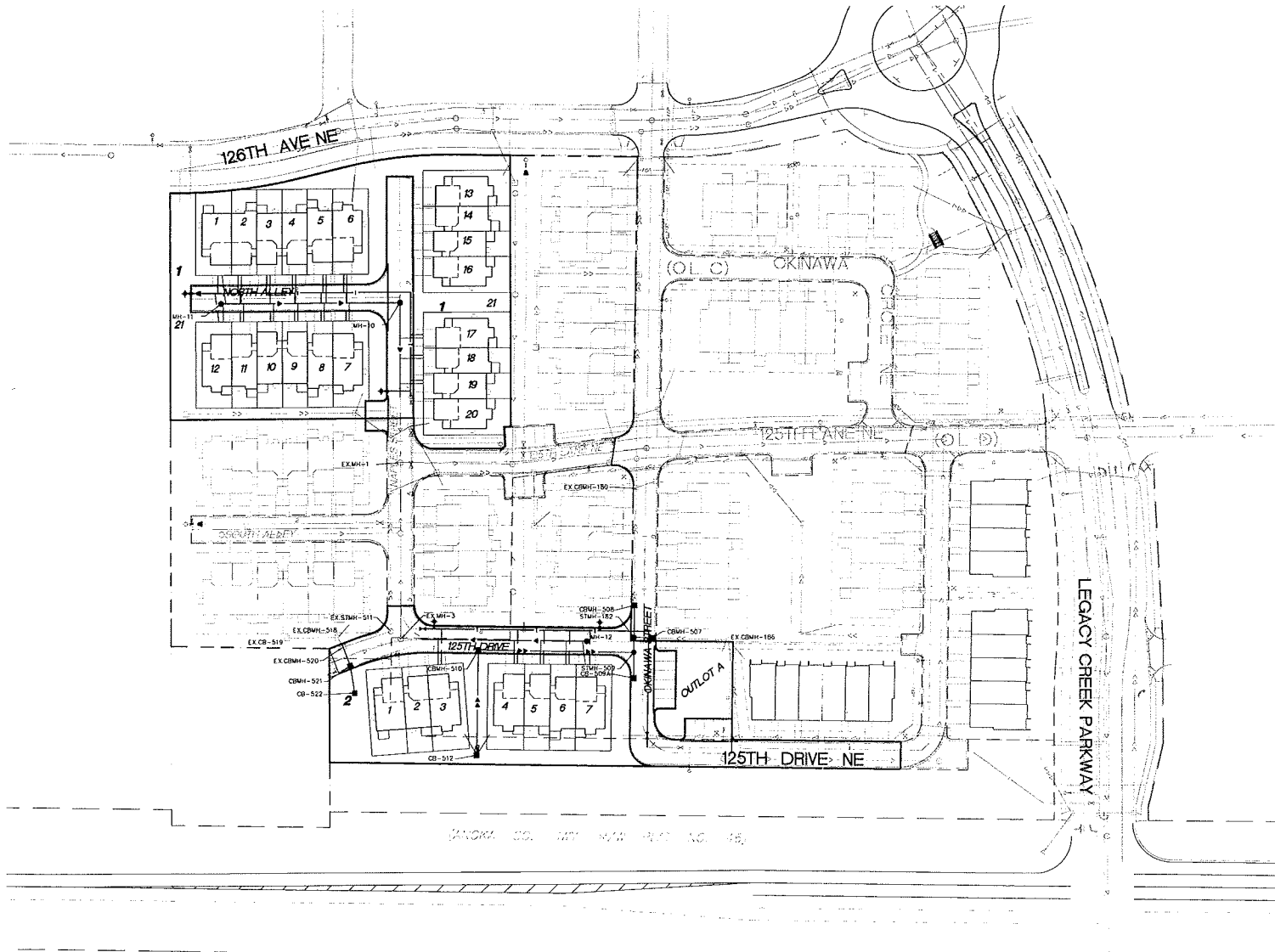


Case File No. 14-0012

Blaine Planning Department / 10801 Town Square Dr NE / Blaine, MN 55449 / (763) 785-6180





Legend

EXISTING	FUTURE
Sanitary Sewer	Sanitary Sewer
Water	Water
Hyd. w\Valve	Hyd. w\Valve
Storm Sewer	Storm Sewer
Water Service	
Sanitary Service	

PROPOSED
Sanitary Sewer
Water
Hyd. w\Valve
Storm Sewer
Sanitary Service
Water Service

STORM SEWER CASTING SCHEDULE			
NUMBER	STRUCTURE TYPE	DIA.	CASTING TYPE
182	STMH	48"	R-1642
507	CBMH	48"	R-3067
508	CBMH	48"	R-3067
509	STMH	48"	R-1642
509A	CB	2'x3'	R-3067
510	CBMH	48"	R-3067
512	CB	22"	R-2577-1
521	CBMH	48"	R-3067
522	CB	22"	R-2577-1

EROSION CONTROL NOTE:
STABILIZING VEGETATION WILL BE ESTABLISHED WITHIN 14 DAYS FOR ALL ROUGH GRADING.

NOTE:
MAILBOX LAYOUT NOT SHOWN. DEVELOPER IS WORKING WITH LOCAL POSTAL SERVICE ON MASTER PLAN.



Call 48 Hours before digging:
811 or call811.com
Common Ground Alliance.

Latest Revision Date: 03/27/14
Date: 03/27/14 Sheet 2 OF 8

W
Westwood
Westwood Professional Services, Inc.
3689 Annapolis Drive
Eden Prairie, MN 55434
PHONE: 952-831-8100
FAX: 952-831-8433
TOLL FREE: 1-888-937-9150
www.westwoodps.com

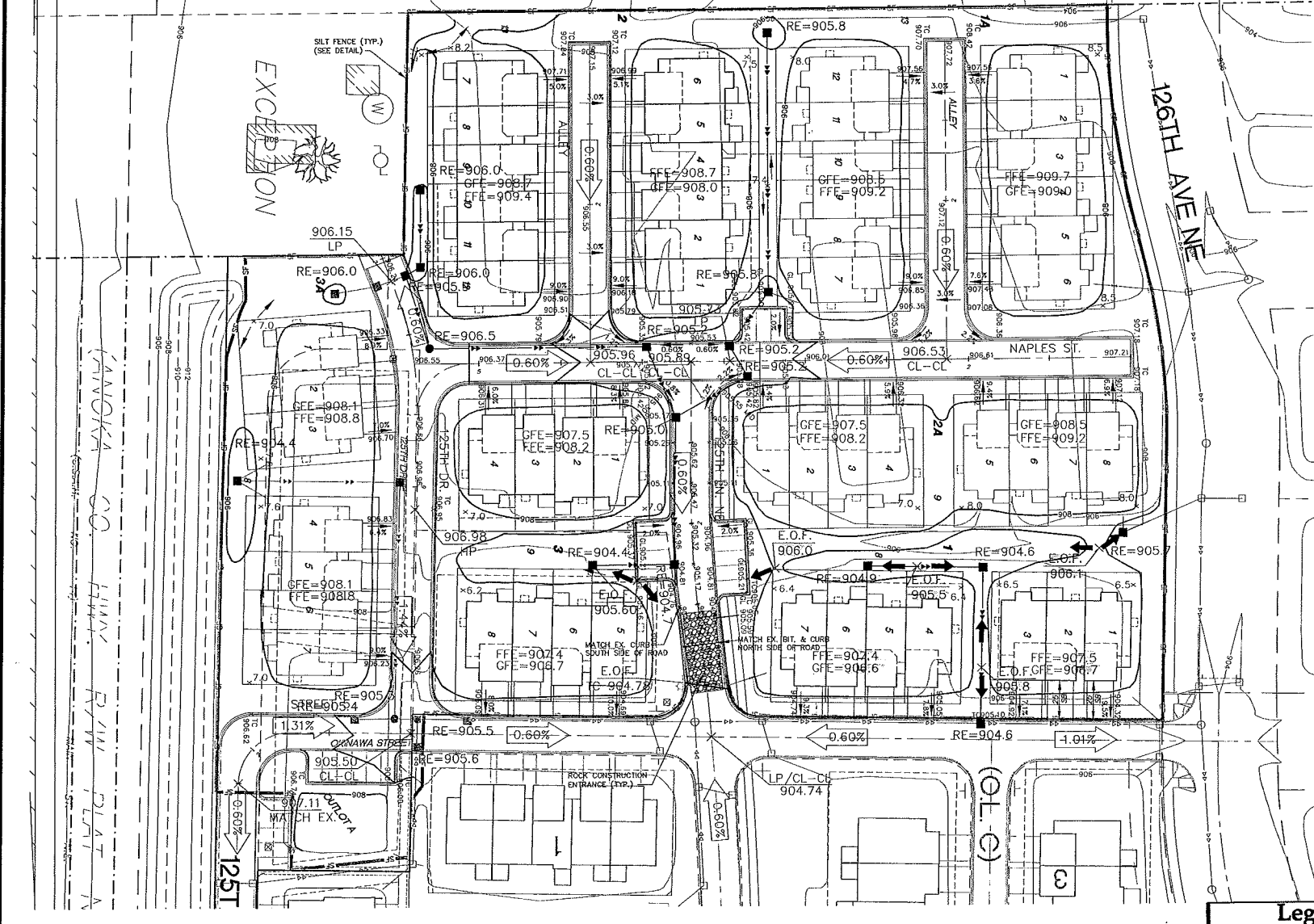
I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly Licensed PROFESSIONAL ENGINEER under the laws of the State of Minnesota.
[Signature]
Francis D. Hagen II
Date: 03/27/14 License No.: 17116

Drawn: PERI II
Checked: DJW
Designed: DJW
Record Drawing by Date

Prepared for:
Source Construction Capital
18215 45th Avenue North, Suite D
Plymouth, Minnesota 55446

Legacy Creek 4th Addition
Blaine, Minnesota

Overall



- LEGEND:**
- DENOTES SOL BORING
 - DENOTES SILT FENCE
 - DENOTES HEAVY DUTY SILT FENCE
 - DENOTES EXISTING CONTOURS
 - DENOTES PROPOSED CONTOURS
 - DENOTES EXISTING STORM SEWER
 - DENOTES PROPOSED STORM SEWER
 - DENOTES EXISTING TREE LINE
 - DENOTES APPROXIMATE TREE REMOVAL LIMITS
 - DENOTES EXISTING SPOT ELEVATION
 - DENOTES PROPOSED SPOT ELEVATION
 - DENOTES BIO-ROLL EROSION CHECKS
 - DENOTES EMERGENCY OVERFLOW ELEVATION



Latest Revision Date: 01/06/14
 000211.007.02.dwg

Date: 8/29/13 Sheet: 3 OF 5

**Legacy
 Creek 3rd
 Addition**
 Blaine, Minnesota

Grading, Drainage, &
 Erosion Control Plan

Westwood
 Westwood Professional Services, Inc.
 1589 Annapolis Drive
 Eden Prairie, MN 55344
 PHONE: 952.432.6100
 FAX: 952.437.5472
 TOLL FREE: 1.888.877.0100
 www.westwood.com

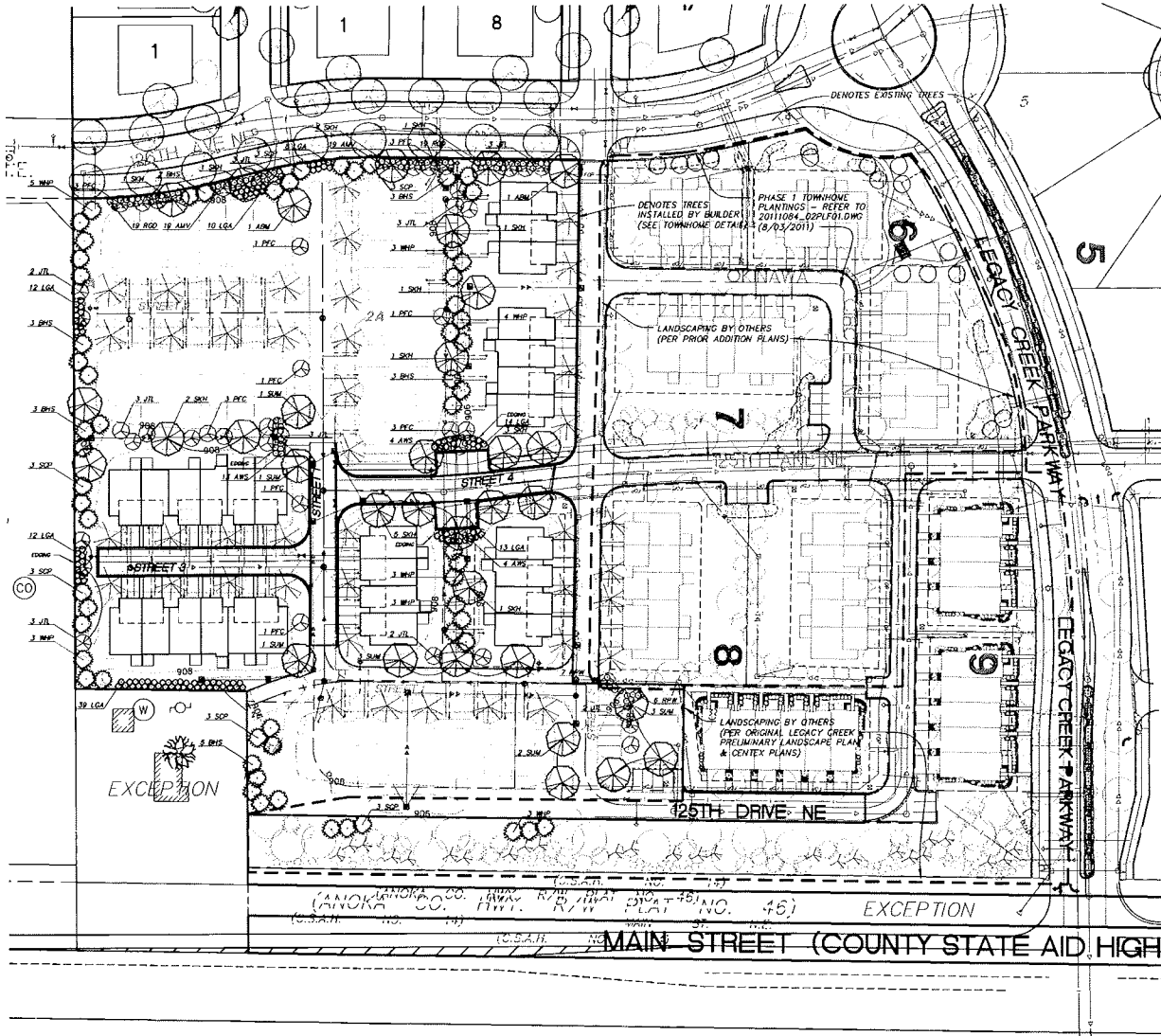
I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly Licensed PROFESSIONAL ENGINEER under the laws of the State of Minnesota.

 Patrick D. Hagen
 Date: 01/06/14 License No. 17716

Revisions:
 07/03/13 CITY COMMENTS
 02/02/13 CITY COMMENTS
 02/07/13 FIELD REVISIONS
 07/04/14 REVISIONS 1081-L7-BLK.1

Designed: EPR/R / DSK
 Checked: EPR/R / DSK
 Printed: DSK / DSK
 Revised/Revised by/Date:

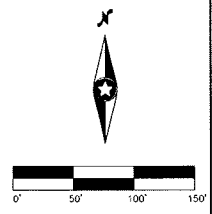
Prepared for:
Source Construction Capital
 18215 45th Ave. N. Suite D
 Plymouth, MN 55446



Final Plant Schedule

CODE	QTY.	COMMON/BOTANICAL NAME	SIZE	SPACING O.C.
SUM	11	Fall Fiesta Sugar Maple / <i>Acer saccharum 'Boleto'</i>	3" BB	AS SHOWN
SHI	18	Shyne Honeylocust / <i>Stelios bicoloratus 'Sycyle'</i>	3" BB	AS SHOWN
ABM	2	Autumn Blaze Maple / <i>Acer x freemanii 'Jefferson'</i>	3" BB	AS SHOWN
JL	24	Japanese Tree Lilac / <i>Syringa reticulata</i>	5" CLUMP BB	AS SHOWN
PTC	17	Prickly Pear / <i>Mammillaria</i>	2" BB	AS SHOWN
BNS	19	Black Hills Spruce / <i>Picea glauca densata</i>	7" HT. BB	AS SHOWN
SCP	18	Scotch Pine / <i>Pinus sylvestris</i>	7" HT. BB	AS SHOWN
WHP	24	White Pine / <i>Pinus strobus</i>	7" HT. BB	AS SHOWN
RDC	38	Red Gnome Dogwood / <i>Cornus alba 'Rubra' 'Red Gnome'</i>	#5 Cont.	5'-0" O.C.
AMV	38	Blue Blaze Viburnum / <i>Viburnum cerasifolium 'Bluechip'</i>	#5 Cont.	5'-0" O.C.
RPW	13	Red Prince Weigela / <i>Weigela 'Red Prince'</i>	#5 Cont.	5'-0" O.C.
LEA	109	Little Giant Arborvitae / <i>Thuja occidentalis 'Little Giant'</i>	#5 Cont.	5'-0" O.C.
AWS	21	Anthony Waterer Spirea / <i>Spiraea x bumalda 'Anthony Waterer'</i>	#5 Cont.	5'-0" O.C.

NOTE: QUANTITIES ON PLAN SUPERSEDE LIST QUANTITIES IN THE EVENT OF A DISCREPANCY.
 QUANTITIES ON PLAN DO NOT INCLUDE:
 -PRIOR ADDITION LANDSCAPING
 -FOUNTING PLANTINGS BY BUILDER



Call 48 Hours before digging:
GOPHER STATE ONE CALL
 Twin City Area 651-454-0002
 Mn. Toll Free 1-800-252-1166

Legacy Creek 3rd Addition
 Final Landscape Plan
 Blaine, Minnesota

Date: 8/29/13 Sheet: 1 OF 2

Westwood
 Westwood Professional Services, Inc.
 7800 Arroyo Drive
 Eden Prairie, MN 55344
 PHONE: 952-947-4100
 FAX: 952-947-4125
 TOLL FREE: 1-800-957-4100
 www.westwood.com

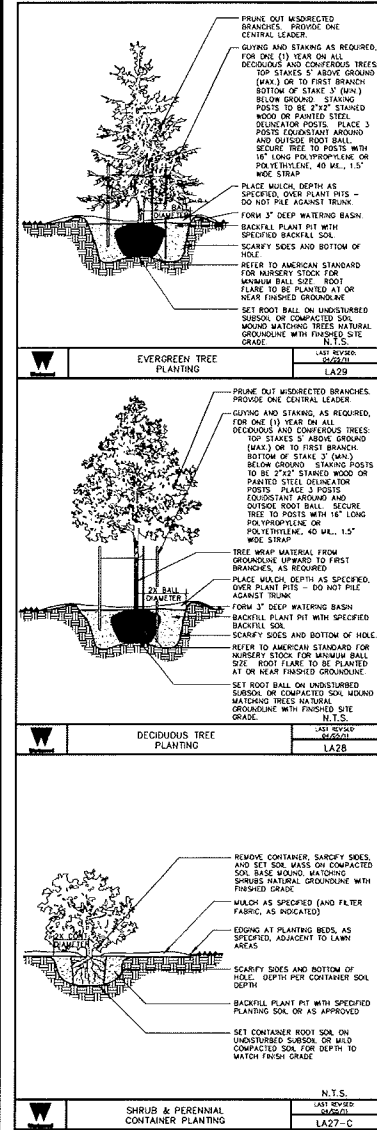
I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly licensed Landscape Architect under the laws of the State of Minnesota.
 Date: 8/29/13 License No: 26971

Revisions:
 08/21/13 - Updated landscape for new street width

Designed: C.M.
 Checked: C.M.
 Drawn: S.T.E.
 Examined/Sealed by/Date:

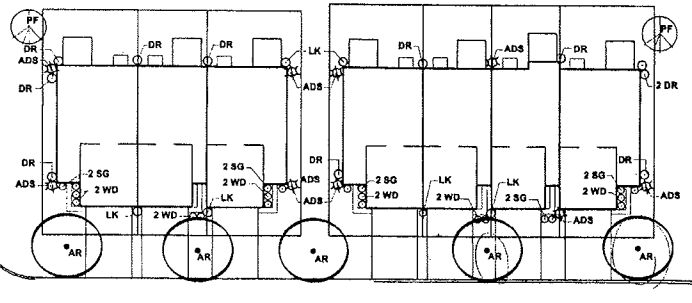
Prepared for:
Source Construction Capital
 18215 45th Ave. N. Suite D
 Plymouth, MN 55446

Typical Foundation Planting Detail (by others)



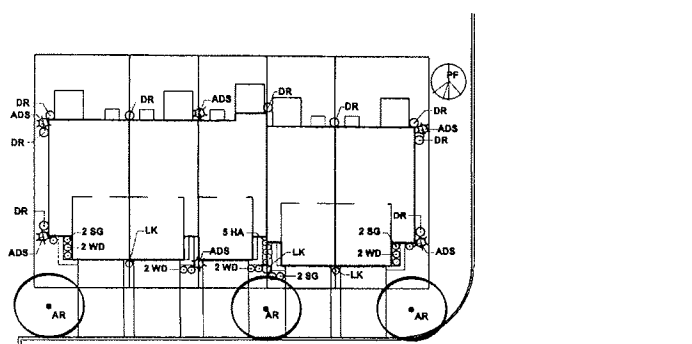
PLANT SCHEDULE

KEY	NAME	SIZE
AR	ACER RUBRUM/AUTUMN BLAZE Acer s. hybrid 'Autumn Blaze'	1" DB & B
PF	PRUNER FIRE CRAB APPLE Malus 'Prunifera'	1" DB & B
ADG	DOGWOOD SPICE ANCHOVITAE Thuja occidentalis 'Dogwood Spice'	2" S & B
SG	SPIRUEA GOLDFALME Spiraea ovata 'Goldfame'	#1 POT
WD	WINDGELA DARK HORSE Vinanga bicolor 'Dark Horse'	#1 POT
LK	LEACH KOREAN DORISER Syringa meyeri 'Palom'	#1 POT
LK	BLACK CHERRYBERRY PRICHODUS BEAUTY Avicoria mal 'Morton'	#5 POT
DR	DOGWOOD RED GRACE Cornus alba 'Regina'	#5 POT



PLANT SCHEDULE

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AR	ACER RUBRUM/AUTUMN BLAZE Acer s. hybrid 'Autumn Blaze'	1" DB & B
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LK	BLACK CHERRYBERRY PRICHODUS BEAUTY Avicoria mal 'Morton'	#5 POT
DR	DOGWOOD RED GRACE Cornus alba 'Regina'	#5 POT
HA	HOSTA AUGUST MONOR Hosta sp. 'August Monor'	#1 POT



LANDSCAPE PLAN

NOTES:

PLANT WARRANTY TO BE 12 MONTHS FOR TREES, SHRUBS AND EVERGREENS. 3 MONTHS FOR PERENNIALS.

CONSTRUCTION TO BE WARRANTED FOR 12 MONTHS. WEATHERING OF MATERIALS IS NORMAL.

MULCH TO BE RIVER GRAVEL 3" THICK OR OWNER APPROVED EQUAL INSTALLED WITH PERMEABLE WEED BARRIER. PROVIDE 1 1/2" WIDE MOUNDING AROUND PERIMETER OF BUILDING AND 4" WIDE MULCH BED AROUND PLANTS.

PLANTS TO BE INSTALLED PER ANSI AND MHA STANDARD PLANTING PRACTICES.

CONTRACTOR TO CONTACT GOPHER ONE CALL PRIOR TO INSTALLING PLANTS.

LOCATION OF PLANT MATERIAL MAY VARY DUE TO FIELD CONDITIONS.

EDGING TO BE VALLEY VIEW VINYL EDGING MINIMUM OF 4" HEIGHT.



MINNEAPOLIS DIVISION
2100 WEST COUNTY ROAD
BURNINGWELL, MN 55337
T (913) 898-4100

Planting Notes

- CONTRACTOR SHALL CONTACT GOPHER "ONE CALL" (651-454-0002 or 800-252-1166) TO VERIFY LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO INSTALLATION OF ANY PLANTS OR LANDSCAPE MATERIAL.
- ACTUAL LOCATION OF PLANT MATERIAL IS SUBJECT TO FIELD AND SITE CONDITIONS.
- NO PLANTING WILL BE INSTALLED UNTIL ALL GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA.
- ALL SUBSTITUTIONS MUST BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO SUBMISSION OF ANY BID AND/OR QUOTE BY THE LANDSCAPE CONTRACTOR.
- CONTRACTOR SHALL PROVIDE TWO YEAR GUARANTEE OF ALL PLANT MATERIALS. THE GUARANTEE BEGINS ON THE DATE OF THE LANDSCAPE ARCHITECT'S OR OWNER'S WRITTEN ACCEPTANCE OF THE INITIAL PLANTING. REPLACEMENT PLANT MATERIAL SHALL HAVE A ONE YEAR GUARANTEE COMMENCING UPON PLANTING.
- ALL PLANTS TO BE SPECIMEN GRADE, MINNESOTA-GROWN AND/OR HARDY. SPECIMEN GRADE SHALL ADHERE TO, BUT IS NOT LIMITED BY, THE FOLLOWING STANDARDS:
ALL PLANTS SHALL BE FREE FROM DISEASE, PESTS, WOUNDS, SCARS, ETC.
ALL PLANTS SHALL BE FREE FROM NOTICEABLE GAPS, HOLES, OR DEFORMITIES.
ALL PLANTS SHALL BE FREE FROM BROKEN OR DEAD BRANCHES.
ALL PLANTS SHALL HAVE HEAVY, HEALTHY BRANCHING AND LEAFAGE.
CONIFEROUS TREES SHALL HAVE AN ESTABLISHED MAIN LEADER AND A HEIGHT TO WIDTH RATIO OF NO LESS THAN 5:3.
- PLANTS TO MEET AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1-2004 OR MOST CURRENT VERSION) REQUIREMENTS FOR SIZE AND TYPE SPECIFIC.
- PLANTS TO BE INSTALLED AS PER MHA & ANSI STANDARD PLANTING PRACTICES.
- PLANTS SHALL BE IMMEDIATELY PLANTED UPON ARRIVAL AT SITE. PROPERLY HEEL-IN MATERIALS IF NECESSARY; TEMPORARY ONLY.
- PRIOR TO PLANTING, FIELD VERIFY THAT THE ROOT COLLAR/ROOT FLARE IS LOCATED AT THE TOP OF THE BALLED & BURLAP TRUNK. IF THIS IS NOT THE CASE, SOIL SHALL BE REMOVED DOWN TO THE ROOT COLLAR/ROOT FLARE. WHEN THE BALLED & BURLAP TREE IS PLANTED, THE ROOT COLLAR/ROOT FLARE SHALL BE EVEN OR SLIGHTLY ABOVE FINISHED GRADE.
- OPEN TOP OF BURLAP OR BB MATERIALS; REMOVE POT ON POTTED PLANTS, SPLIT AND BREAK APART GREAT POTS.
- PRUNE PLANTS AS NECESSARY - PER STANDARD NURSERY PRACTICE AND TO CORRECT POOR BRANCHING OF EXISTING AND PROPOSED TREES.
- WRAP ALL SMOOTH-BARKED TREES - FASTEN TOP AND BOTTOM. REMOVE BY APRIL 1ST.
- STAKING OF TREES AS REQUIRED; REPOSITION, PLUMB AND STAKE IF NOT PLUMB AFTER ONE YEAR.
- THE NEED FOR SOIL AMENDMENTS SHALL BE DETERMINED UPON SITE. SOIL CONDITIONS PRIOR TO PLANTING. LANDSCAPE CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT FOR THE NEED OF ANY SOIL AMENDMENTS.
- BACKFILL SOIL AND TOPSOIL TO ADHERE TO MH/DOOT STANDARD SPECIFICATION 3877 (SELECT TOPSOIL BERRY) AND TO EXISTING TOP SOIL FROM SITE. FREE OF ROOTS, ROCKS LARGER THAN ONE INCH, SUBSOIL DEBRIS, AND LARGE WEEDS UNLESS SPECIFIED OTHERWISE. MINIMUM 4" DEPTH TOPSOIL FOR ALL LAWN GRASS AREAS AND 12" DEPTH TOPSOIL FOR TREE, SHRUBS, AND PERENNIALS.
- MULCH TO BE AT ALL TREE, SHRUB, PERENNIAL, AND MAINTENANCE AREAS. TREE AND SHRUB PLANTING BEDS SHALL HAVE 4" DEPTH OF SHREDDED HARDWOOD MULCH. SHREDDED HARDWOOD MULCH TO BE USED AROUND ALL PLANTS WITHIN TURF AREAS. MULCH TO BE FREE OF DELETERIOUS SPACES.
- EDGING TO BE COMMERCIAL GRADE VALLEY-VIEW BLACK DIAMOND (OR EQUAL) POLY EDGING OR SPADED EDGE, AS INDICATED. POLY EDGING SHALL BE PLACED WITH SMOOTH CURVES AND STAKED WITH METAL SPIKES NO GREATER THAN 4 FOOT ON CENTER WITH BASE OF TOP BEAD AT GRADE, FOR MOWERS TO CUT ABOVE WITHOUT DAMAGE. UTILITY CURBS AND SIDEWALKS FOR EDGING WHERE POSSIBLE. SPADED EDGE TO PROVIDE V-SHAPED DEPTH AND WIDTH TO CREATE SEPARATION BETWEEN MULCH AND GRASS. INDIVIDUAL TREE, SHRUB, OR PLANT-BEDS TO BE SPADED EDGE, UNLESS NOTED OTHERWISE. EDGING TO MATCH EXISTING CONDITIONS (WHERE APPLICABLE).
- ALL DISTURBED AREAS TO BE SOODED, UNLESS OTHERWISE NOTED. SOD TO BE STANDARD MINNESOTA CROWN AND HARDY BLUEGRASS MIX, FREE OF LAWN WEEDS. ALL TOPSOIL AREAS TO BE RAKED TO REMOVE DEBRIS AND ENSURE DRAINAGE. SLOPES OF 3:1 OR GREATER SHALL BE STAKED.
- PROVIDE IRRIGATION TO ALL PLANTED AREAS ON SITE. IRRIGATION SYSTEM TO BE DESIGN/BUILD BY LANDSCAPE CONTRACTOR. LANDSCAPE CONTRACTOR TO PROVIDE SHOP DRAWINGS TO LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION OF IRRIGATION SYSTEM. CONTRACTOR TO PROVIDE OPERATION MANUALS, AS-BUILT PLANS, AND NORMAL PROGRAMMING. SYSTEM SHALL BE WINTERIZED AND HAVE SPRING STARTUP DURING FIRST YEAR OF OPERATION. SYSTEM SHALL HAVE ONE-YEAR WARRANTY ON ALL PARTS AND LABOR. ALL INFORMATION ABOUT INSTALLATION AND SCHEDULING CAN BE OBTAINED FROM THE GENERAL CONTRACTOR.
- CONTRACTOR SHALL PROVIDE NECESSARY WATERING OF PLANT MATERIALS UNTIL THE PLANT IS FULLY ESTABLISHED OR IRRIGATION SYSTEM IS OPERATIONAL. OWNER WILL NOT PROVIDE WATER FOR CONTRACTOR.
- REPAIR, REPLACE, OR PROMOTE SOG/SEED AS REQUIRED FOR ANY ROADWAY BOULEVARD AREAS ADJACENT TO THE SITE DISTURBED DURING CONSTRUCTION.
- REPAIR ALL DAMAGE TO PROPERTY FROM PLANTING OPERATIONS AT NO COST TO OWNER.

Call 48 Hours before digging:
GOPHER STATE ONE CALL
Twin City Area 651-454-0002
MN Toll Free 1-800-252-1166

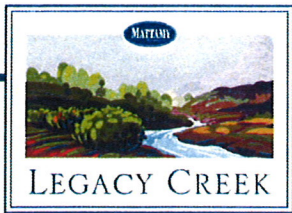
Westwood
Westwood Professional Services, Inc.
2000 American Drive
Bloomington, MN 55425
PHONE: 612-891-8138
FAX: 612-891-8222
TOLL FREE: 1-800-967-8196
www.westwood.com

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer in the State of Minnesota.
Date: 8/29/13 License No. 26971

Revisions:
08/13/13 - Update drawings for new street info.
Checked: _____
Drawn: _____
Event Drawing by/Date: _____

Prepared for:
Source Construction Capital
18215 45th Ave. N. Suite D
Plymouth, MN 55446

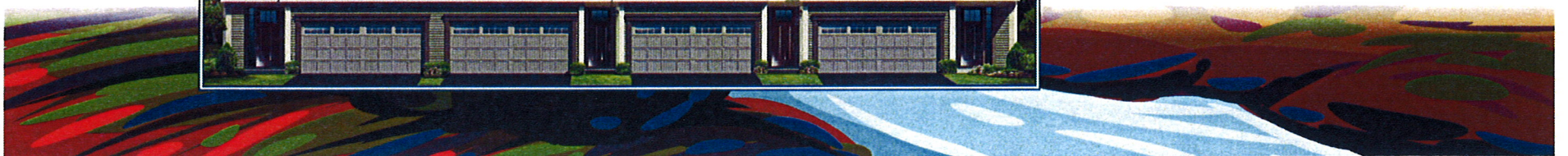
Legacy Creek 3rd Addition
Final Landscape Details
Blaine, Minnesota
Date: 8/29/13 Sheet: 2 OF 2

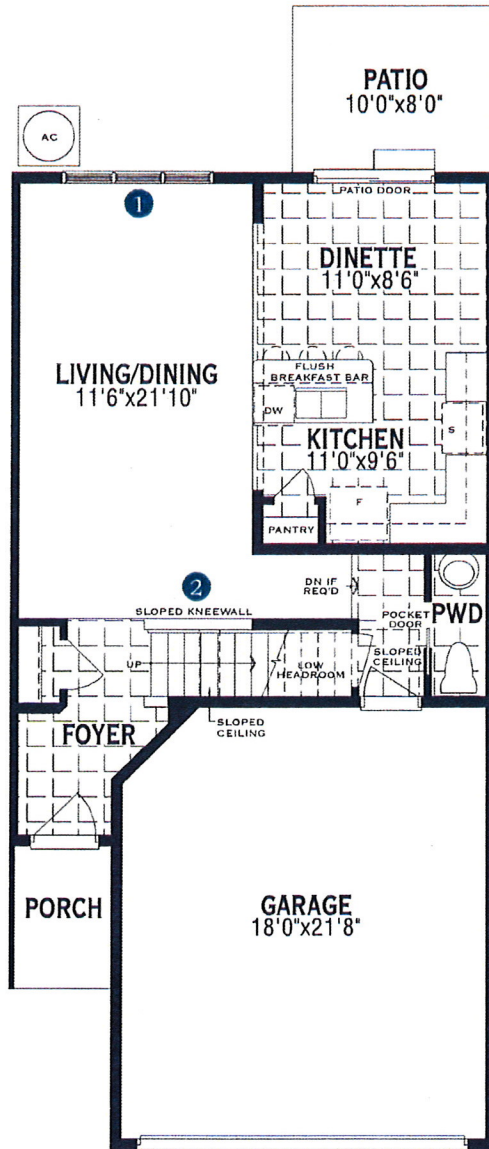


the ASPEN

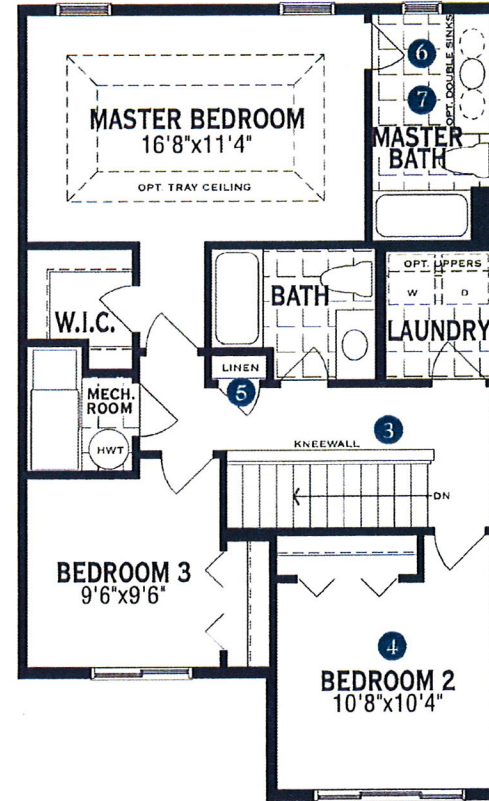


1,571 SQ.FT.





First Floor Plan



Second Floor Plan

All plan illustrations are artist's concept and are no part of a legal contract. Specifications, terms and conditions are subject to change without notice. These floor plans and room dimensions apply to elevation "A" of this model type. Note that plan square footages and room dimensions may vary according to elevation and options selected. Plan may be built as the mirror image. Flooring illustrations are used to show area of flooring, actual flooring type is specified on the Community Feature Sheet. Please consult your New Home Counselor for more details. E.F.O. February 2012. Copyright 2012 - Mattamy Homes Limited. Builder's License # BC376386. Reprint May 2012.

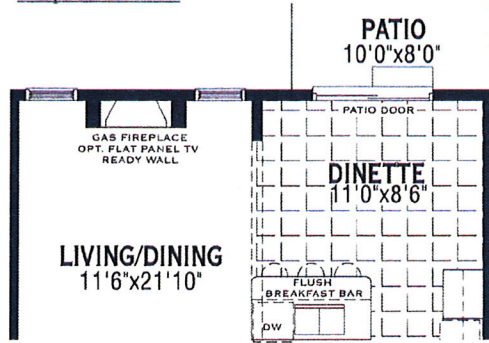


Architect's Choice Options

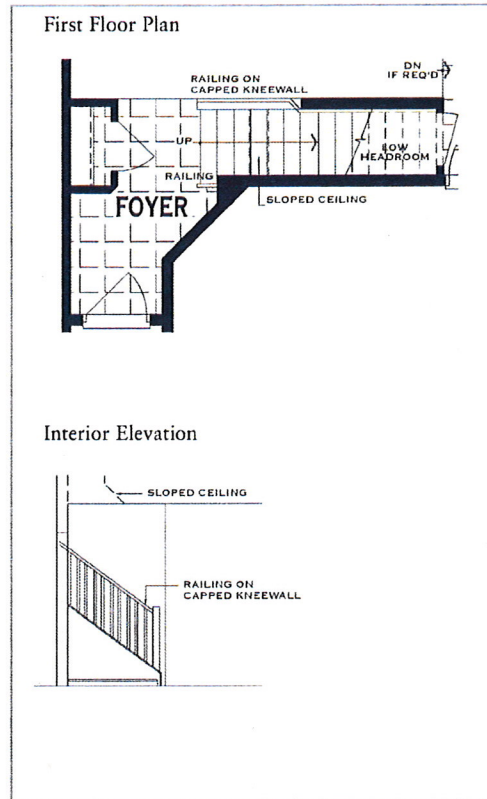
First Floor Plan

Second Floor Plan

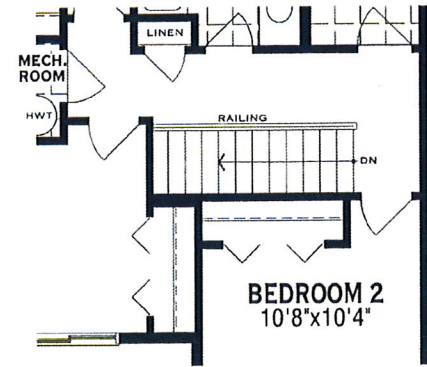
- 1 Gas Fireplace In Living Room w/Split Windows



- 2 Railing In Lieu Of Kneewall



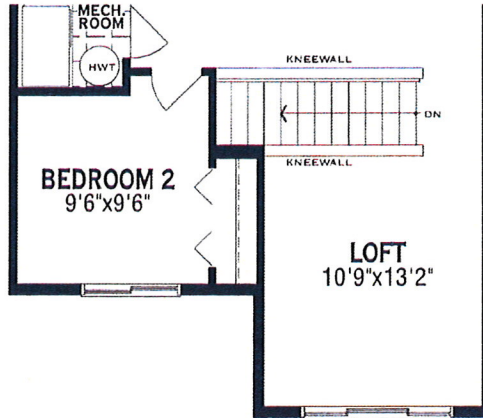
- 3 Railing In Lieu Of Kneewall



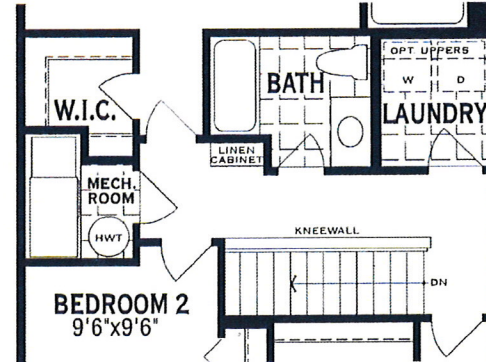
Architect's Choice Options

Second Floor Plan

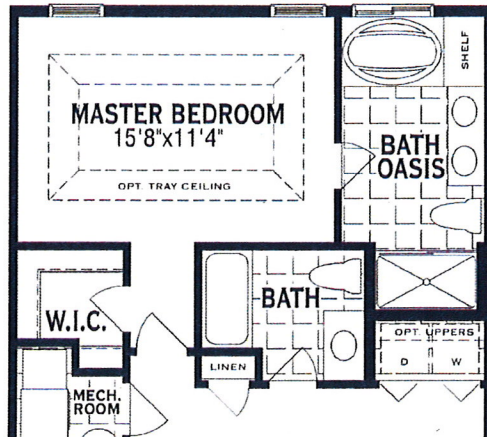
4 2 Bedroom w/Loft



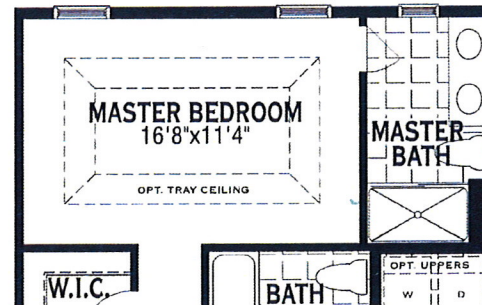
5 Linen Cabinet



6 Bath Oasis



7 Super Shower & Double Sinks

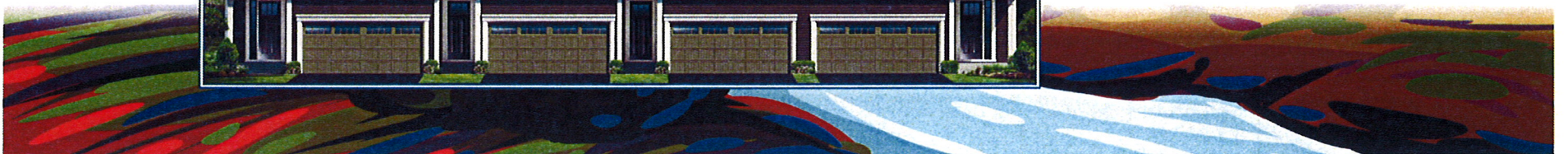




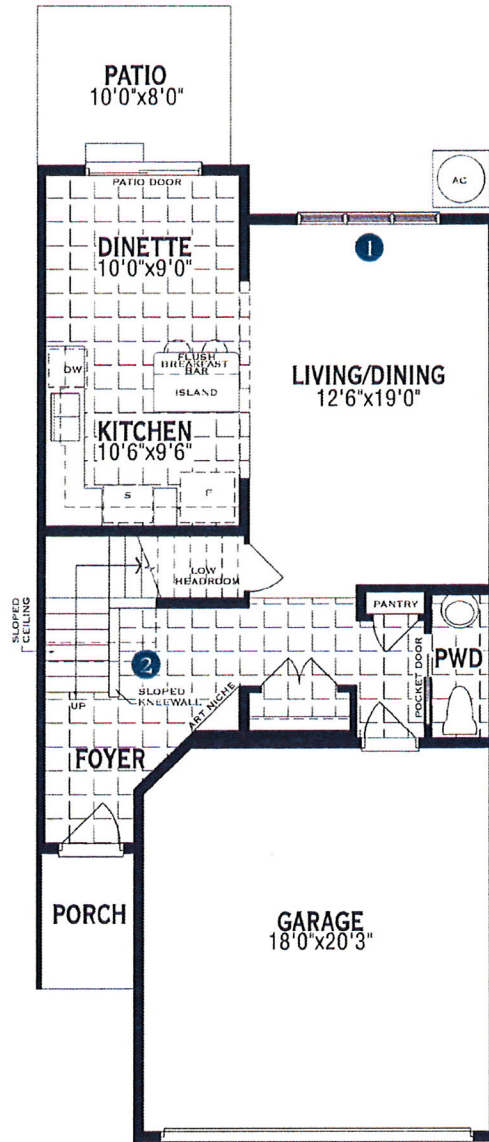
the REDWOOD



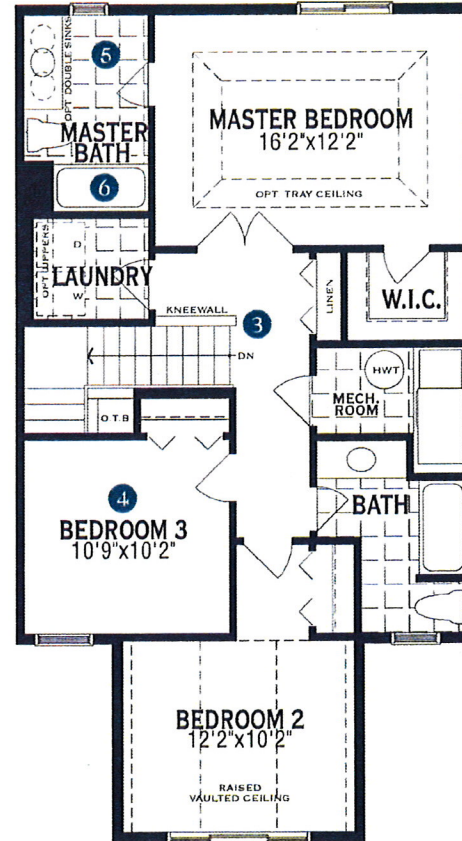
1,685 SQ.FT.



THE REDWOOD • 3 BEDROOM • 2.5 BATHROOM • 2 CAR GARAGE



First Floor Plan



Second Floor Plan

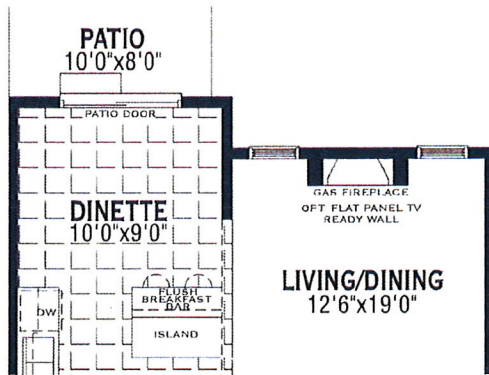
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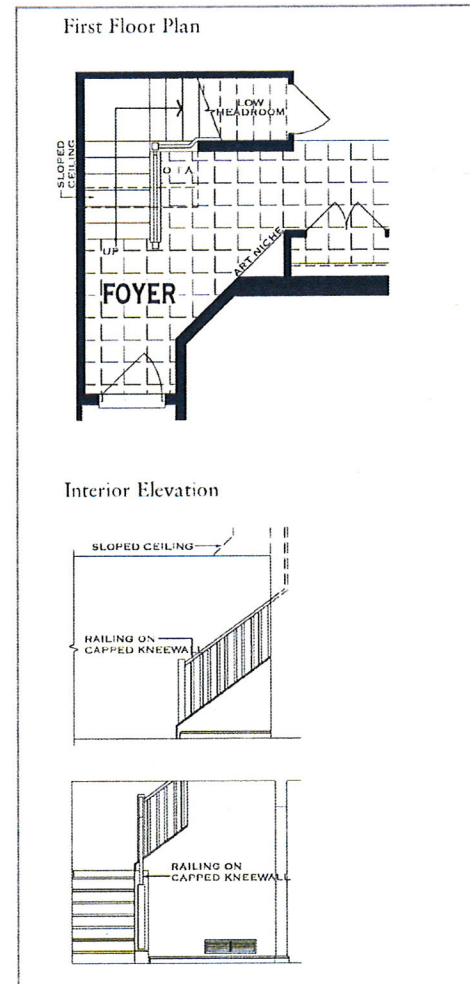
Architect's Choice Options

First Floor Plan

1 Gas Fireplace In Living Room
w/Split Windows



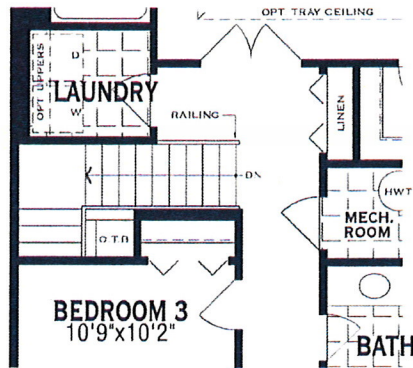
2 Railing In Lieu Of Kneewall



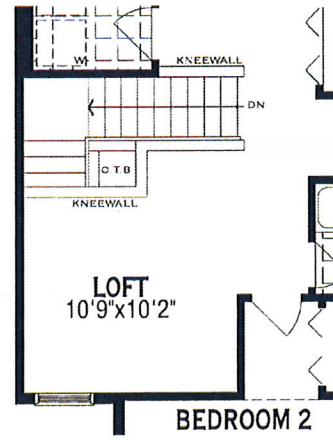
Architect's Choice Options

Second Floor Plan

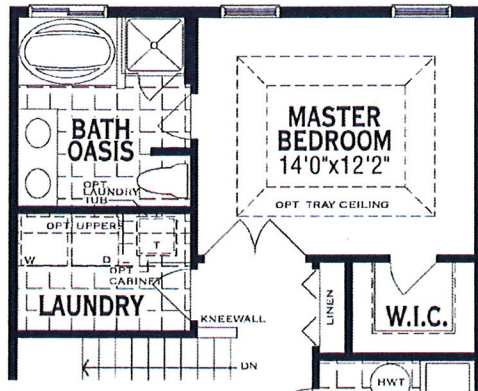
3 Railing In Lieu Of Kneewall



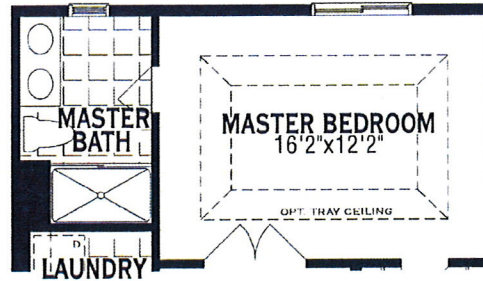
4 2 Bedroom w/Loft

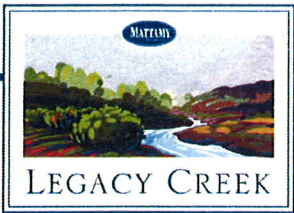


5 Bath Oasis

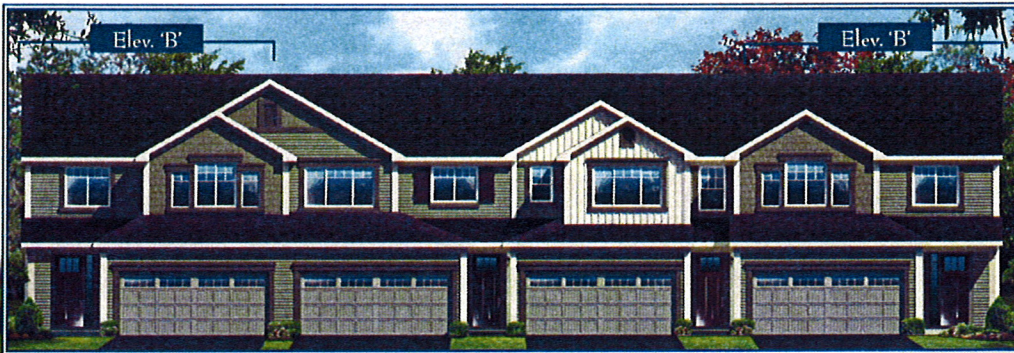


6 Super Shower & Double Sinks

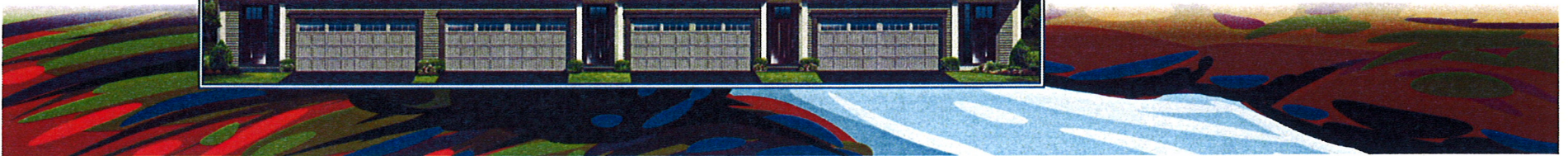


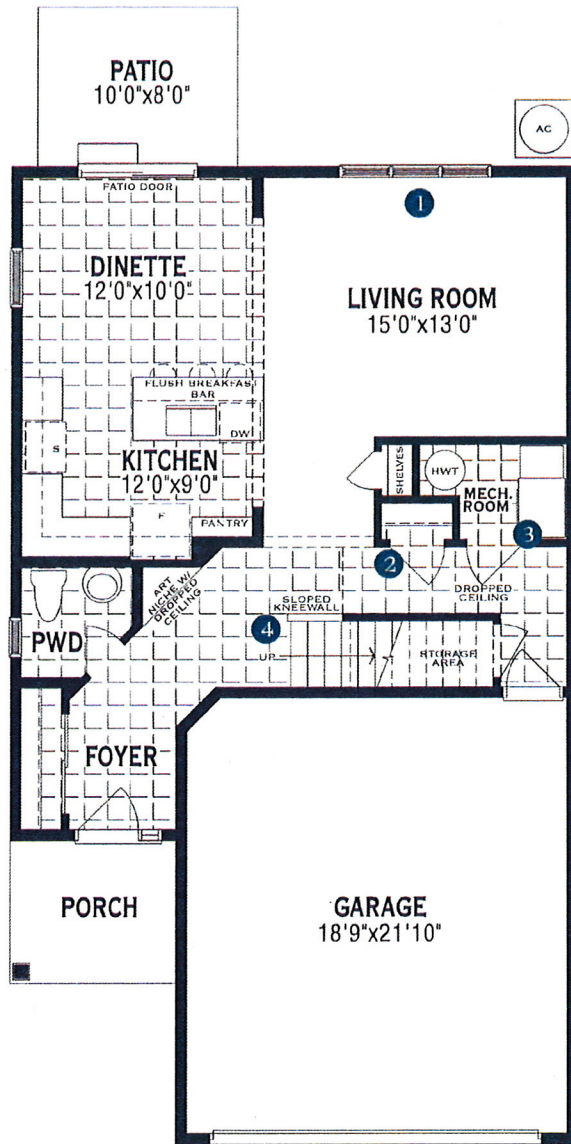


the TUPELO END

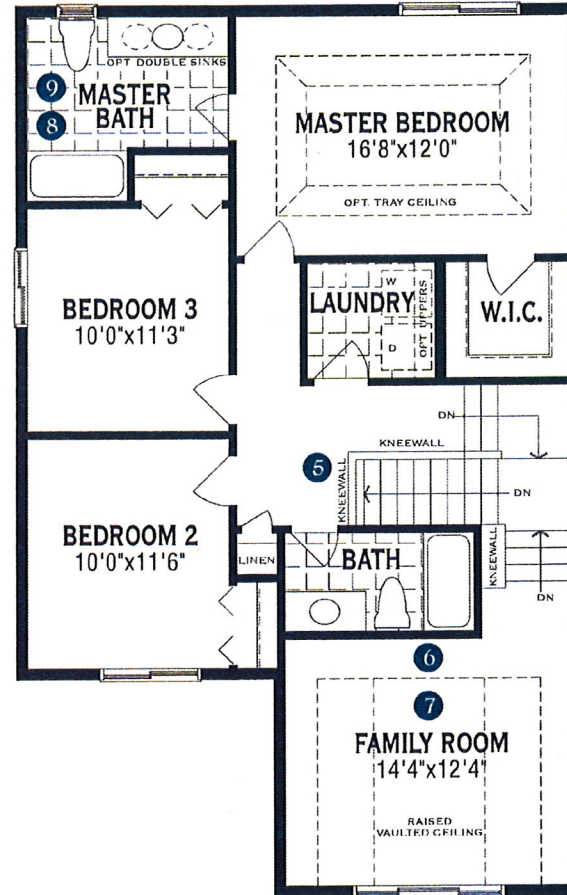


1,922 SQ.FT.





First Floor Plan



Second Floor Plan

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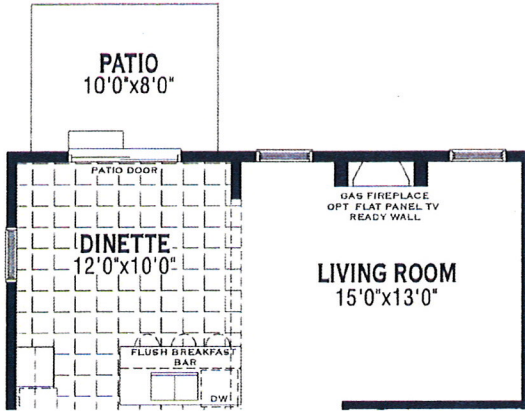


Architect's Choice Options

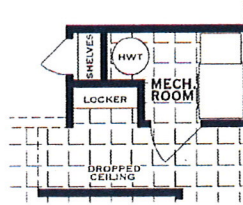
First Floor Plan

Second Floor Plan

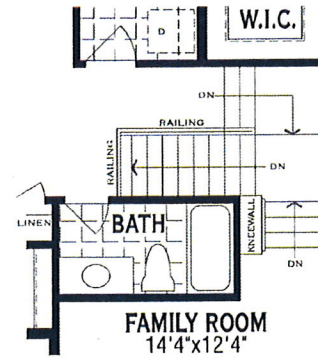
- 1 Gas Fireplace In Living Room w/Split Windows



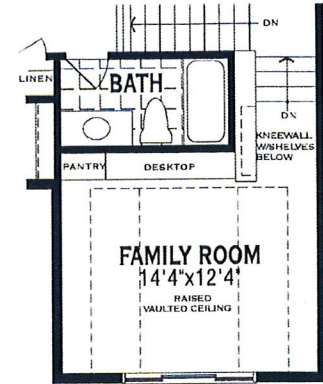
- 2 Locker In Lieu Of Closet



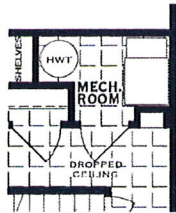
- 5 Railing In Lieu Of Kneewall



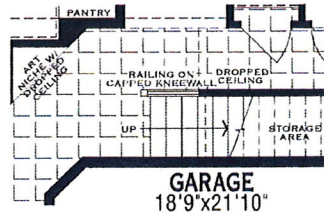
- 6 Model Home Bookcase & Desk In Family Room



- 3 Model Home Stop & Drop



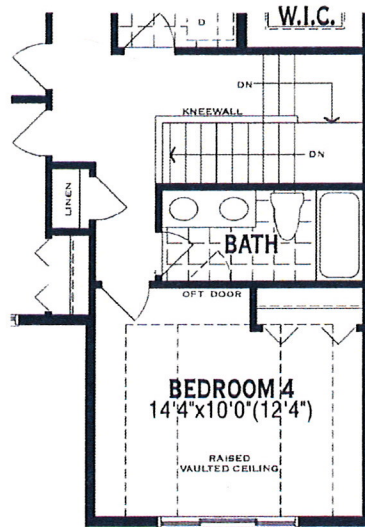
- 4 Railing In Lieu Of Kneewall



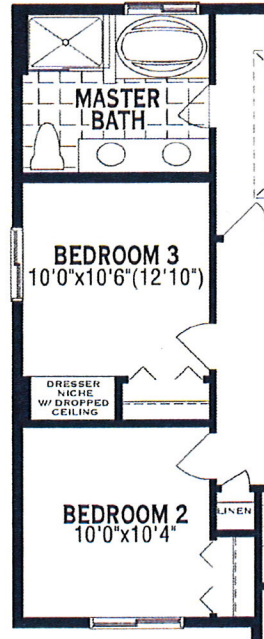
Architect's Choice Options

Second Floor Plan

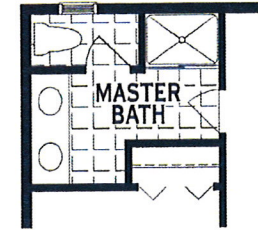
- 7 4th Bedroom in Lieu of Family Room w/Double Sinks in Bath



- 8 Bath Oasis

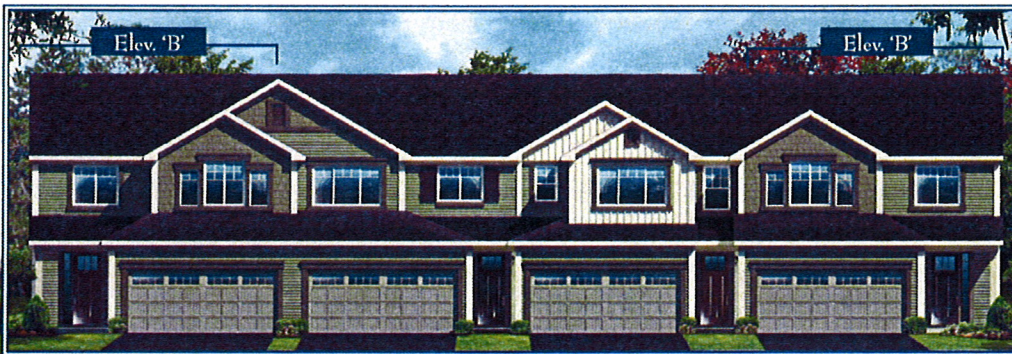


- 9 Super Shower & Double Sinks

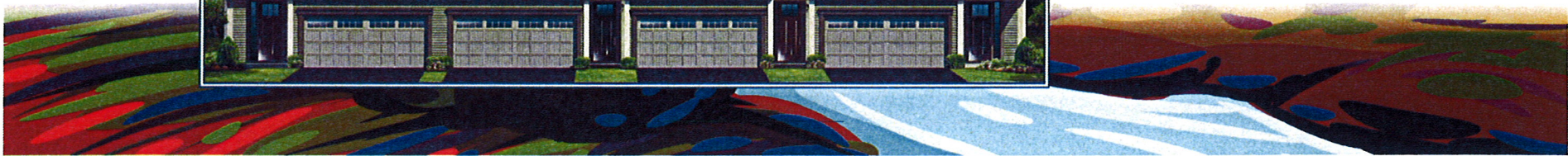


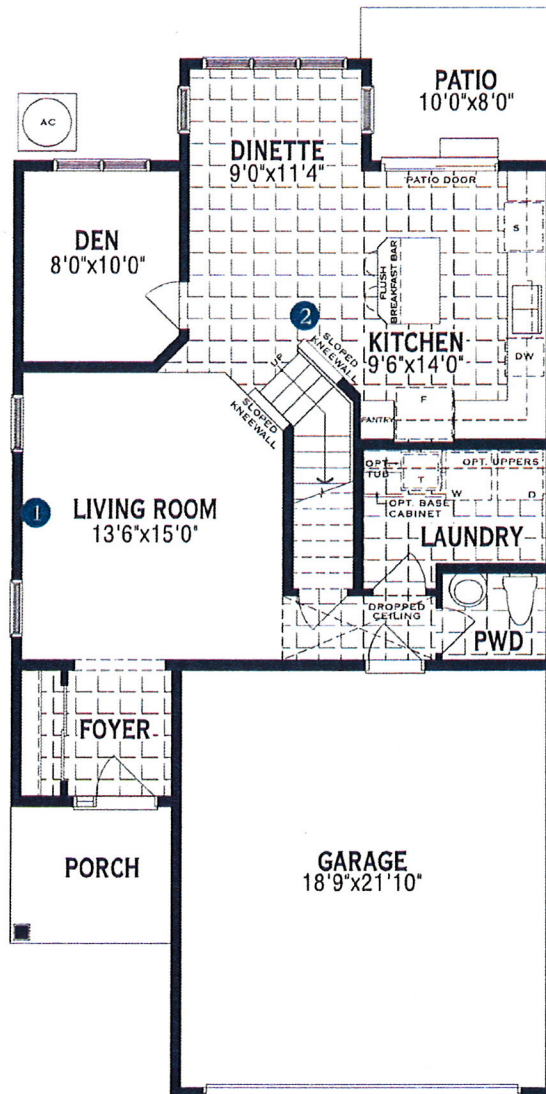


the WILLOWBROOK END

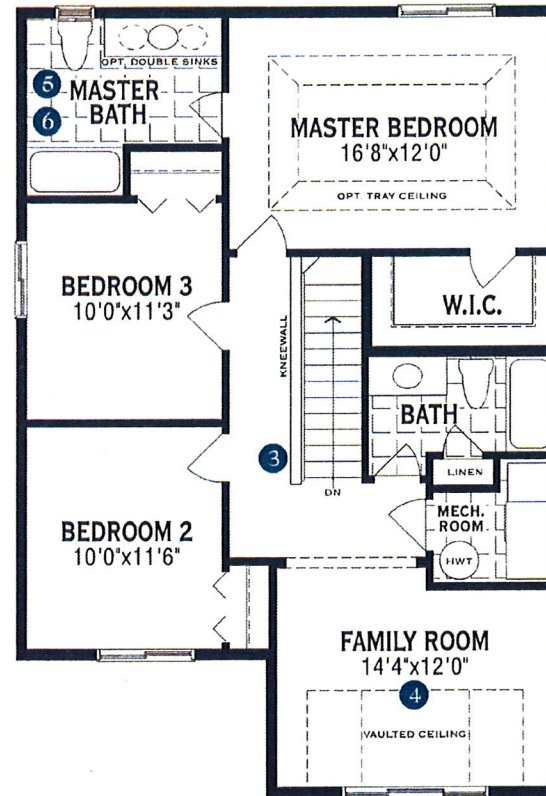


1,915 SQ.FT.





First Floor Plan



Second Floor Plan

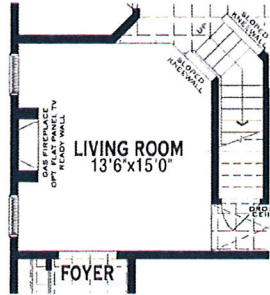
All plan illustrations are artist's concept and are no part of a legal contract. Specifications, terms and conditions are subject to change without notice. These floor plans and room dimensions apply to elevation "A" of this model type. Note that plan square footages and room dimensions may vary according to elevation and options selected. Plan may be built as the mirror image. Flooring illustrations are used to show area of flooring, actual flooring type is specified on the Community Feature Sheet. Please consult your New Home Counselor for more details. E.O. 11 February 2012. Copyright 2012 - Mattamy Homes Limited. Builder's License # BC375386. Reprint May 2012.



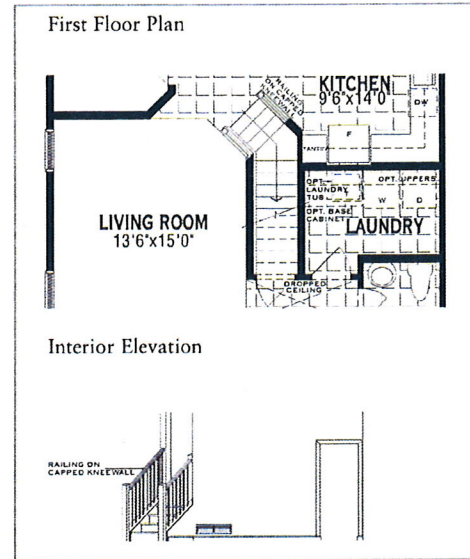
Architect's Choice Options

First Floor Plan

1 Gas Fireplace In Living Room



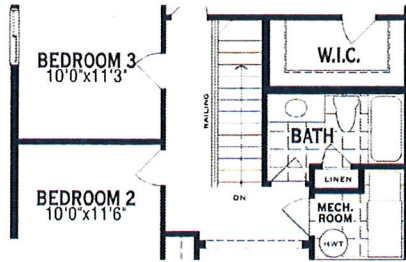
2 Railing In Lieu Of Kneewall



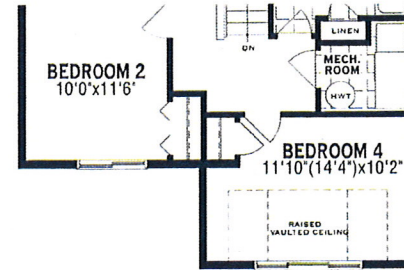
Architect's Choice Options

Second Floor Plan

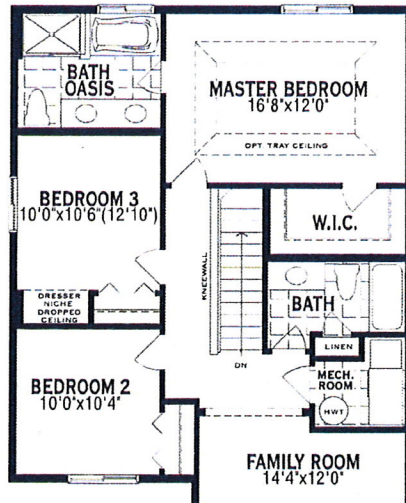
3 Railing In Lieu Of Kneewall



4 4th Bedroom In Lieu Of Family Room



5 Bath Oasis



6 Super Shower & Double Sinks

