

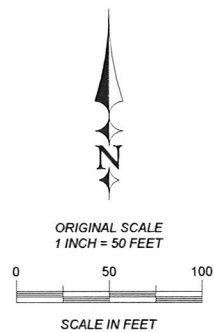
Case File No. 16-0035
Elevage Development

Blaine Planning Department / 10801 Town Square Dr NE / Blaine, MN 55449 / (763) 785-6180



REGISTERED LAND SURVEY NO. _____

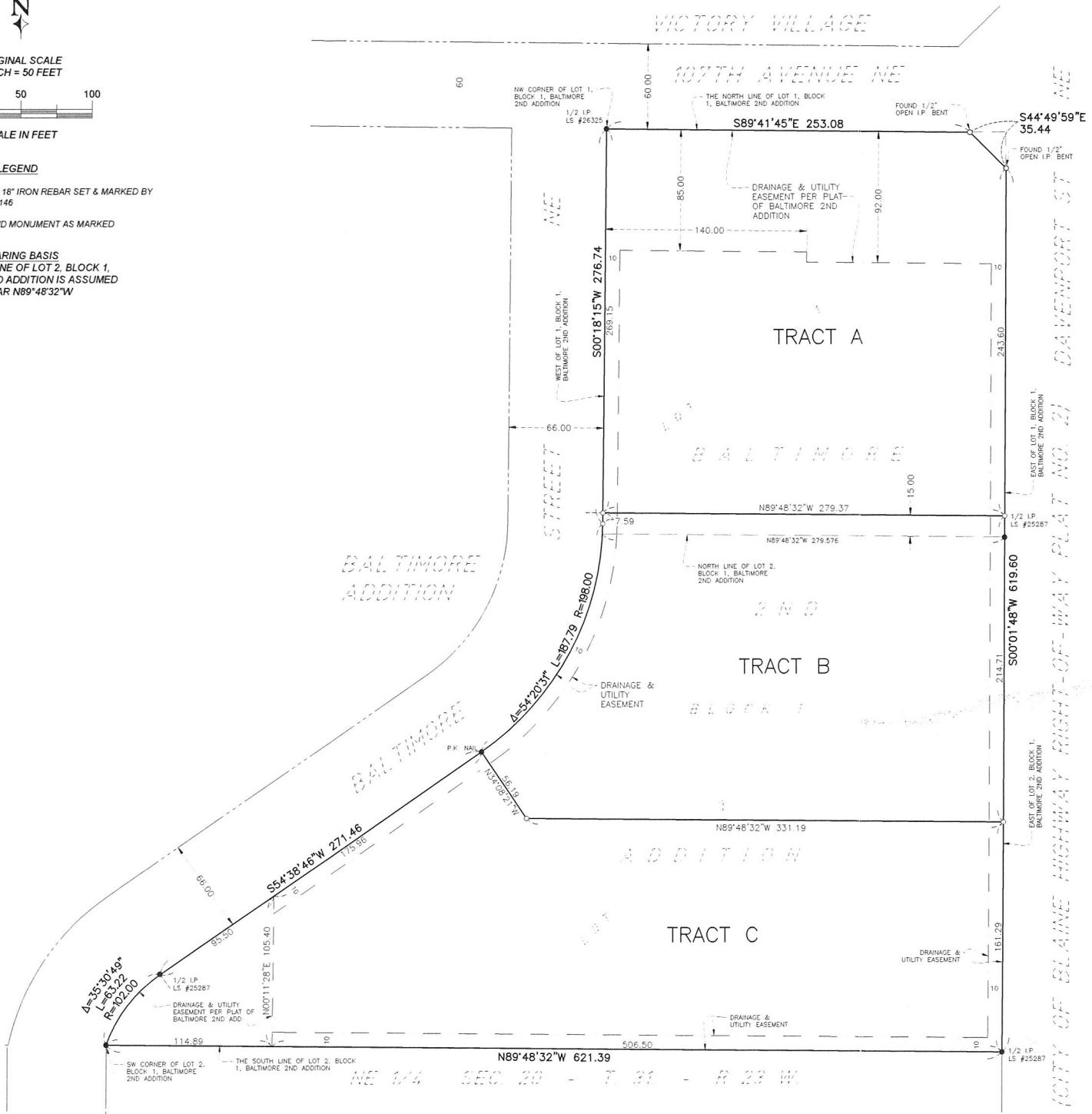
CITY OF BLAINE
COUNTY OF ANOKA
SEC. 20, T. 31. R. 23



LEGEND

- DENOTES 1/2" X 16" IRON REBAR SET & MARKED BY LICENSE NO. 52146
- DENOTES FOUND MONUMENT AS MARKED

BEARING BASIS
THE SOUTH LINE OF LOT 2, BLOCK 1, BALTIMORE 2ND ADDITION IS ASSUMED TO BEAR N89°48'32"W



I, Greg B. Lundquist, hereby certify that, in accordance with the provisions of Minnesota Statutes, Section 508.47, I have surveyed the following described property situated in the County of Anoka, State of Minnesota:

Lot 1 and Lot 2, BALTIMORE 2ND ADDITION.

I hereby certify that this Registered Land Survey was prepared by me or under my direct supervision; that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota and that this Registered Land Survey is a correct representation of said parcel of land.

Dated this _____ day of _____, 20____.

Greg B. Lundquist, Land Surveyor
Minnesota License No. 52146

City Council, City of Blaine, Minnesota

We do hereby certify that on this _____ day of _____, 20____, the City Council of the City of Blaine, Minnesota has approved this Registered Land Survey.

_____, Mayor _____, Clerk

County Surveyor

Pursuant to Minnesota Statutes, Section 389.09, Subd. 1, this Registered Land Survey has been reviewed and approved this _____ day of _____, 20____.

Larry D. Hoium
Anoka County Surveyor

County Auditor/Treasurer

Pursuant to Minnesota Statutes, Section 508.47, Subd. 4, taxes payable in the year 20____ on the land hereinbefore described have been paid. Also, pursuant to Minnesota Statutes, Section 272.12, there are no delinquent taxes and transfer entered this _____ day of _____, 20____.

Property Tax Administrator

By: _____, Deputy

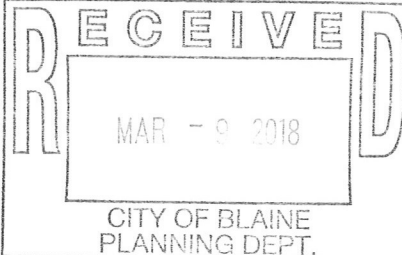
County Recorder/Registrar of Titles

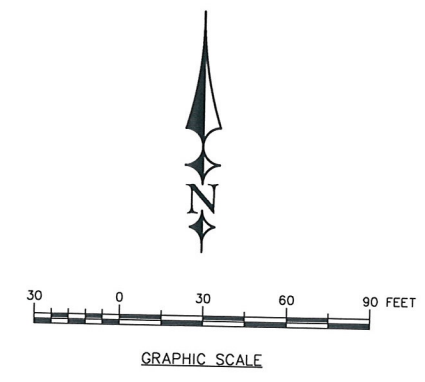
County of Anoka, State of Minnesota

I hereby certify that this Registered Land Survey No. _____ was filed in the office of the County Recorder/Registrar of Titles for public record on this _____ day of _____, 20____, at _____ o'clock _____ M. and was duly recorded as Document Number _____.

County Recorder, Registrar of Titles

By: _____, Deputy.

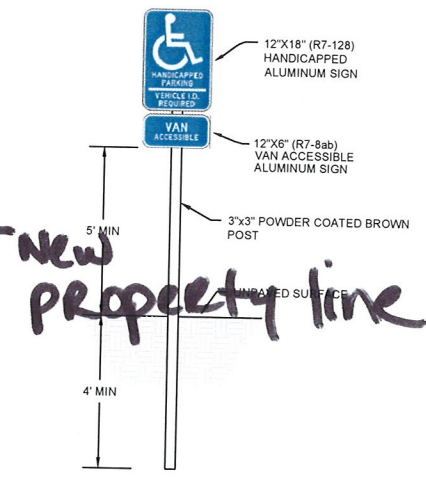




- LEGEND:**
- EXISTING BOUNDARY
 - PROPOSED CONCRETE SIDEWALK/APRON
 - PROPOSED BITUMINOUS PAVEMENT
 - PROPOSED ROCK MULCH AREA
 - PROPOSED LAWN AREA
 - PROPOSED HARDWOOD MULCH OR GARDEN AREA AS NOTED

New property line

Existing lot line



1 ADA SIGN INSTALLATION
NO SCALE

CONSTRUCTION SPECIFICATIONS:

1. THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE PROVISIONS OF FEDERAL, STATE AND LOCAL SAFETY LAWS AND BUILDING CODES. ALL WORKMANSHIP SHALL COMPLY WITH THE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION STANDARDS.
2. ALL FEES AND PERMITS SHALL BE THE RESPONSIBILITY OF THE INSTALLING CONTRACTOR UNLESS NOTED OTHERWISE.
3. THE CONTRACTOR IS RESPONSIBLE FOR PROTECTING EXISTING BUILDING, UTILITIES, WALKS, CURB AND PAVEMENT FROM DAMAGE.
5. THE PORTLAND CEMENT FOR THE CONCRETE PAVEMENT SHALL CONFORM TO ASTM C-150 AND THE AGGREGATE SHALL CONFORM TO ASTM C-33. PLAIN CONCRETE PAVEMENT SHALL BE CONSTRUCTED IN ACCORDANCE WITH MINNESOTA DEPARTMENT OF TRANSPORTATION SPECIFICATIONS. CONCRETE SHALL BE READY MIXED CONCRETE AND SHALL BE A MIX OF PROPORTIONED FINE AND COARSE AGGREGATE WITH PORTLAND CEMENT AND WATER. MINIMUM CEMENT CONTENT SHALL BE 6 BAGS PER CUBIC YARD OF CONCRETE AND MAXIMUM WATER CONTENT SHALL BE 5.5 US GALLONS PER SACK OF CEMENT, INCLUDING MOISTURE IN THE AGGREGATE. SLUMP FOR NORMAL WEIGHT CONCRETE SHALL BE A MAXIMUM OF 4 INCHES AND A MINIMUM OF 2 INCHES. THE SLUMP OF MACHINE PLACED CONCRETE SHALL BE NO LESS THAN 1-1/4 INCH, NO MORE THAN 3 INCHES. STANDARD STRENGTH OF CONCRETE OF 28 DAYS SHALL BE 6,000 PSI FOR THE ENTRANCE APRON AND 4,000 PSI FOR THE SIDEWALKS & CURB. ALL CONCRETE SHALL HAVE AIR ENTRAINMENT OF 6% TO 8% BY VOLUME PER ASTM C-260. RETEMPERING OF DELIVERED CONCRETE WILL NOT BE ALLOWED. MIX DESIGN SHALL BE SUBMITTED TO ENGINEER FOR APPROVAL. FIBER MESH ADDITIVE REQUIRED FOR ALL CONCRETE FLAT WORK.
6. CONTRACTOR SHALL ENSURE THAT SUBBASE FOR SIDEWALKS AND PAVEMENT IS CORRECTLY COMPACTED TO 100% STANDARD PROCTOR. CONTRACTOR RESPONSIBLE FOR TESTING AND REPORTING TEST RESULTS TO ENGINEER.
7. THE CONCRETE PAVEMENT REQUIRES WELDING STEEL WIRE FABRIC CONFORMING TO ASTM A185. THE JOINT FILLER SHALL BE NON-EXTRUDING, PRE MOLDED TYPE MEETING ASTM D-544. CONTRACTION JOINTS SHALL BE 1/4" (MIN. DEPTH OF 1/3 OF SLAB THICKNESS) TOOLED CONTROL JOINTS.
8. IT IS RECOMMENDED THAT THE CONTRACTOR NOTIFY DIGGERS HOT LINE AT 811 AT LEAST 72 HOURS PRIOR TO CONSTRUCTION.
9. THE CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS ASSOCIATED WITH THE PROPOSED WORK (NONE EXPECTED).

KEYED NOTES:

- 1 INSTALL BITUMINOUS PAVEMENT. REFER TO DETAIL 1/C5.
- 2 INSTALL 8612 CONCRETE CURB. REFER TO DETAIL 2/C5.
- 3 CONSTRUCT CONCRETE ADA RAMP. REFER TO DETAIL 5/C5.
- 4 INSTALL 4" CONCRETE SIDEWALK. REFER TO DETAIL 4/C5.
- 5 INSTALL INTEGRAL CURB/SIDEWALK. SEE DETAIL 3/C5.
- 6 INFILTRATION BASIN. SEE SECTION DETAIL ON LANDSCAPE PLAN.
- 7 REPAIR LANDSCAPE AS REQUIRED ALONG ADJOINING EDGE.
- 8 CONSTRUCT CONCRETE ENTRANCE APRON. SEE DETAIL 10/C5.
- 9 6" MIN. TOPSOIL AND SOD TYPE HIGHLAND.
- 10 INSTALL HANDICAP SIGNAGE. SEE DETAIL 1/C2.

LAYOUT NOTES:

- 1) ALL RADII TO FACE OF CURB
- 2) ALL DIMENSIONS TO THE FACE OF CURB UNLESS NOTED OTHERWISE
- 3) PAVEMENT STRIPING TO BE 4" WIDE WHITE EPOXY PAINTED STRIPE.

SURFACE AREA ANALYSIS

TOTAL LOT AREA	= 71,236 Sq. Ft. (+/-)
PROPOSED IMPERVIOUS SURFACE	= 53,029 Sq. Ft. (74.4%)
PROPOSED PERVIOUS SURFACE	= 18,207 Sq. Ft. (25.6%)
EXISTING IMPERVIOUS SURFACE	= 35,100 Sq. Ft. (49.3%)

ERICKSON CIVIL

333 North Main Street, Suite 201
Stillwater, Minnesota 55082
Phone (612) 309-3804

www.ericksoncivilsite.com

DRAWING PHASE:

OWNER REVIEW	
AGENCY REVIEW	<input checked="" type="checkbox"/>
BID DOCUMENT	
PERMIT SET	
CONSTRUCTION SET	

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

TODD A. ERICKSON, PE
40418
LICENSE NO.
07/07/2016
DATE:

OWNER/DEVELOPER
117 HOLDINGS, LLC.

PROJECT TITLE
PROPOSED HOTEL
10643 Baltimore St. NE, Blaine, MN
Blaine, Minnesota, 55449

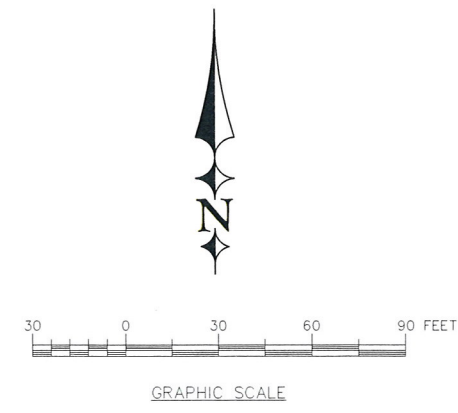
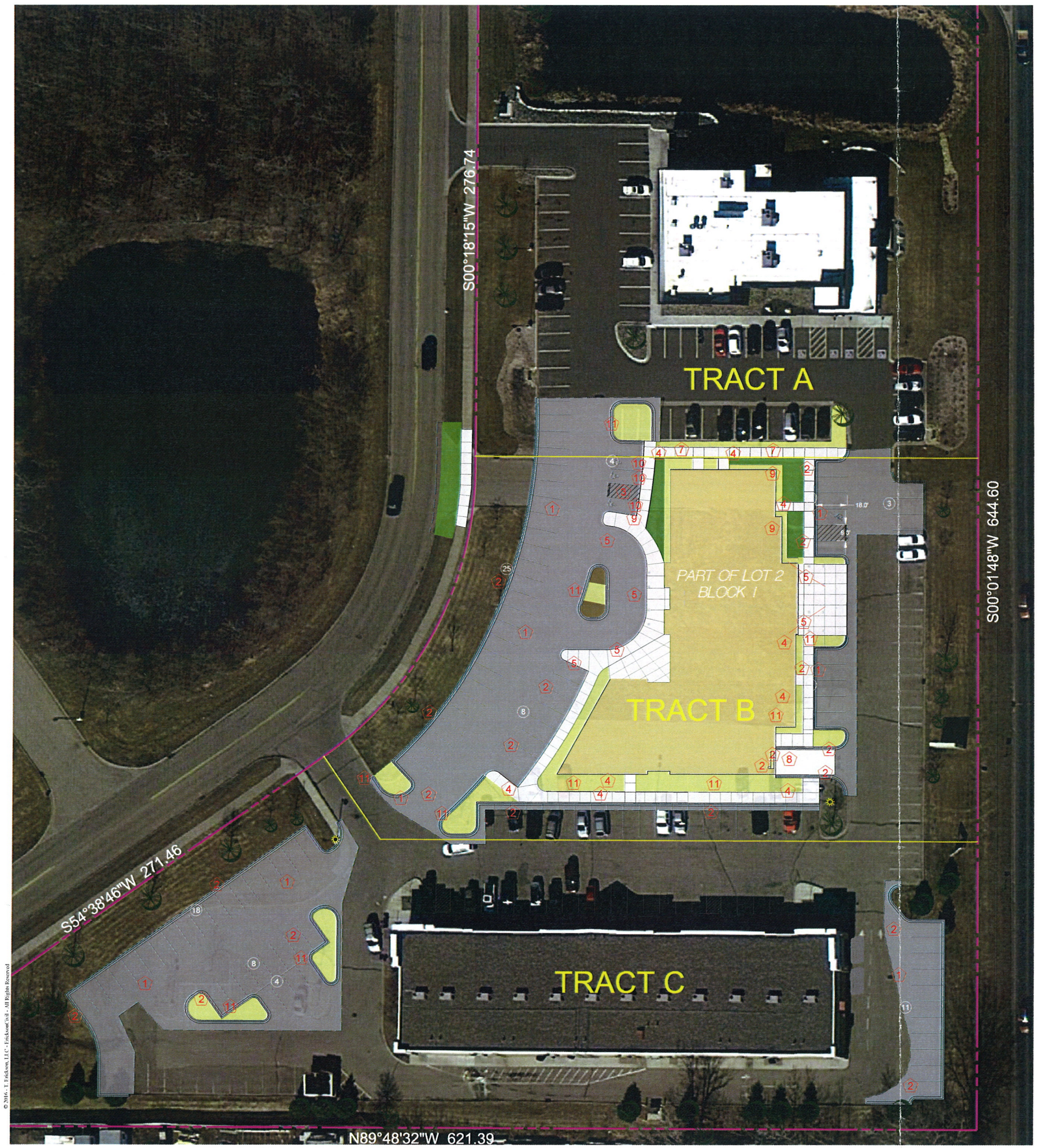
NO.	REVISION DESCRIPTION	DATE

JOB NO. 16-149

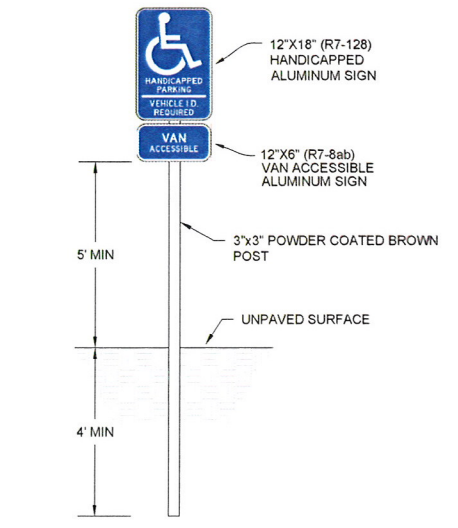
SHEET TITLE
LAYOUT PLAN

SHEET NO.
C2
SHEET 2 OF 6

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- LEGEND:**
- EXISTING BOUNDARY
 - CONSTRUCTED PARKING STALLS = 91 (SEE ARCHITECTURAL FOR OVERALL PARKING PROVIDED FOR SITE) STALLS DEPICTED ARE 9'X18' TYPICAL.
 - PROPOSED CONCRETE SIDEWALK/APRON
 - PROPOSED BITUMINOUS PAVEMENT
 - PROPOSED ROCK MULCH AREA
 - PROPOSED LAWN AREA
 - PROPOSED HARDWOOD MULCH OR GARDEN AREA AS NOTED



1 ADA SIGN INSTALLATION
C2 NO SCALE

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KEYED NOTES:

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- 2 INSTALL B612 CONCRETE CURB REFER TO DETAIL 2/C5
- 3 CONSTRUCT CONCRETE ADA RAMP. REFER TO DETAIL 5/C5
- 4 INSTALL 4" CONCRETE SIDEWALK - 5-FT IN WIDTH FROM BACK OF CURB UNLESS SHOWN OTHERWISE AT MAIN ENTRANCES. REFER TO DETAIL 4/C5
- 5 INSTALL INTEGRAL CURB/SIDEWALK. SEE DETAIL 3/C5
- 6 INFILTRATION BASIN, SEE SECTION DETAIL ON LANDSCAPE PLAN
- 7 REPAIR LANDSCAPE AS REQUIRED ALONG ADJOINING EDGE
- 8 CONSTRUCT CONCRETE ENTRANCE APRON. SEE DETAIL 10/C5
- 9 6" MIN. TOPSOIL AND SOD TYPE HIGHLAND
- 10 INSTALL HANDICAP SIGNAGE SEE DETAIL 1/C2
- 11 INSTALL 4" - 2"-4" RIVER ROCK OVER 6 MIL. BLACK POLY

LAYOUT NOTES:

- 1) ALL RADII TO FACE OF CURB
- 2) ALL DIMENSIONS TO THE FACE OF CURB UNLESS NOTED OTHERWISE.
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 40418
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NO.	DATE	REVISION DESCRIPTION

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LAYOUT PLAN

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C2
 SHEET 2 OF 6

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