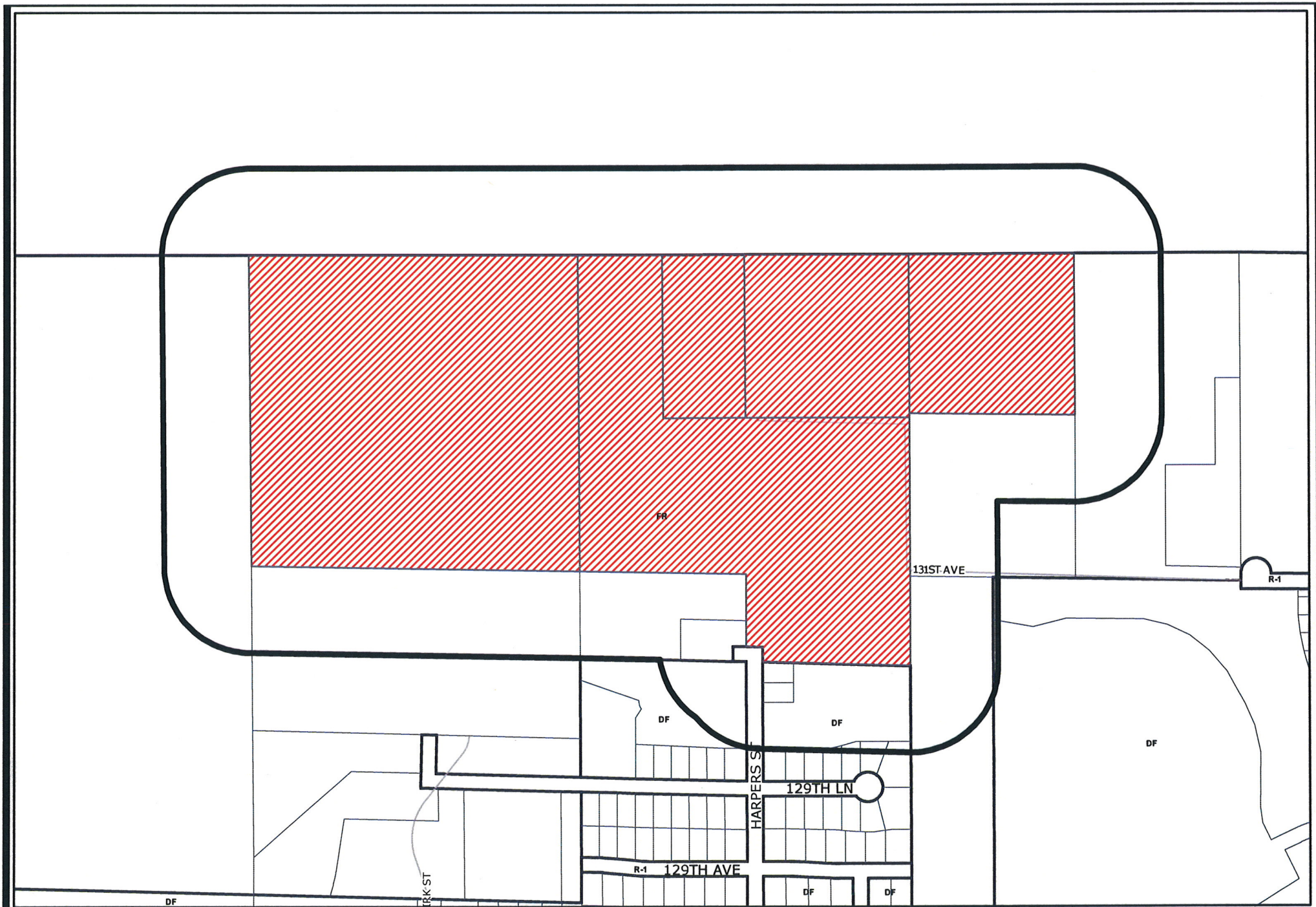




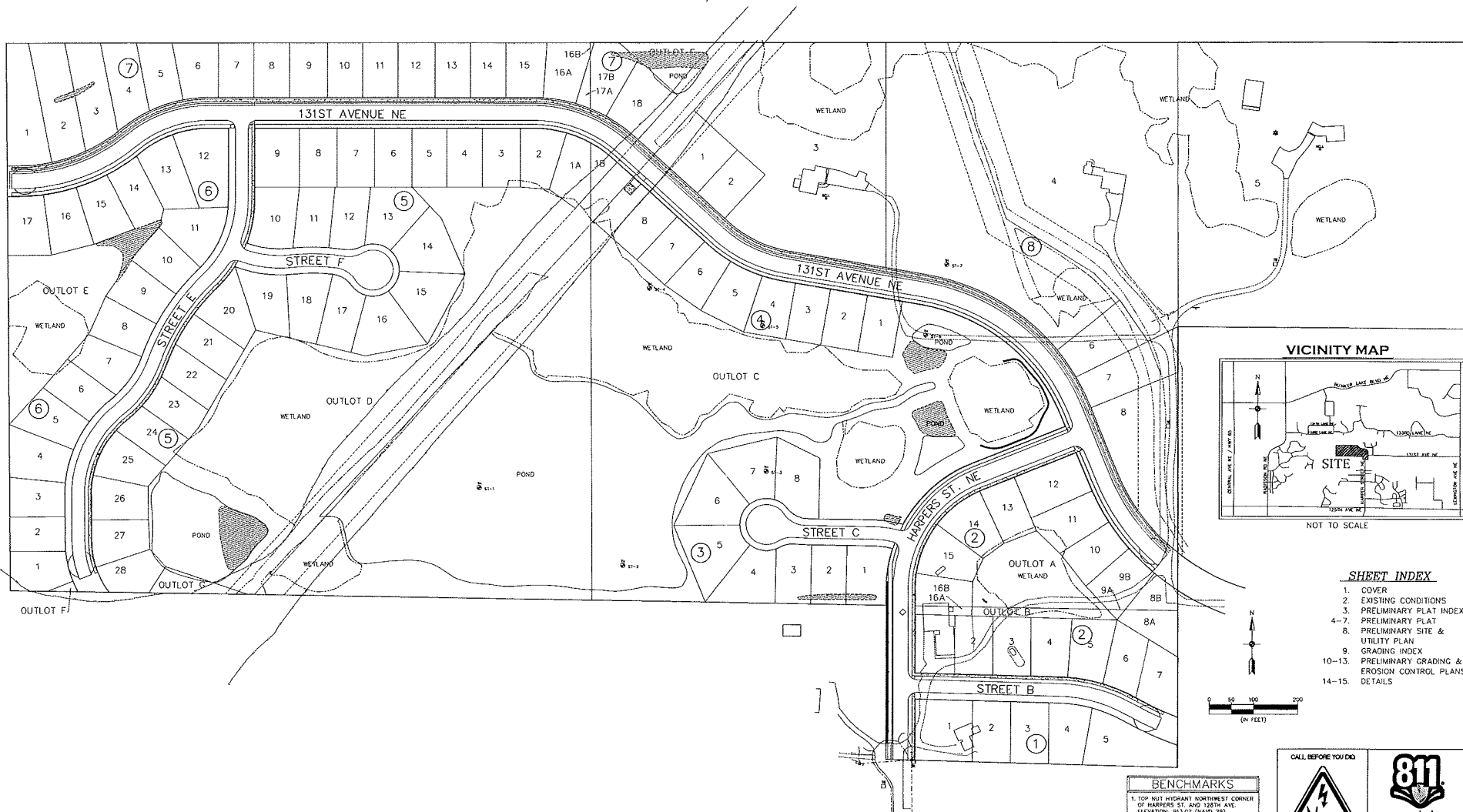
Case File No. 14-0068

Blaine Planning Department / 10801 Town Square Dr NE / Blaine, MN 55449 / (763) 785-6180

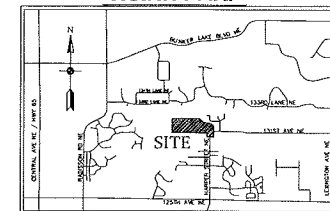


WAGAMON RANCH

BLAINE, MINNESOTA



VICINITY MAP



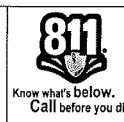
NOT TO SCALE

SHEET INDEX

1. COVER
2. EXISTING CONDITIONS
3. PRELIMINARY PLAT INDEX
- 4-7. PRELIMINARY PLAT
8. PRELIMINARY SITE & UTILITY PLAN
9. GRADING INDEX
- 10-13. PRELIMINARY GRADING & EROSION CONTROL PLANS
- 14-15. DETAILS

BENCHMARKS

1. TOP NUT HYDRANT NORTHEAST CORNER OF HARRIS ST. AND 125TH AVE. ELEVATION: 913.02 (NAVD 29)
2. TOP NUT HYDRANT SOUTHWEST CORNER OF HARRIS ST. AND 125TH AVE. ELEVATION: 910.38 (NAVD 29)



Carlson
McCain

• environmental
• engineering
• surveying

248 Apollo Drive, Suite 100
Lino Lakes, MN 55014
Phone: (763) 459-7900
Fax: (763) 459-7959
www.carlsonmccain.com

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota

Print Name: Brian J. Royston, P.E.
Signature: *Brian J. Royston*
Date: 10/31/14, License #: 25063

Drawn: LC
Designed: BM
Date: 10/31/14

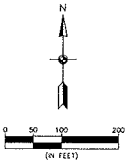
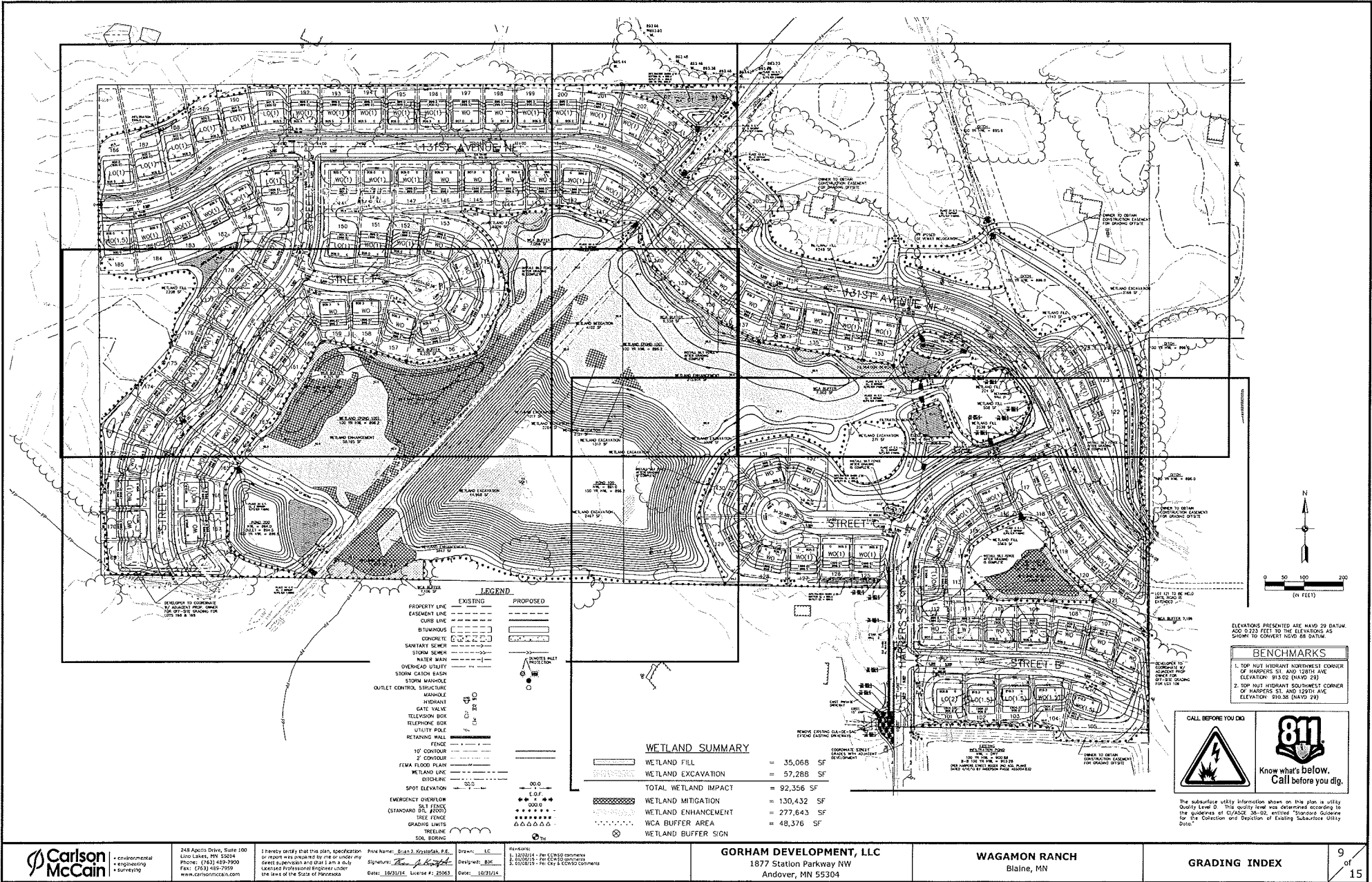
Revisions:
1. 10/31/14 - Per CCWS comments
2. 10/31/14 - Per CCWS comments
3. 10/31/14 - Revised Sheet 3-13 & 15 Per City & CCWS comments

GORHAM DEVELOPMENT, LLC
1877 Station Parkway NW
Andover, MN 55304

WAGAMON RANCH
Blaine, MN

COVER SHEET

1 of 15



ELEVATIONS PRESENTED ARE NAVD 29 DATUM.
ADD 0.223 FEET TO THE ELEVATIONS AS
SHOWN TO CONVERT NAVD 88 DATUM.

BENCHMARKS

1. TOP HUT HYDRANT NORTHWEST CORNER
OF HARRISON ST. AND 12TH AVE.
ELEVATION: 913.02 (NAVD 29)

2. TOP HUT HYDRANT SOUTHWEST CORNER
OF HARRISON ST. AND 12TH AVE.
ELEVATION: 910.36 (NAVD 29)

CALL BEFORE YOU DIG

The subsurface utility information shown on this plan is utility
Quality Level D. This quality level was determined according to
the guidelines of SD/AGCE 20-02, entitled "Standards Guidelines
for the Collection and Depiction of Existing Subsurface Utility
Data."

- LEGEND**
- | | |
|------------------------------|----------------------------------|
| EXISTING | PROPOSED |
| PROPERTY LINE | --- EASEMENT LINE |
| --- CURB LINE | --- STORMWATER |
| --- EASEMENT | --- SANITARY SEWER |
| --- WATER MAIN | --- OVERHEAD UTILITY |
| --- STORM CATCH BASIN | --- STORM MANHOLE |
| --- OUTLET CONTROL STRUCTURE | --- MANHOLE |
| --- HYDRANT | --- GATE VALVE |
| --- TELEPHONE BOX | --- TELEPHONE BOX |
| --- UTILITY POLE | --- RETAINING WALL |
| --- FENCE | --- 10' CONTOUR |
| --- 2' CONTOUR | --- FEMA FLOOD PLAIN |
| --- WETLAND LINE | --- ETOC/ERC |
| --- SPOT ELEVATION | --- ELEVATION |
| --- EMERGENCY OVERFLOW | --- 6" FENCE (STANDARD DIT #200) |
| --- TREE FENCE | --- GRADING LIMITS |
| --- TREELINE | --- SOIL BORING |

WETLAND SUMMARY

WETLAND FILL	= 35,068 SF
WETLAND EXCAVATION	= 57,288 SF
TOTAL WETLAND IMPACT	= 92,356 SF
WETLAND MITIGATION	= 130,432 SF
WETLAND ENHANCEMENT	= 277,643 SF
WCA BUFFER AREA	= 48,376 SF
WETLAND BUFFER SIGN	



248 Apollo Drive, Suite 100
Lino Lakes, MN 55014
Phone: (763) 489-7900
Fax: (763) 489-7909
www.carlsonmccain.com

I hereby certify that this plan, specification
or report was prepared by me or under my
direct supervision and that I am a duly
Licensed Professional Engineer under
the laws of the State of Minnesota

Drawn: LC
Design: BM
Check: 10/23/24

Revised:
1. 10/23/24 - Per CWSO comments
2. 10/23/24 - Per CWSO comments
3. 10/23/24 - Per City & CWSO comments

GORHAM DEVELOPMENT, LLC
1877 Station Parkway NW
Andover, MN 55304

WAGAMON RANCH
Blaine, MN

GRADING INDEX

WETLAND (POND 100)
100 YR. H.W. = 896.2

131ST AVENUE NE

STREET E

STREET F

174 175 176 177 178 179 180 181 182 183 184 185 186 187 188 189 190 191 192 193 194 195

156 157 158 159 160 161 162 163 164 165 166 167 168 169 170 171 172 173

0 100 200 300 400 500 600 700 800 900 1000

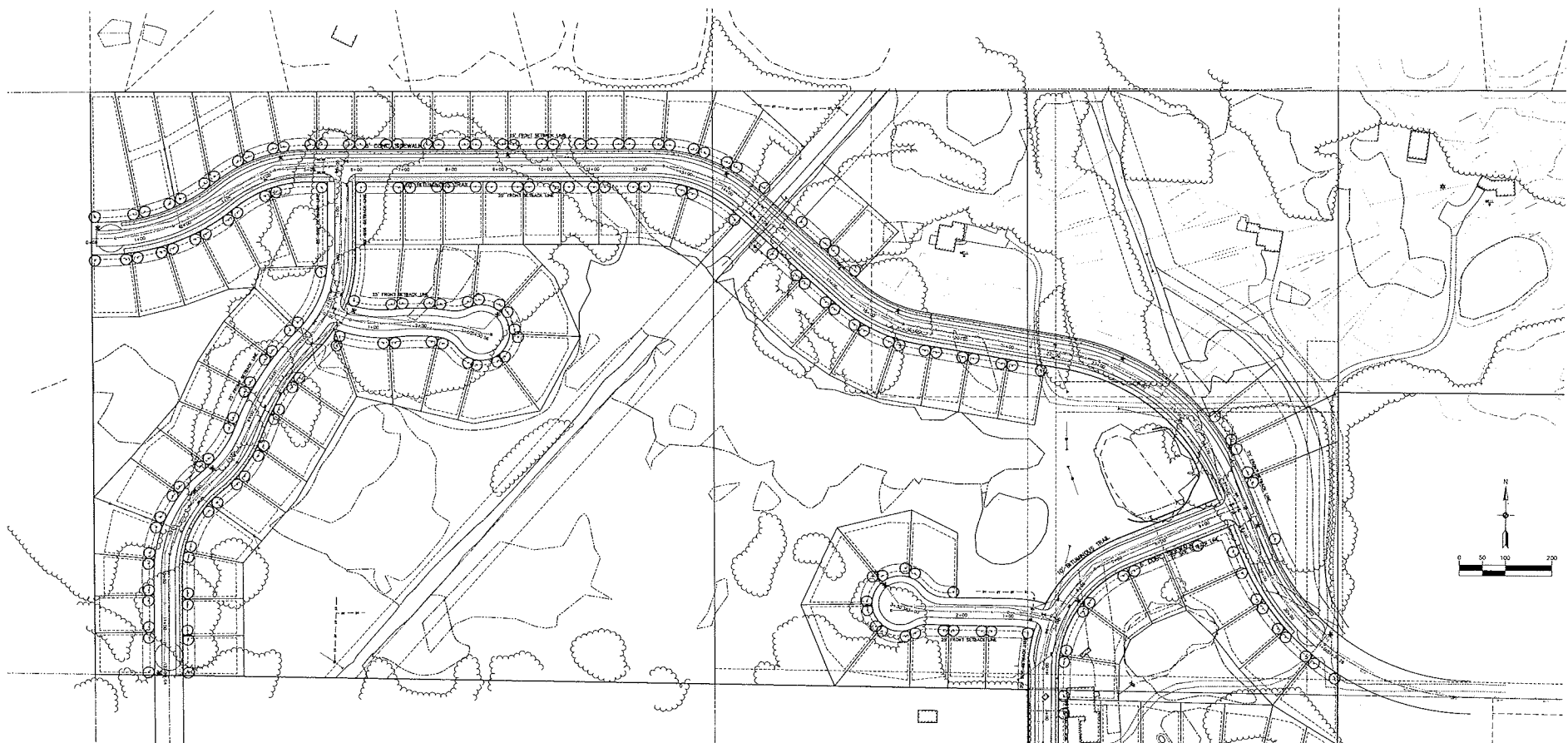
0 25 50 75 100

■ EXISTING TREE
 X TO BE REMOVED
 ■ ■ ■ ■ ■ TREE SURVEY LIMITS

APPROXIMATE LIMITS
OF TREE INVENTORY

SCALE 1" = 300'

[illegible]



LANDSCAPE NOTES

- HEAVY COMMERCIAL GRADE POLY EDGER SHALL BE USED AROUND THE PERIMETER OF LANDSCAPE BEDS NOTED ON PLAN.
- REFER TO DETAIL SHEET L2 FOR GENERAL NOTES, PLANTING SPECIFICATIONS, PLANTING NOTES, IRRIGATION NOTES, AND PLANTING DETAILS.
- REFER TO GRADING PLAN FOR GRADES AND EROSION CONTROL.
- ALL TREES MUST BE BALLED AND BURLAP OR TRANSPLANTED MATERIAL USING A 48 INCH TREE SPRADE.
- ALL DECIDUOUS TREES MUST HAVE A MINIMUM CALIPER OF 2.5" MEASURED AT 6 INCHES ABOVE THE ROOT BALL. EVERGREENS MUST BE AT LEAST 6 FEET IN HEIGHT.
- PLANTING LOCATION: A MINIMUM OF TWO FRONT YARD TREES IS REQUIRED FOR MOST ZONING DISTRICTS. ONE OF THE TWO FRONT YARD TREES IS REQUIRED TO BE PLANTED IN THE BOULEVARD. LOCATIONS SHOWN ON PLAN ARE FOR REPRESENTATION PURPOSES ONLY.
- ORNAMENTAL TREES DO NOT MEET LANDSCAPING REQUIREMENTS.
- REMOVE ANY BURLAP, TWINE, ROPES AND/OR WIRING FROM THE TOP AND SIDES OF ROOTBALL FOR ALL BALLED AND BURLAPPED PLANTS.
- REMOVE CONTAINERS AND CUT CIRCULING ROOTS IF PLANTS ARE CONTAINER GROWN.
- ALL PLANTINGS SHALL RECEIVE FERTILIZER AS FOLLOWS:
Ø 20-20 GRANULAR FERTILIZER APPLIED AT THE TIME OF PLANTING AT A RATE OF 12 OZ PER 2.5" CALIPER INCHES OF TREE AND 6 OZ PER SHRUB.

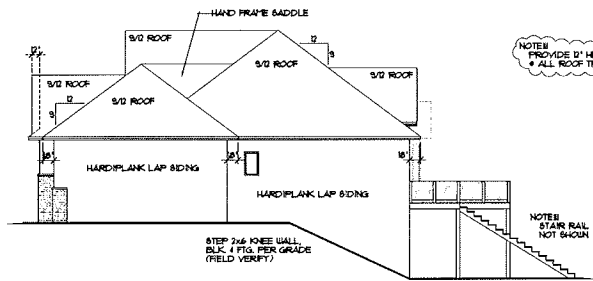
SUGGESTED PLANT LIST

PLANT CODE	QTY	COMMON NAME/LATIN	SIZE	ROOT	REMARKS
A	20	REDWOOD	2.5"	B1B	STRAIGHT LEADER
B	26	CHRYSA VIRONIANA	CAL	AND FULL CROWN	
C	26	AMERICAN LINDEN	2.5"	B1B	STRAIGHT LEADER
D	26	TELA AMERICANA	CAL	AND FULL CROWN	
E	26	SHADBLASTER HONEYLOCUST	2.5"	B1B	STRAIGHT LEADER
F	26	GLIOSTIMA TRICANTHOS VAR. SERPES SHADBLASTER	CAL	AND FULL CROWN	
G	26	PRINCETON GOLD MAPLE	2.5"	B1B	STRAIGHT LEADER
H	26	ACER PLATYCARPUS PRINCETON GOLD	CAL	AND FULL CROWN	
I	26	NORTHERN PIN OAK	2.5"	B1B	STRAIGHT LEADER
J	26	QUERCUS ELLIPPTICA	CAL	AND FULL CROWN	
K	26	ACER BLAZE MAPLE	2.5"	B1B	STRAIGHT LEADER
L	26	ACER FREEYMANI AUTUMN BLAZE	CAL	AND FULL CROWN	
M	26	NORTHWOODS RED MAPLE	2.5"	B1B	STRAIGHT LEADER
N	26	ACER RUBRUM NORTHWOODS	CAL	AND FULL CROWN	
O	26	BLUE BEECH	2.5"	B1B	STRAIGHT LEADER
P	26	CARPINUS CAROLINIANA	CAL	AND FULL CROWN	

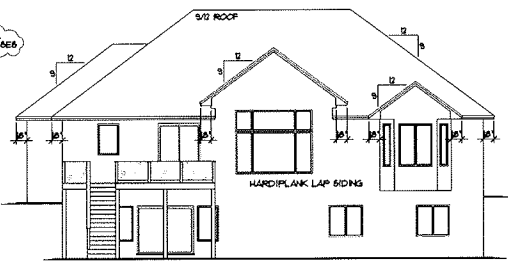
QUANTITIES SHOWN IN THE PLANTING SCHEDULE ARE FOR THE CONTRACTOR'S CONVENIENCE. CONTRACTOR TO VERIFY QUANTITIES SHOWN ON THE PLAN.

LANDSCAPE SYMBOLS

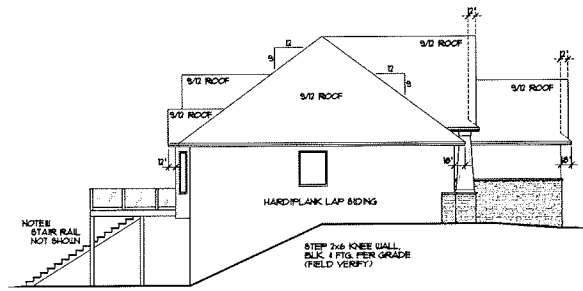
OVERSTORY TREE



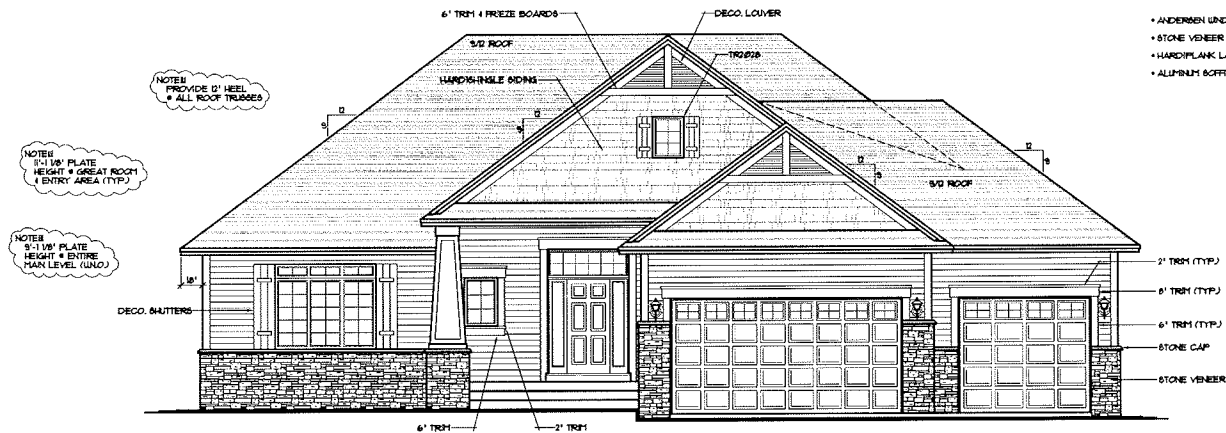
RIGHT ELEVATION 1/8"=1'-0"



REAR ELEVATION 1/8"=1'-0"



LEFT ELEVATION 1/8"=1'-0"



FRONT ELEVATION 1/4"=1'-0"

1858 SQFT. MAIN LEVEL
1361 SQFT. BASEMENT (FINISHED AREAS)
3219 SQFT. TOTAL FINISHED

NOTE:
DROP GARAGE (1 COURSE)
POUR GARAGE SLAB ON
TOP OF 1st COURSE &
(1 COURSE BASEMENT AREA)

- ANDERSEN WINDOWS SPEC'D.
- STONE VENEER WHERE SHOWN
- HARDPLANK LAP SIDING
- ALUMINUM BOFFITS & FASCIA

1954 JAMESTOWN STREET NE
LOT 25, BLOCK 21, THE LAKES OF RADISSON 28th ADD.
BLAINE MN

© COPYRIGHT 2010-2011 NOTICE, ALL RIGHTS RESERVED
CROIX DESIGN AND DRAFTING, INC.

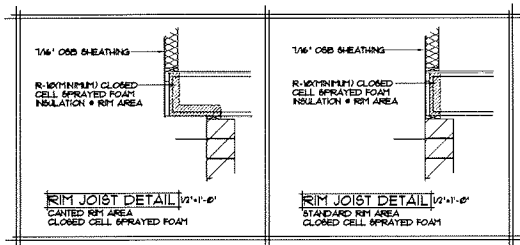
DATE	12/16
BY	NF
CHECKED	
DATE	
BY	
CHECKED	
DATE	
BY	

SPECIAL NOTICE:
THIS SET OF ARCHITECTURAL DRAWINGS IS THE PROPERTY OF CROIX DESIGN AND DRAFTING, INC. AND IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. IT IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF CROIX DESIGN AND DRAFTING, INC.

CROIX DESIGN AND DRAFTING, INC.
ARCHITECTURAL SERVICES
1954 JAMESTOWN STREET NE
LOT 25, BLOCK 21, THE LAKES OF RADISSON 28th ADD.
BLAINE MN 55616
PHONE: (763) 777-2997 • FAX: (763) 777-2584
WWW.CROIXDESIGN.COM

GORHAM
CUSTOM HOMES, LLC
1954 JAMESTOWN STREET
LOT 25, BLOCK 21, THE LAKES OF RADISSON 28th ADD.
BLAINE MN 55616
PHONE: (763) 777-2997 • FAX: (763) 777-2584
WWW.GORHAMHOMES.COM

DRAWN	NF
CHECKED	XX
DATE	12/16/2011
BY	AS NOTED
CHECKED	1/15/12
DATE	
BY	
CHECKED	
DATE	
BY	



**WINDOW and DOOR PERFORMANCE DATA
U-VALUE / SHGC / STC**

① CASHEMERE WINDOW UNIT U-VALUE: 0.28 SHGC: 0.32 STC: 28
② PICTURE UNIT (FIXED) U-VALUE: 0.21 SHGC: 0.34 STC: 29
③ GLIDING PATIO DOOR U-VALUE: 0.30 SHGC: 0.21 STC: 31
④ FRONT DOOR with SIDE LITE U-VALUE: 0.21 SHGC: 0.34 STC: 29

NOTE: SEE PASSIVE RADON MITIGATION SYSTEM DETAIL (SHEET 40) FOR RUM BASKET & DRAIN TILE DETAILS

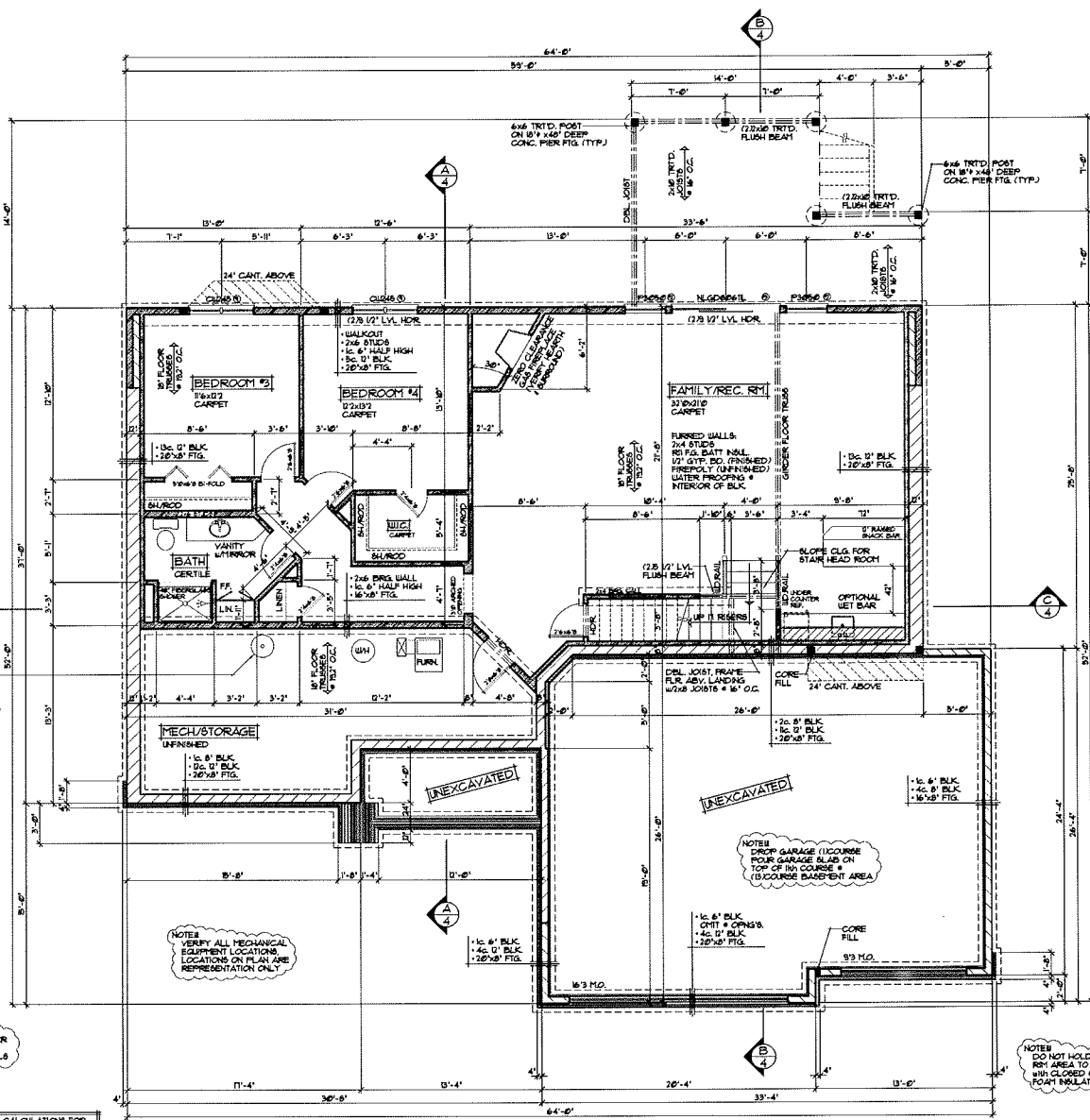
NOTE: 13 COURSE BATT (TYP.)

NOTE: PROVIDE CORE FILL & 3'-4" O.C. (TYP.) & 13 COURSE FID.

NOTE: SOLID CAP BLOCK & TOP COURSE 1 GROUT SOLID LERE ANCHOR BOLTS ARE USED 4 BRICK LEDGES

NOTE: INSULATION & AIR BARRIER TO BE CONTINUOUS OVER TOP OF FOUNDATION WALLS (TYP.)

ALL HEIGHT CALCULATIONS FOR FOUNDATIONS ARE BASED ON THE USE OF FULL 8" HIGH BLOCK WITH 3/8" JOISTS. IF MODULAR BLOCK IS USED, CONTRACTORS SHOULD ADJUST HEIGHTS ACCORDINGLY



NOTE: ALL WINDOW OPENINGS TO HAVE (2)X6" 2" GRADE HDR. OR BETTER (UND.)

NOTE: ANCHOR UNDOOR SPEED, VERIFY R.C.T. WITH SUPPLIER (TYP.)

[illegible]

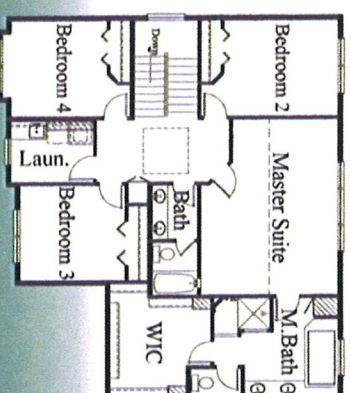
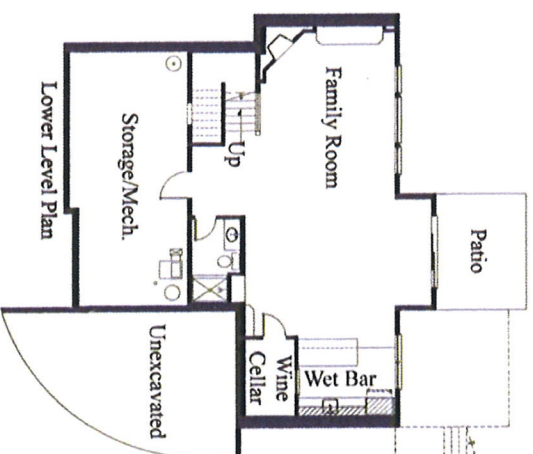
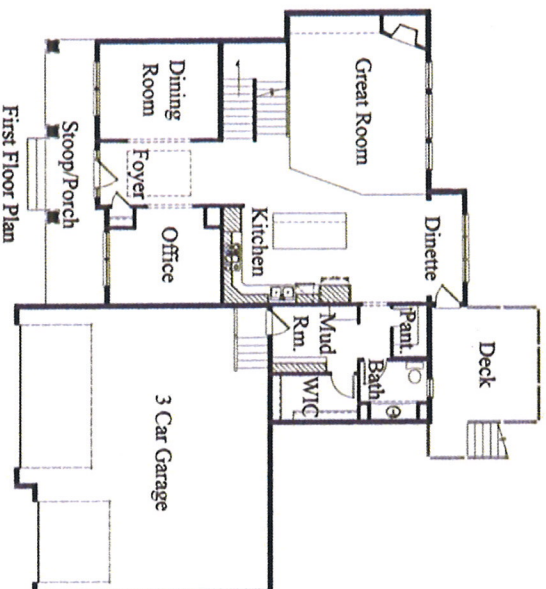
NOTES:
ANDERSEN WINDOWS
SPEC'D. VERIFY R.O.*
WITH SUPPL. (ERTYP)











1433 Sq. Ft. First Floor
 1445 Sq. Ft. Second Floor
 2878 Sq. Ft. Total Above Grade

1096 Sq. Ft. Finished Lower Level
 3974 Sq. Ft. Total Finished