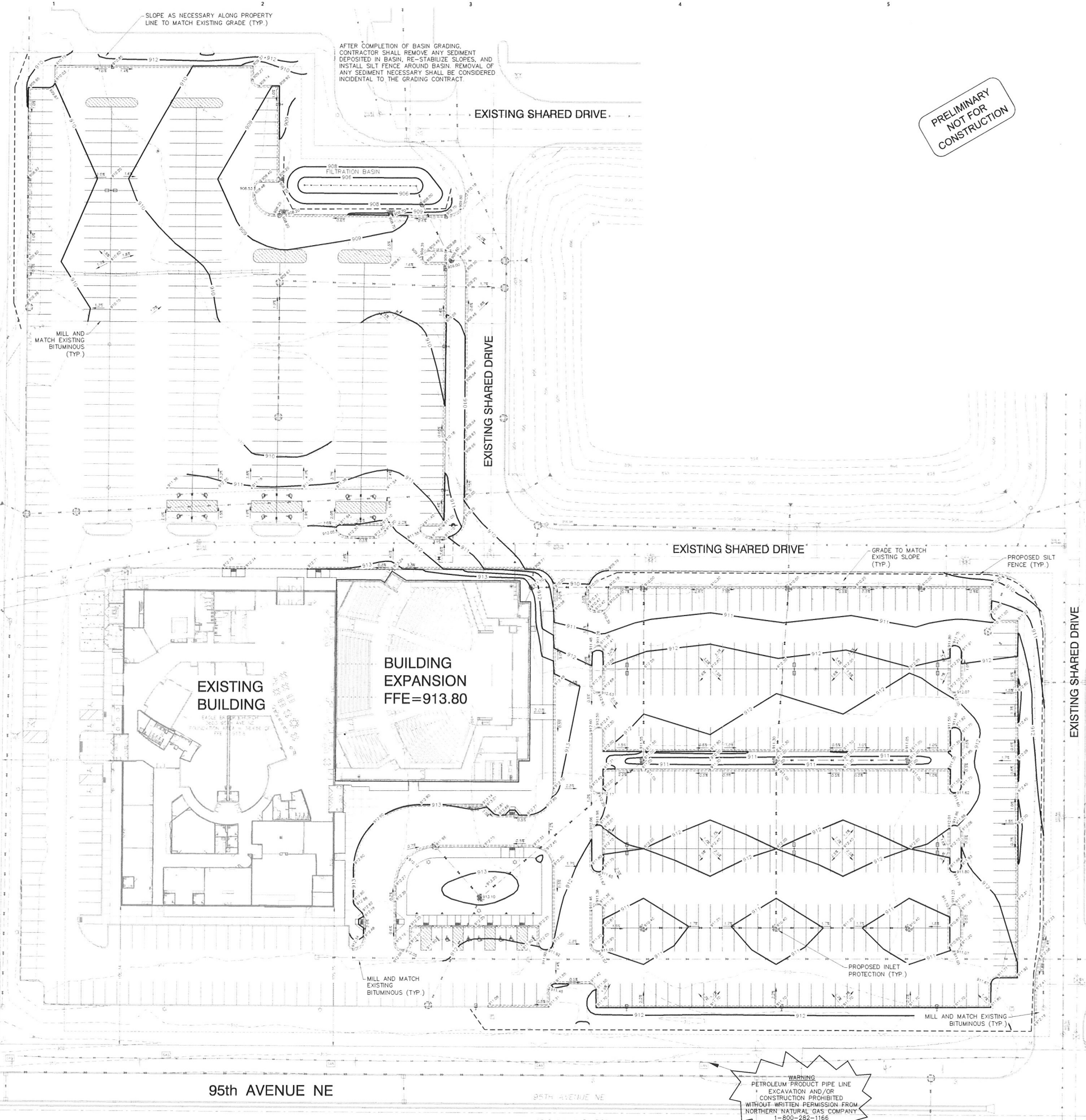
| Standard 9'x20' Parking Spaces | 606 Stalls |
|--|------------|
| Comped 5'x18' Parking Spaces <td>114 Stalls</td> | 114 Stalls |
| Van Accessible HC Spaces <td>23 Stalls</td> | 23 Stalls |
| Total Spaces <td>742 Stalls</td> | 742 Stalls |

- KEY NOTES:**
1. BITUMINOUS PAVEMENT AS SPECIFIED BELOW:
BIT WEAR COURSE: 1 1/2"
BT BASE COURSE: 1 1/2"
AGGREGATE BASE (CL 5): 6"
 2. 6" (6") CONCRETE CURB & GUTTER: MNDOT 2461 MAX 3/32A SLURRFORM PLACEMENT OR MNDOT 2461 MAX 3/32A MANUAL PLACEMENT
 3. 6" (6") CONCRETE TIP-OUT CURB & GUTTER (TIP-OUT FLOWLINE): MNDOT 2461 MIX 3/32A SLURRFORM PLACEMENT OR MNDOT 2461 MAX 3/32A MANUAL PLACEMENT
 4. CONCRETE SIDEWALK, WIDTH VARIES. 4" CONCRETE SIDEWALK W/6"x6"-#10/10 W.W.M. (CONST. ITS @ 6" O.C.) OVER 4" CLASS 5 AGGREGATE BASE. MNDOT 2461 MIX 3/32A SLURRFORM PLACEMENT OR MNDOT 2461 MAX 3/32A MANUAL PLACEMENT. SOILS SPECIFICATIONS SUPERSEDE ABOVE LISTED SPECS.
 5. SERVICE DOOR ACCESS: 6" CONCRETE PAVEMENT W/6"x6"-#10/10 W.W.M. (CONST. ITS @ 12" O.C.) OVER 4" CLASS 5 AGGREGATE BASE. MNDOT 2461 MIX 3/32A SLURRFORM PLACEMENT OR MNDOT 2461 MAX 3/32A MANUAL PLACEMENT. SOILS SPECIFICATIONS SUPERSEDE ABOVE LISTED SPECS.
 6. RED RAMP TO COMPLY WITH AMERICANS WITH DISABILITIES ACT (ADA) REQUIREMENTS. REFERENCE MNDOT STANDARD PLAN 5-297.250.
 7. PAINT INTERNATIONAL SYMBOL OF ACCESSIBILITY-WHITE LATEX PAINT
 8. ACCESSIBLE PARKING SIGN (MNDOT #8) #8" Hx8" Wx8" D. CENTER SIGN ON PARKING STALL LOCATION PER GENERAL CONTRACTOR. MOUNT ON 6" CONCRETE BOLLARD. SEE DETAIL SHEET. MOUNT BACK-TO-BACK ON SAME POST WHEN POSSIBLE.
 9. PERVIOUS AREA SEE LANDSCAPE PLAN.
 10. PAINT 4" WIDE SOLID STRIPE - WHITE
 11. 3.0 FT CURB OPENING DEPRESS BACK OF CURB. REFER TO GRADING PLAN FOR ELEVATIONS. REMOVE BACK OF CURB AND MAINTAIN FLOWLINE.
 12. LIGHT POLE. REFER TO LIGHTING AND PHOTOMETRIC PLAN FOR LIGHT LOCATIONS AND SPECIFICATIONS. FOUNDATIONS BY GENERAL CONTRACTOR. VERIFY FOUNDATION SIZE WITH OWNER'S ARCHITECT.
 13. GUARD POST BOLLARD. SEE DETAIL SHEET.
 14. SMULCH AND REMOVE EXISTING BITUMINOUS FOR CLEAN EDGE. WIDTH VARIES. MINIMUM 2.0 FT FROM CONCRETE LIP EDGE AT CURB. PATCH WITH BITUMINOUS PAVEMENT. MATCH EXISTING PAVEMENT ELEVATIONS AND CROSS SLOPE.
 15. EXISTING UTILITIES TO REMAIN IN PLACE. CONTRACTOR TO PROTECT.
 16. EXISTING CONCRETE CURB AND GUTTER, BITUMINOUS PAVEMENT, OR CONCRETE SIDEWALK TO REMAIN IN PLACE. CONTRACTOR TO PROTECT.
 17. EXISTING LANDSCAPE OR TREE TO REMAIN IN PLACE. CONTRACTOR TO PROTECT.

SHEET INDEX:

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| C3.0 | SANITARY AND WATER UTILITY PLAN |
| C4.0 | STORM SEWER UTILITY PLAN |
| C5.0 | STORM WATER POLLUTION PREVENTION PLAN |
| C6.0 | EXISTING CONDITIONS PLAN |
| C7.0 | DEMOLITION PLAN |
| C8.0 | LANDSCAPE PLAN |
| C9.0 | STANDARD DETAILS |

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SLOPE AS NECESSARY ALONG PROPERTY LINE TO MATCH EXISTING GRADE (TYP.)

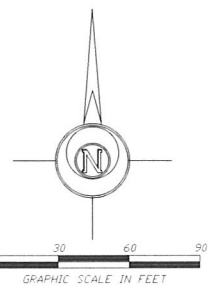
AFTER COMPLETION OF BASIN GRADING, CONTRACTOR SHALL REMOVE ANY SEDIMENT DEPOSITED IN BASIN, RE-STABILIZE SLOPES, AND INSTALL SILT FENCE AROUND BASIN. REMOVAL OF ANY SEDIMENT NECESSARY SHALL BE CONSIDERED INCIDENTAL TO THE GRADING CONTRACT.

PRELIMINARY NOT FOR CONSTRUCTION

EXISTING LEGAL DESCRIPTION:
 LOT 1, BLOCK 1, OUTLOT A, AND OUTLOT B, BLAINE PRESERVE, BUSINESS PARK THIRD ADDITION, ANOKA COUNTY, MINNESOTA.

PROPOSED LEGAL DESCRIPTION:
 LOT 1, BLOCK 1, EAGLE BROOK CHURCH - BLAINE CAMPUS, ANOKA COUNTY, MINNESOTA.

BENCHMARK:
 MNDOT Geodetic Database Station #823
 Station Name: LING MNDOT
 Elevation = 229.38 feet (NAVD 88)



SITE PLAN BASED ON SURVEY INFORMATION DATED OCTOBER 13, 2017 PROVIDED BY E. G. RUG AND SONS, INC.

LEGEND

| | |
|--|---------------------------------------|
| | Existing Curb Line |
| | Existing Spot Elevation |
| | Existing Contours |
| | Existing Storm Sewer |
| | Proposed Curb Line |
| | Proposed Contours |
| | Proposed Spot Elevation at Flow Line |
| | Proposed Storm Sewer |
| | Proposed Silt Fence |
| | Proposed Storm Sewer Inlet Protection |
| | Flow Direction |

- GENERAL GRADING NOTES:**
- Specifications applicable for this project: Current standard specifications for Blaine, MN, and the latest Minnesota Department of Transportation Specifications for Highway Construction and all NPDES requirements except where modified by these contract documents.
 - OSHA requirements shall be followed for all work on this project.
 - The Contractor shall notify "Gopher State One Call" 48 hours prior to any excavation (1-800-252-1166).
 - The Grading Contractor shall verify all locations and elevations of underground utilities with utility companies prior to any construction, and immediately notify the Engineer of any conflicts.
 - Erosion Control shall be constructed, as sequenced below:
 - Silt Fence
 - Rock Construction Entrance
 - Demolition
 - Common excavation (grading)
 - Seed and mulch or sod (See notes on Landscape plan)
 - Final Plat shall govern for easements and lot dimensions.
 - Any erosion control items necessary to protect adjacent properties shall be constructed by the Grading Contractor.
 - Erosion control maintenance shall be performed by the Grading Contractor, and removed as per the Contract Documents or as directed by the Engineer, followed by all necessary restoration of disturbed area. This work shall be incidental to the grading contract.
 - The Grading Contractor shall schedule the soils engineer to facilitate certification of all controlled fills in a timely fashion. Density tests shall meet the following:
 - Within the upper 3' of streets, the Grading Contractor shall utilize approved soils that are within 1% of the optimum moisture content as defined by the Standard Proctor Test-ASTM: D-698 with compaction meeting 100% Standard Proctor Density and not exceeding this compaction by more than 1%. Below the upper 3', compaction shall meet 95% Standard Proctor Density, and be within 3% of the optimum moisture content. Grading tolerances shall be 0.1'.
 - Grading tolerances for the remainder of the site shall be 0.25'.
 - All areas of unsuitable soils found in the pad described above that cannot be corrected shall be located in the field by the Grading Contractor. The Grading Contractor shall immediately notify the Engineer of these areas and provide information as to their size and location.
 - The Grading contractor shall provide positive drainage on the site at all times.
 - The Grading Contractor shall keep public streets and travel ways clear of soil and debris. Daily cleaning at the construction entrance shall be performed, especially at the end of each day's work.
 - All silt fence shall be removed at project completion.
 - All proposed elevations are at curb, flow line or finished surface unless otherwise noted.
 - All erosion control best management practices shall be per City standards.

Eagle Brook Church
 Blaine - Addition

B | W | B | R

380 St. Peter Street, Ste. 600
 Saint Paul, MN 55102
 651.222.3701
 bwbr.com

CONSULTANTS

SITE CONSTRUCTION PLANS PREPARED BY:

CIVIL ENGINEERING
SITE DESIGN
 118 East Broadway St.
 Minneapolis, MN 55402
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 www.civilsd.com

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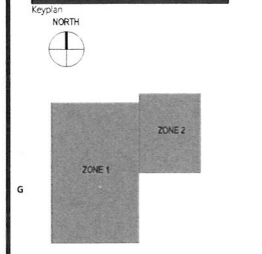
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Comm. No. 3.2011000.00
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 Sheet Title: GRADING AND DRAINAGE PLAN

Sheet No. C2.0
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Blaine - Addition

BWB

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CONTRACTOR
SITE CONSTRUCTION PLANS PREPARED BY
**CIVIL ENGINEERING
SITE DESIGN**
118 East Broadway St.
Mankato, MN 56002
Phone: 509-314-0229
www.civild.com
I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision, and that I am a duly Licensed Engineer under the laws of the State of Minnesota.
Printed Name: SCOTT DALKE
Signature:
Date: 12/08/17 License #: 2438

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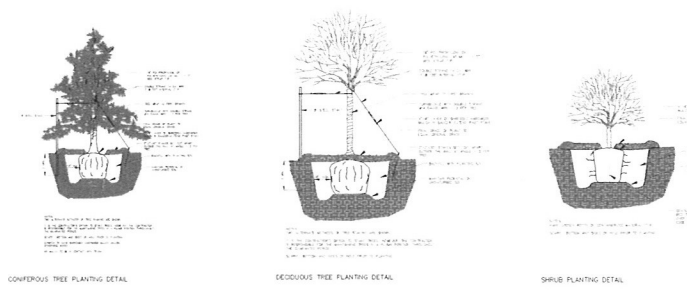
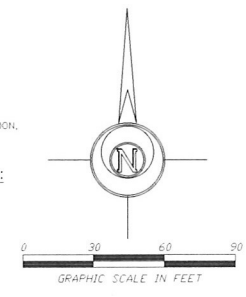
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Keyplan
NORTH
ZONE 1
ZONE 2
Comm. No: 3.2011000.00 Drawn: SD
Sheet Title: LANDSCAPE PLAN
Sheet No: C8.0
C8.0 PROJECT # 00668

EXISTING LEGAL DESCRIPTION:
LOT 1, BLOCK 1, OUTLOT A, AND OUTLOT B, BLAINE PRESERVE BUSINESS PARK THIRD ADDITION, ANOKA COUNTY, MINNESOTA.

PROPOSED LEGAL DESCRIPTION:
LOT 1, BLOCK 1, EAGLE BROOK CHURCH - BLAINE CAMPUS, ANOKA COUNTY, MINNESOTA.

BENCHMARK:
MNDOT Geodetic Database Station #823
Station Name: LIND MNDOT
Elevation = 929.35 feet (NAVD 88)



BRODSHO CONSULTING
698 NORTHBRIDGE COURT
EAGAN, MN 55123
PHONE: 651-688-8023
FAX: 651-456-5748

PRELIMINARY
NOT FOR
CONSTRUCTION

REQUIRED PLANT MATERIALS

BASED ON PERIMETER OF PLAT = 3132 LINEAR FEET
BASED ON BUILDING AREA = 60,308 S.F.

THE AMOUNT OF REQUIRED LANDSCAPING IS BASED ON WHICH CALCULATION GENERATES THE GREATER AMOUNT OF PLANT MATERIALS.

LOT PERIMETER GENERATES:
1 OVERSTORY TREE : 100 L.F. = 31.3 TREES
1 EVERGREEN TREE : 200 L.F. = 15.6 TREES
1 ORNAMENTAL TREE : 200 L.F. = 15.6 TREES
1 SHRUB : 30 L.F. = 104.4 SHRUBS

BUILDING AREA GENERATES A HIGHER COUNT.
1 OVERSTORY TREE : 2000 S.F. BUILDING AREA = 30.2 TREES
1 EVERGREEN TREE : 2000 S.F. BUILDING AREA = 30.2 TREES
1 ORNAMENTAL TREE : 2000 S.F. BUILDING AREA = 30.2 TREES
1 SHRUB : 300 S.F. BUILDING AREA = 201 SHRUBS

EXISTING AND PROPOSED PLANT MATERIALS

LANDSCAPING EXISTING
OVERSTORY TREE : 16 TREES
EVERGREEN TREE : 17 TREES
ORNAMENTAL TREE : 18 TREES
SHRUB : 118 SHRUBS

LANDSCAPING REQUIRED FOR EXPANSION + MISSING ITEMS = TOTAL
OVERSTORY TREE : 16ex + 11new + 3rep = 30 TREES
EVERGREEN TREE : 17ex + 11new + 2rep = 30 TREES
ORNAMENTAL TREE : 18ex + 11new + 1rep = 30 TREES
SHRUB : 118ex + 73new + 10rep = 201 SHRUBS

LANDSCAPING PROVIDED (NEW AND EXISTING)
OVERSTORY TREE : 30 TREES
EVERGREEN TREE : 30 TREES
ORNAMENTAL TREE : 30 TREES
SHRUB : 205 SHRUBS

PLANT LIST: Site Plantings

| QTY | KEY | BOTANICAL NAME | COMMON NAME | SIZE/ROOT |
|--|-----|---|--------------------------------|------------|
| OVERSTORY TREES | | | | |
| 17 | ABM | Acer freemanii 'Jeffersred' | Autumn Blaze Maple | 2-1/2" B&B |
| 4 | AM | Acer glabrum | American Linden | 2-1/2" B&B |
| 5 | GLS | Tilia cordata 'Greenspire' | Greenspire Linden | 2-1/2" B&B |
| TOTAL: | | | | 30 |
| EVERGREEN TREES | | | | |
| 15 | BHS | Thuja glauca 'Smaragd' | Black Hills Spruce | 6-0" B&B |
| 6 | CBS | Pinus pungens 'Globo' | Colorado Blue Spruce | 6-0" B&B |
| 12 | ABP | Pinus nigra | Austrian Pine | 6-0" B&B |
| TOTAL: | | | | 33 |
| ORNAMENTAL TREES | | | | |
| 4 | AM | Acer ginnalis | Amur Maple multi-stem | 1-1/2" B&B |
| 16 | SDC | Morus 'Shawdrit' | Shawdrit Crabapple | 1-1/2" B&B |
| 4 | JTL | Syringa reticulata | Japanese Tree Lilac | 1-1/2" B&B |
| 4 | ISL | Syringa reticulata 'Ivory Silk' | Ivory Silk Japanese Tree Lilac | 1-1/2" B&B |
| 2 | SBV | Viburnum opulus 'Roseum' | Snowball Viburnum, tree form | 1-1/2" B&B |
| TOTAL: | | | | 30 |
| SHRUBS | | | | |
| 22 | CPB | Berberis thunbergii 'atropurpurea' 'CP' | Creston Pygmy Barberry | 2 Gal. Pot |
| 41 | GSL | Eurythmum distichum 'Compacta' | Dwarf yew | 5 Gal. Pot |
| 56 | GLS | Rhus aromatica 'Gracilo' | Gracilo Fragrant Sumac | 5 Gal. Pot |
| 15 | TY | Toxus 'media' 'Touartian' | Touartian Yew | 5 Gal. Pot |
| 4 | HJ | Juniperus horizontalis 'Hugoboni' | Hugoboni Juniper | 5 Gal. Pot |
| 8 | DN | Physocarpus opulifolius 'Mondo' | Diablo Ninebark | 5 Gal. Pot |
| 3 | CD | Cornus sericea 'Cardana' | Cardinal Dogwood | 5 Gal. Pot |
| 54 | GMS | Spiraea x bumalda 'Goldmound' | Goldmound Spiraea | 2 Gal. Pot |
| TOTAL: | | | | 205 |
| ORNAMENTAL GRASSES & PERENNIALS | | | | |
| 71 | KFG | Calamagrostis acutiflora 'Vivaldi Forest' | Vivaldi Forest Reed Grass | 1 Gal. Pot |
| 43 | AH | Hosta 'Gold-marginal' | Albomarginata Hosta | 1 Gal. Pot |
| 20 | SD | Hemerocallis 'Stella de Oro' | Stella de Oro Daylily | 1 Gal. Pot |

PLANTING NOTES:

Contractor shall provide one year guarantee of all plant materials. The guarantee begins on the date of the landscape architect's written acceptance of the planting. Replacement plant materials shall also have a one year guarantee commencing with planting.

All plants to be northern-grown and hardy.

Plants to be installed as per standard ANSI planting practices.

Use minimum 12" lum planting soil on trees and 6" on shrubs.

Contractor shall verify locations with all utilities prior to installation of plants.

All landscaping and soil areas shall be irrigated with an underground sprinkler. The irrigation system shall be installed with a moisture sensor.

Staking of trees optional, required if not planted within one year.

Wrap all smooth-barked trees-trunk top and bottom. Remove by April 1.

Open top of burlap on B&B materials; remove pot on potted plants; split and break apart soil balls.

Prune plants as necessary - per standard nursery practice.

Owner shall be responsible for maintenance after acceptance of the work by the Owner.

Plants shall be immediately planted upon arrival at site. Property here-in intended as necessary, temporary hold.

All disturbed areas shall be seeded. Seed shall be northern grown and hardy.

Planting beds for shrubs shall have 14 oz (min.) weed barrier fabric, 4" - 6" of 1-1/2" S1 Cloud granite rock mulch and 4" black steel edging. The edging shall place in smooth straight lines.

Clusters of trees and shrubs shall have a continuous wood mulched area as shown on figure on the plan.

Roots must not be used adjacent to the building only. On the outside of the parking lot all mulch shall be dark brown shredded hardwood chips 4"-5" deep around all trees and shrubs. Wood chips shall be installed as per planting details, must not come in contact with the trunk or stem of trees or shrubs. All wood chips tree rings shall be a minimum of 6" in diameter.

Planting shall not be the responsibility of the landscape architect. Contact the Project Engineer for details, locations, materials, and specifications for all retaining walls.

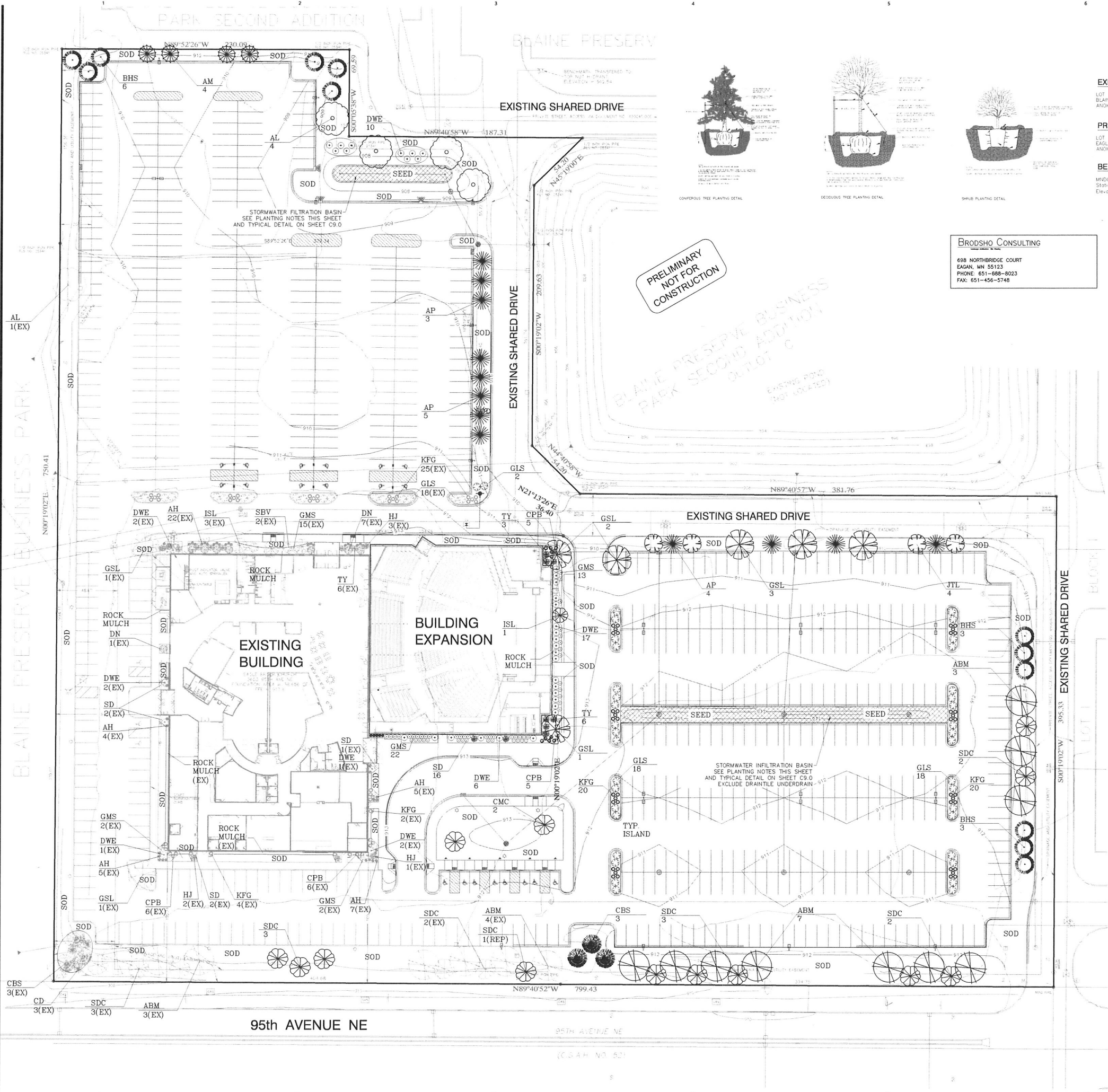
Landscaping shall be field adjusted to fit the building's architectural features.

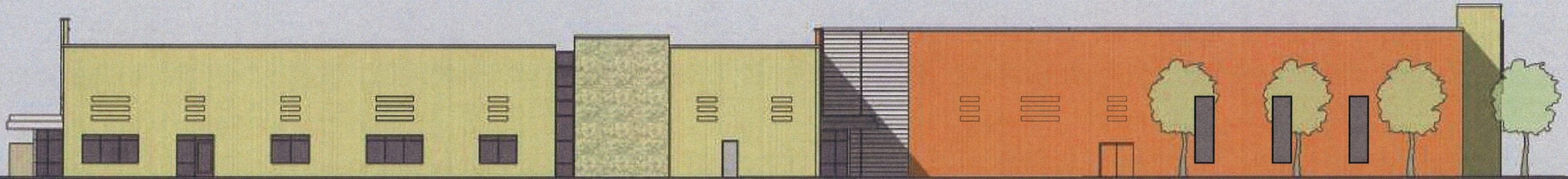
Planting shall be installed in the locations shown on the plan. Any changes that may have occurred to the site plan shall be noted on the plan.

Infiltration ponds shall be installed on the slopes to the bottom of the pond. The bottom of the ponds shall be sealed with MNDOT 33-202 mixture appropriate for the soil and water conditions. Seed shall be sown in a 12" wide strip on the ground surface to reduce seeds from blowing prior to germination. No mulch is necessary.

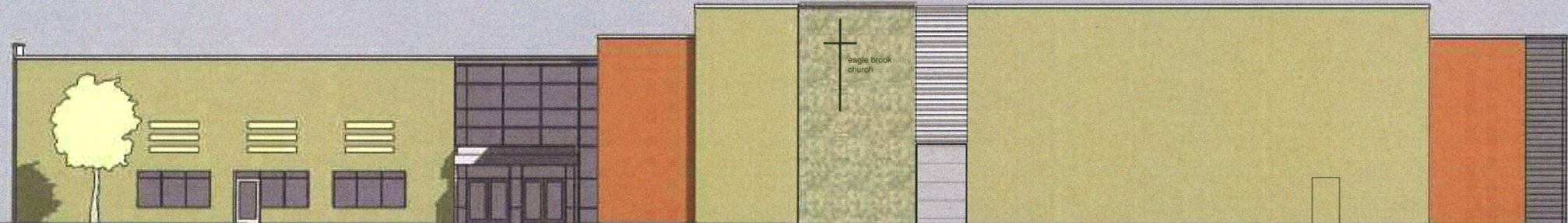
SHEET INDEX:

- C1.0 SITE PLAN
- C2.0 GRADING AND DRAINAGE PLAN
- C3.0 SANITARY AND WATER UTILITY PLAN
- C4.0 STORM SEWER UTILITY PLAN
- C5.0 STORM WATER POLLUTION PREVENTION PLAN
- C6.0 EXISTING CONDITIONS PLAN
- C7.0 DEMOLITION PLAN
- C8.0 LANDSCAPE PLAN
- C9.0 STANDARD DETAILS

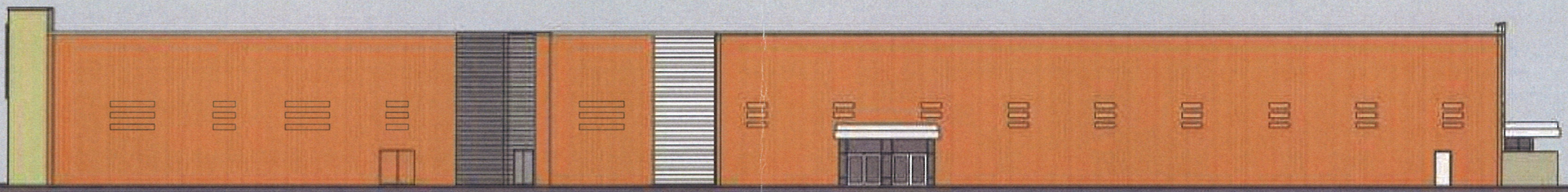




SOUTH ELEVATION

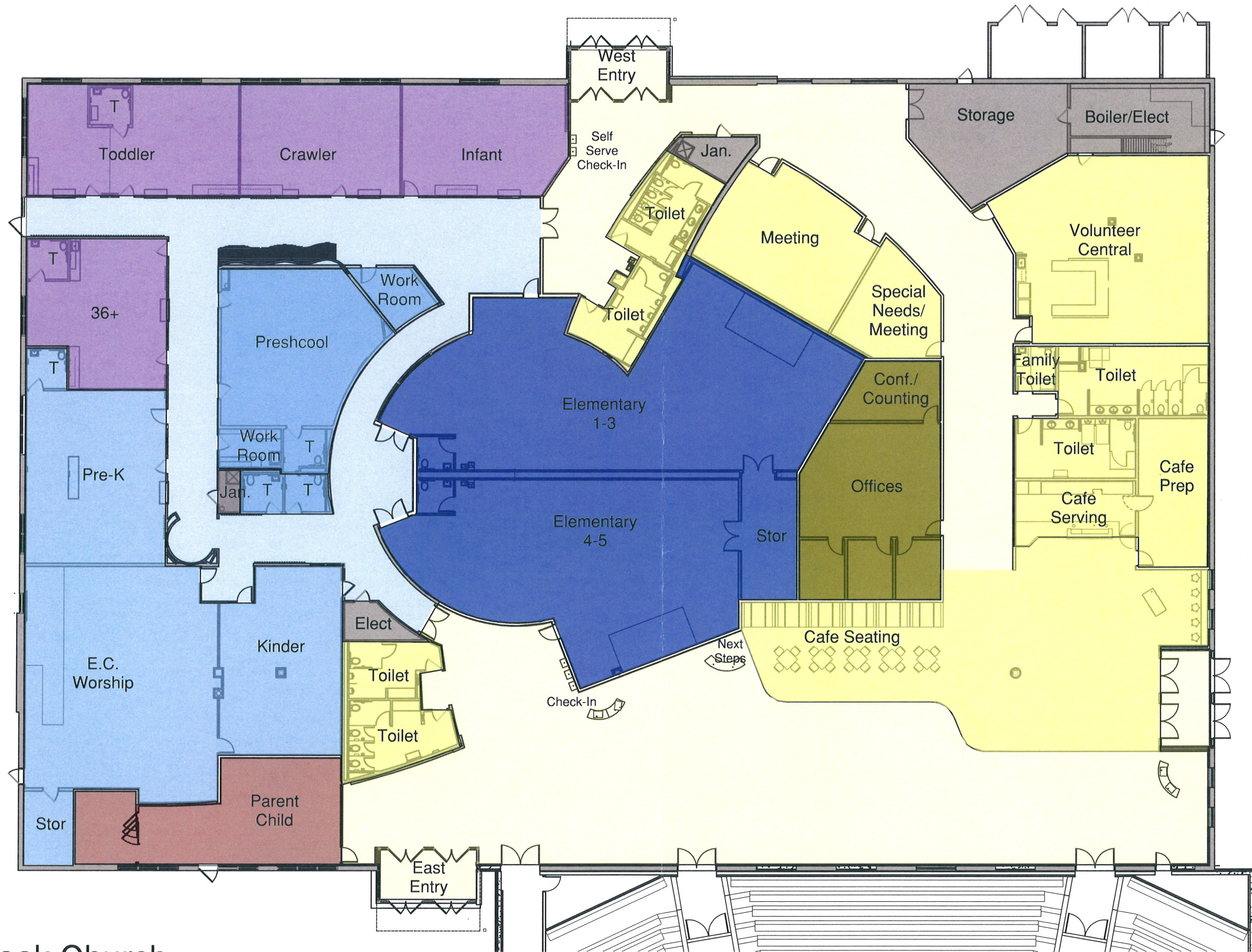


EAST ELEVATION

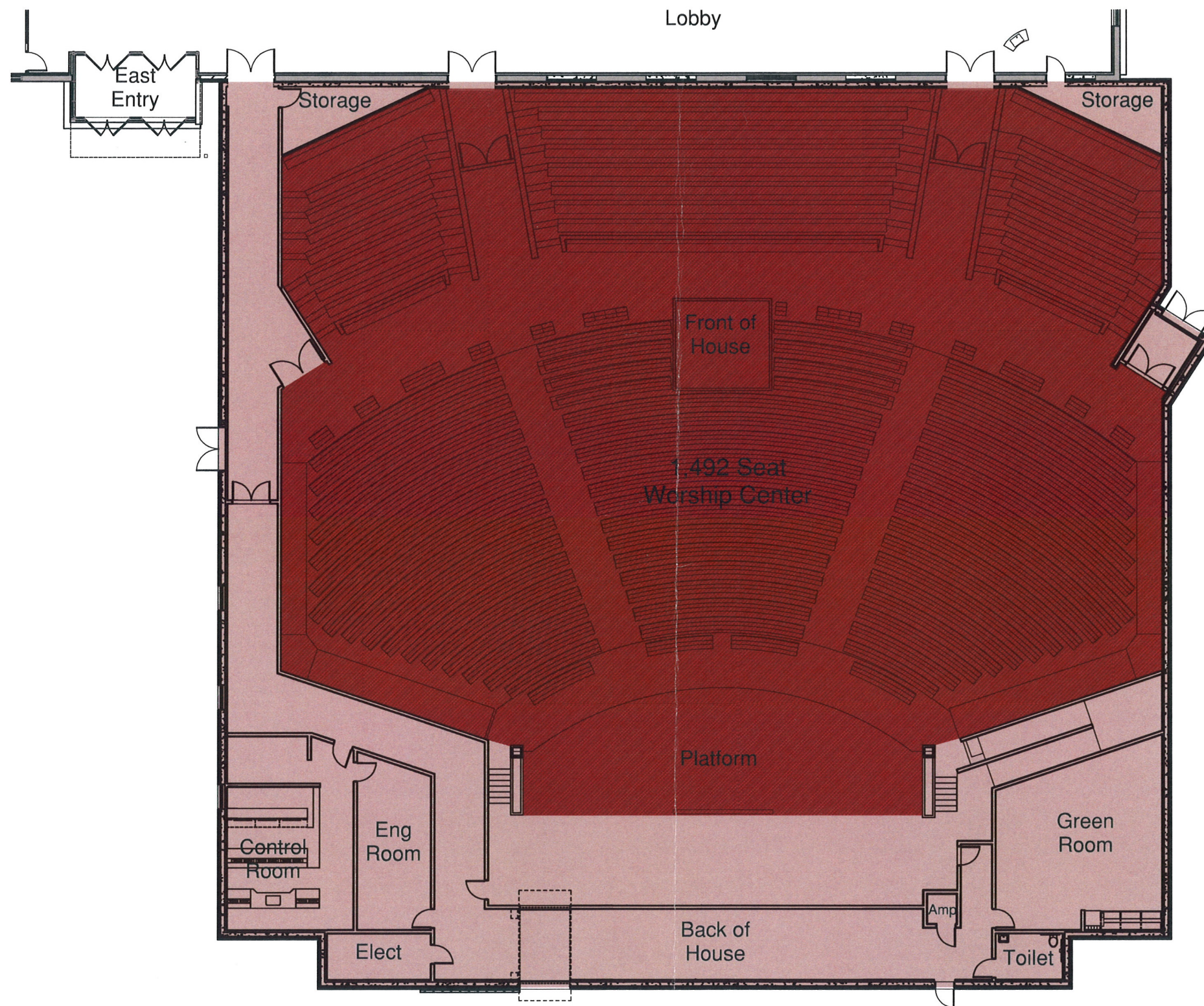


NORTH ELEVATION

Eagle Brook Church
Blaine Campus Addition



Eagle Brook Church
Blaine Campus Addition



Eagle Brook Church
Blaine Campus Addition



SAINT PAUL | MADISON

380 St. Peter Street, Suite 600
Saint Paul, MN 55102

651.222.3701
bwbr.com

December 8, 2017

Re: Eagle Brook Church Blaine Campus Addition
3603 95th Avenue NE
Blaine, MN 55014

Parcel ID: 26-31-23-31-0012
Proposed Legal Description: Lot 1, Block 1, Eagle Brook Church – Blaine Campus,
Anoka County, Minnesota

PURPOSE:

Eagle Brook Church of White Bear Lake, Minnesota (EBC) is one church with multiple campuses in the Metro Area including Lino Lakes, Spring Lake Park, Anoka, White Bear Lake, Woodbury and Blaine. The Blaine campus has been a very popular campus ever since it opened in 2010 with 840 seats and has consistently needed overflow seats to accommodate the needs of its guests. EBC is proposing to purchase the 3.58-acre site (currently designated as Outlot A, Blaine Preserve Business Park Third Addition) adjacent and east of its current property (Lot 1, Block 1, and Outlot B of the Third Addition) to allow for the expansion of the existing facility. The plans include expanding parking on Outlot B to the north of the existing facility, along with constructing additional parking to the east of the facility on Outlot A. On Lot 1, EBC would also build an addition to the northeast corner of the current building to house a new 1,485-seat worship auditorium and renovate the existing building and remaining facilities to expand all current functions in proportion to the new worship auditorium.

EBC is the fee owner of Lot 1 and Outlot B. EBC has an agreement to purchase Outlot A with Blaine Ponds Joint Venture LLC (BPJV). If granted, the CUP should become effective if and only if, and when, EBC closes on the purchase of Outlot A and becomes the fee owner. BPJV consents to the application on this condition. As part of the proposed expansion, Lot 1, Outlot A, and Outlot B would be replatted into a single lot.

Presently, EBC holds regular weekend services at this campus on Saturdays and Sundays and conducts weekday evening programming, typically on Wednesdays, for student ministries and other ministries. Currently, due to high demand, the regular weekend worship service schedule is 4pm and 6pm on Saturdays and 9am, 11am, 4pm and 6pm on Sundays. During the daytime hours of weekdays, it is possible that the campus may be used on a limited basis for isolated, special functions, such as an all employee meeting or the annual two-day Global Summit, in addition to continued office and music rehearsal use supporting the site's use as a church. EBC utilizes the Blaine Police force for traffic control. This partnership has functioned well and will continue in the future.

The proposed renovation will move the Lobby to the northeast corner of the current building and will create a new entrance on the north, in addition to the current entrances on the east and west, so visitors have easy access to the Lobby. The remainder of the current building will accommodate the expanded children's ministry and support rooms for other church related activities and uses.

The exterior of the addition will have materials to match the existing building: Architectural Precast concrete (red and buff), glass and stone. Some Architectural Metal Panels will be strategically introduced at certain points to help separate the new concrete from old. This material is used on most of their other campuses and will add some consistency to connect back to other campuses. The height of the addition will match the existing portion of the church that it touches. Landscaping on the newly developed properties will be a continuation of the current landscaping. Site lighting will come from both wall mounted fixtures around the building and pole mounted fixtures around the site.

| | <u>EXISTING CONDITIONS</u> | <u>PROPOSED CONDITIONS</u> |
|----------------------|----------------------------|-----------------------------|
| Property | = 5.43 acres (236,585 sf) | = 10.18 acres (442,027 sf) |
| Impervious Cover | = 5.03 acres (219,259 sf) | = 8.27 acres (360,476 sf) |
| Impervious % | = 92.6% | = 81.6% |
| Parking Provided | = 420 spaces | = 746 spaces |
| Worship Seats | = 840 (@1:2 ratio) | = 1,492 seats (@ 1:2 ratio) |
| Building SF | = 38,656 sf | = 60,308 sf |
| Type of Construction | = II-B | = II-B |
| Allowable Area | = 45,250 sf | = no change |
| Fire Protection | = Sprinkled Throughout | = Sprinkled Throughout |