

Case File No. 16-0007

Blaine Planning Department / 10801 Town Square Dr NE / Blaine, MN 55449 / (763) 785-6180



REGISTERED LAND SURVEY NO. _____

CITY OF BLAINE
COUNTY OF ANOKA
SEC. 20, T. 31, R 23

I, Daniel W. Obermiller, hereby certify that, in accordance with the provisions of Minnesota Statutes, Section 508.47, I have surveyed the following described property situated in the County of Anoka, State of Minnesota:

Lot 1, Block 1, VICTORY VILLAGE 5TH ADDITION, Anoka County, Minnesota.

I hereby certify that this Registered Land Survey was prepared by me or under my direct supervision; that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota and that this Registered Land Survey is a correct representation of said parcel of land. Dated this ____ day of _____, 20____

Daniel W. Obermiller, Licensed Land Surveyor
Minnesota License No. 25341

CITY COUNCIL, CITY OF BLAINE, MINNESOTA

We do hereby certify that on the ____ day of _____, 20____, the City Council of the City of Blaine, Minnesota, has approved this Registered Land Survey.

_____, Mayor _____ Clerk

ANOKA COUNTY SURVEYOR

Pursuant to Minnesota Statutes, Section 389.09, Subd. 1, this Registered Land Survey has been reviewed and approved this ____ day of _____, 20____

Larry D. Holm, Anoka County Surveyor

COUNTY AUDITOR/TREASURER

Pursuant to Minnesota Statutes, Section 508.47, Subd. 4, taxes payable in the year 20____ on the land hereinbefore described have been paid. Also, pursuant to Minnesota Statutes, Section 272.12, there are no delinquent taxes and transfer entered this ____ day of _____, 20____

Property Tax Administrator

By _____ Deputy

COUNTY RECORDER/REGISTRAR OF TITLES

COUNTY OF ANOKA, STATE OF MINNESOTA

I hereby certify that this REGISTERED LAND SURVEY NO. _____ was filed in the office of the County Recorder/Registrar of Titles for public record on this ____ day of _____, 20____ at ____ o'clock ____M. and was duly recorded in Book _____ Page _____ as Document Number _____

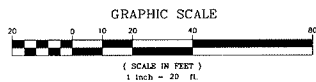
County Recorder/Registrar of Titles

By _____ Deputy

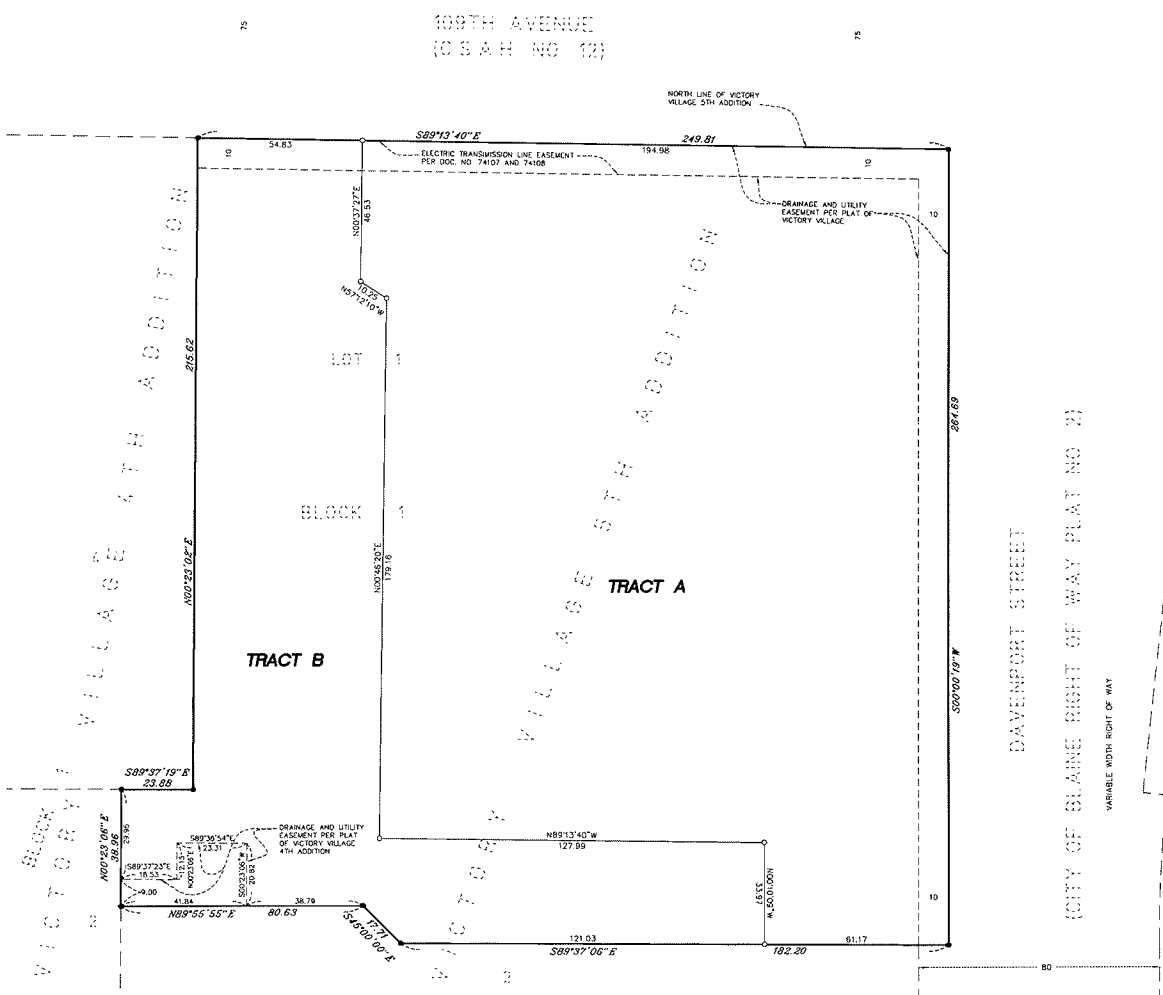
LEGEND

- DENOTES 1/2 INCH BY 18 INCH IRON MONUMENT SET MARKED BY RLS NO. 25341
- DENOTES IRON MONUMENT FOUND AS LABELED

For the purposes of this Registered Land Survey the north line of Lot 1, Block 1, VICTORY VILLAGE 5TH ADDITION is assumed to have a bearing of South 89 degrees 13 minutes 40 seconds East



NORTH

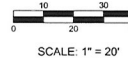
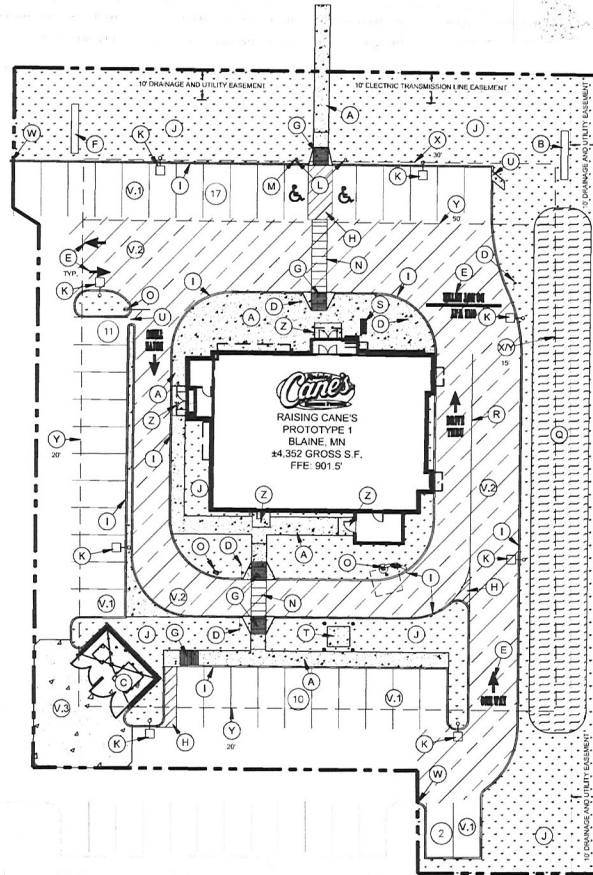


E. G. RUD & SONS, INC.
Professional Land Surveyors

K:\TWC_DEVELOPMENT\RAISING CANE'S\BLAINE, MN\3_Design\CAD\PlanSheets\C-200 SITE PLAN.dwg January 28, 2016 5:59pm

This document, together with the contracts and design presentation herein, is an instrument of service. It is intended only for the specific purpose and client for which it was prepared. There is no warranty, express or implied, made by the drafter or the drafter's firm, in connection with this document, without liability to the drafter and drafter's firm.

109TH AVENUE NE
(C.SAH 12)



SITE ANALYSIS TABLE	
LOT 1 BLOCK 1 VICTORY VILLAGE 5TH ADDITION	
EXISTING ZONING	PLANNED BUSINESS DISTRICT
PROPOSED USE	RESTAURANT W/ DRIVE-THRU
LOT AREA	45,738 SF (1.06 AC)
BUILDING AREA	4,352 SF (9.5%)
SITE AREA	EXISTING PROPOSED
IMPERVIOUS (EXC. BLDG)	40,113 SF 79.13% SF (86.0%)
PERVIOUS	41,905 SF 816,201 SF (20.5%)
TOTAL PARKING	PROVIDED 16,000 SPD
ACCESSIBLE	40 SPACES 38 SPACES
STACKING	10 SPACES NONE LISTED
PARKING REQUIRED FOR DRIVE-THRU RESTAURANT IS GREATER OF 1 SPACE PER 100 SQ FT OF FLOOR AREA EXCLUSIVE OF UTILITY ROOMS. CALCULATION BASED ON 3,917 SF USABLE BUILDING AREA.	

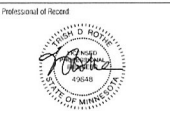
KEYNOTE LEGEND	
(A)	CONCRETE SIDEWALK. SEE DETAIL SHEET.
(B)	GENERAL LOCATION OF RELOCATED TARGET MONUMENT SIGN. REFERENCE ARCH PLANS.
(C)	DUMPSTER LOCATION. REFERENCE ARCH PLANS FOR DETAILS OF SCHEDING, GATTS, BOL LARDS AND MASONRY.
(D)	SITE DIRECTIONAL SIGN. SEE STRIPING AND SIGNAGE PLAN FOR TYPE.
(E)	DIRECTIONAL PAVEMENT MARKING. SEE DETAIL SHEET.
(F)	GENERAL LOCATION OF PROPOSED MONUMENT SIGN. REFERENCE ARCH PLANS.
(G)	ADA CURB RAMP. SEE DETAIL SHEET.
(H)	AREA STRIPPED WITH 4" SWIS @ 45° D.O.C.
(I)	8"12 CURB. SEE DETAIL SHEET.
(J)	LANDSCAPE AREA. REFERENCE LANDSCAPE PLANS.
(K)	SITE LIGHTING. REFERENCE ARCH/ELECTRICAL PLANS FOR DETAILS.
(L)	ACCESSIBLE PARKING SIGN. SEE DETAIL SHEET.
(M)	ACCESSIBLE VAN PARKING SIGN. SEE DETAIL SHEET.
(N)	CROSSWALK MARKING. SEE STRIPING AND SIGNAGE PLAN FOR DETAILS.
(O)	DRIVE THRU MENU BOARD OR HEIGHT DETECTOR. REFERENCE ARCH PLANS FOR DETAILS.
(P)	NOT USED.
(Q)	INFILTRATION SWALE.
(R)	4" YELLOW PAVEMENT STRIPING.
(S)	BIKE RACK. REFERENCE ARCH PLANS. BIKE RACK SLAS TO BE STANDARD DUTY SIDEWALK CONCRETE.
(T)	TRANSFORMER PAD. SEE SHEET C201 FOR SIZING.
(U)	CURB CUT.
(V)	PAVEMENT. SEE SITE LEGEND.
(W)	EXISTING EDGE OF PAVEMENT / CURB & GUTTER TO REMAIN.
(X)	LANDSCAPE SETBACK.
(Y)	BUILDING SETBACK.
(Z)	STRUCTURAL STOOD. REFERENCE STRUCTURAL PLANS.

SITE LEGEND	
	PROPERTY LINE
	SETBACK LINE
	PROPOSED CURB AND GUTTER
	PROPOSED CURB AND GUTTER
	STANDARD DUTY ASPHALT PAVEMENT
	HEAVY DUTY ASPHALT PAVEMENT
	DUMPSTER PAD CONCRETE PAVEMENT
	STANDARD DUTY CONCRETE FOR SIDEWALKS
	PROPOSED STORMWATER MANAGEMENT AREA
	LANDSCAPED AREA
	PROPOSED PARKING COUNT

- ### SITE NOTES
1. ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY/COUNTY REGULATIONS AND CODES AND U.S.A.A. STANDARDS.
 2. CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR EXACT LOCATION AND DIMENSIONS OF ALL UTILITIES, SLOPE PAVING, SIDEWALKS, EXIT PORCHES, TRUCK DOCKS, PAVED ROADWAY DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
 3. ALL DISTURBED AREAS ARE TO RECEIVE FOUR INCHES OF TOPSOIL, SEED, MULCH AND WATER UNTIL A HEALTHY STAND OF GRASS IS ESTABLISHED.
 4. ALL INNER CURBED RADII ARE TO BE 3' AND OUTER CURBED RADII ARE TO BE 10' UNLESS OTHERWISE NOTED. STRIPPED RADII ARE TO BE 5'.
 5. ALL DIMENSIONS AND RADII ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
 6. EXISTING STRUCTURALS WITHIN CONSTRUCTION LIMITS ARE TO BE ABANDONED, REMOVED OR RELOCATED AS NECESSARY. ALL COST SHALL BE INCLUDED IN BASE BID.
 7. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, UNLESS OTHERWISE NOTED ON PLANS INCLUDING BUT NOT LIMITED TO ALL UTILITIES, STORM DRAINAGE, SIGNALS, TRAFFIC SIGNALS & POLES, ETC. AS REQUIRED. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES REQUIREMENTS AND PROJECT SITE WORK SPECIFICATIONS AND SHALL BE APPROVED BY SUCH. ALL COST SHALL BE INCLUDED IN BASE BID.
 8. NO PROPOSED LANDSCAPING SUCH AS TREES OR SHRUBS, ABOVE AND UNDERGROUND STRUCTURES OR OTHER OBSTRUCTIONS SHALL BE LOCATED WITHIN EXISTING OR PROPOSED UTILITY EASEMENTS AND RIGHTS OF WAY.
 9. SITE BOUNDARY TOPOGRAPHY, UTILITY AND ROAD INFORMATION SHALL BE FROM A SURVEY BY E.L. RUIZ & SONS, INC. DATED 12/12/01.
 10. TOTAL LAND AREA IS 1.06 ACRES.
 11. CONTRACTOR SHALL REFERENCE ARCH MEP PLANS FOR SITE LIGHTING & ELECTRICAL PLAN.
 12. REFERENCE ARCHITECTURAL PLANS FOR DUMPSTER ENCLOSURE DETAILS.



RAISING CANE'S
1560 109TH AVENUE
BLAINE, MN 55014
PROTOTYPE 1
STORE #251



Kimley-Horn
2550 UNIVERSITY AVE. WEST SUITE 235N
ST. PAUL, MINNESOTA 55114
TEL. NO. (651) 644-1917
FAX NO. (651) 644-1914

CSRS
IMAGINE SHAPE DELIVER

6767 Perkin's Road Suite 200 Baton Rouge, LA 70808
Telephone: 225 769-5916 Fax: 225 767-0060
www.csrsonline.com

Set Control Information (ARCH use only)

Date:	Description:

FOR PERMIT

Sheet Revision:	#	Date:	Description:

SITE PLAN

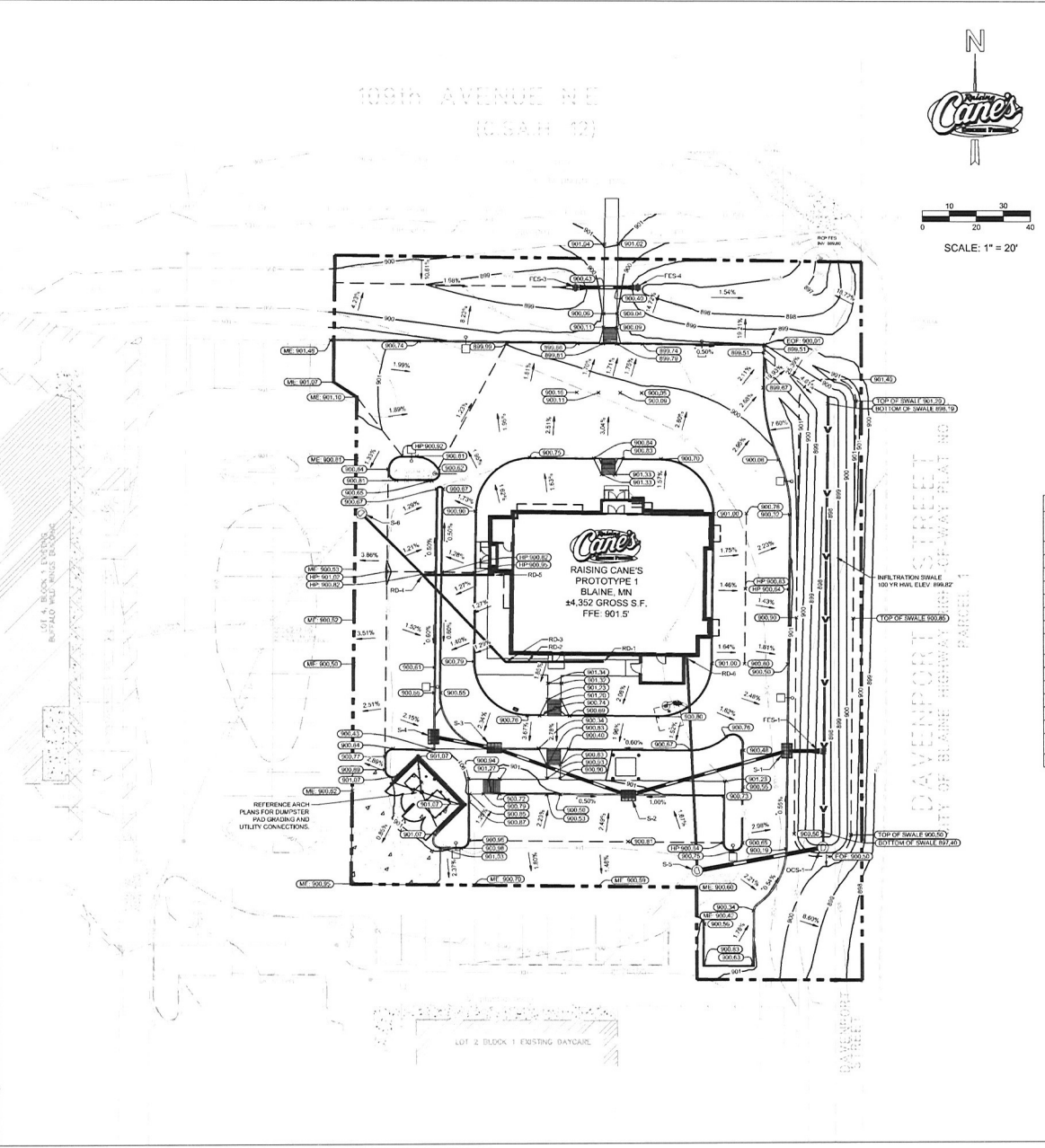
Date:	1/26/2016
Project Number:	1607-0003
Drawn by:	JSA
Sheet Number:	C-200

BENCHMARK LIST
VERTICAL DATUM NAD83
BM TRAVELING POINT IN NE PARKING AREA
N: 14460.000 E: 91230.201 ELEVATION = 996.69
BM TOP NUT OF HYDRANT NEAR SOUTHWEST CORNER
N: 14152.000 E: 90979.786 ELEVATION = 995.16

CAUTION!!
ALL CONTRACTORS MUST CONTACT
GOPHER STATE CALL ONE
MINN TOLL FREE 1-800-252-1166
BEFORE CONSTRUCTION BEGINS
TWIN CITY AREA 651-454-0002

CONTRACTOR IS TO VERIFY PRESENCE AND EXACT LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION. NOTIFY GSC IMMEDIATELY IF DISCREPANCIES EXIST.

K:\TWC_DEV\RAISING CANE'S (BLAINE, MN)\3 Design\CAD\PlanSheets\C-300 GRADING & DRAINAGE PLAN.dwg January 28, 2016 5:40pm
 This document, together with the contracts and design information herein, is an instrument of service, as an instrument of service, is intended only for the specific purpose and client for which it was prepared. There is no other purpose or intent for which it was prepared. There is no other purpose or intent for which it was prepared. There is no other purpose or intent for which it was prepared. There is no other purpose or intent for which it was prepared.



GRADING LEGEND

- EXISTING STORM SEWER
- - - - - EXISTING CONTOUR
- PROPOSED CONTOUR
- PROPOSED MANHOLE
- PROPOSED CATCH BASIN
- PROPOSED 12" DIAM SEWER
- PROPOSED 4" DIAMETER
- PROPOSED SPOT ELEVATION (ALL ELEVATIONS ARE TO FINISH UNLESS OTHERWISE NOTED)
- HIGH POINT SPOT ELEVATION
- TOP OF CURB SPOT ELEVATION
- MATCH EXISTING SPOT ELEVATION
- PROPOSED SLOPE ARROW
- PROPOSED HEDGE / VALLEY LINE / BREAKLINE
- EXISTING STORM STRUCTURE

NOTE: EXISTING FILL IS EXPECTED NEAR SURFACE BASED ON SITE HISTORY. IF EXISTING FILL IS ENCOUNTERED MATERIALS SHOULD BE EVALUATED FOR SUITABILITY. REFERENCE GEOTECHNICAL REPORT #1102095 BY TERRACON CONSULTANTS, INC. DATED 11/20/15 FOR FURTHER INFORMATION. CONTRACTOR SHALL READ THE GEOTECHNICAL REPORT IN ITS ENTIRETY BEFORE BEGINNING CONSTRUCTION.

DRAINAGE SCHEDULE

STRUCTURE NO.	STRUCTURE / CASTING TYPE	RIM/GRADE ELEVATION	INVERT ELEVATION	PIPE SIZE IN	PIPE SLOPE	INVERT ELEVATION OUT	PIPE SIZE OUT	PIPE SLOPE OUT	PIPE MATERIAL
FES-1	FES	W 897.40	12"	0.50%	E 896.85	12"	0.75%	HCP	
FES-3	FES	W 897.40	12"	0.50%	E 896.85	12"	0.75%	HCP	
FES-4	FES	W 896.70	12"	0.75%	E 896.40	12"	0.50%	HCP	
OC5-1	OUTLET CONTROL STRUCTURE SEE DETAIL								
RD-1	ROOF DRAIN TIE-IN					W 897.34	6"	1.00%	HDPE
RD-2	ROOF DRAIN TIE-IN	E 897.05	6"	1.00%	W 897.05	6"	1.00%	HDPE	
RD-3	45 DEG BEND	E 896.97	6"	1.00%	NW 896.97	6"	1.00%	HDPE	
RD-4	WYF	E 896.53	6"	1.00%	NW 896.53	6"	1.00%	HDPE	
RD-5	ROOF DRAIN TIE-IN	E 896.53	6"	1.00%	W 896.79	6"	1.00%	HDPE	
RD-6	ROOF DRAIN TIE-IN					W 896.50	6"	0.50%	HDPE
S-1	24"x36" CATCH BASIN - NEENAH R-3067-0/8	900.00	W 897.46	12"	0.50%	E 897.46	12"	0.50%	RCP
S-2	24"x36" CATCH BASIN - NEENAH R-3067-0/8	900.37	W 897.78	12"	0.50%	E 897.78	12"	0.50%	RCP
S-3	24"x36" CATCH BASIN - NEENAH R-3067-0/8	900.24	W 898.03	12"	0.50%	E 898.03	12"	0.50%	RCP
S-4	24"x36" CATCH BASIN - NEENAH R-3067-0/8	900.39	W 898.14	12"	0.50%	E 898.14	12"	0.50%	RCP
S-5	48" MANHOLE - NEENAH R-1733 W/PLATE LID	900.68	E 896.16	15"	0.50%	N 896.16	15"	0.30%	RCP
S-6	48" MANHOLE - NEENAH R-1733 W/PLATE LID	900.68	SE 896.70	15"	1.00%	SW 896.70	15"	0.40%	RCP

- ### GRADING NOTES
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE CITY OF BLAINE, SPECIFICATIONS AND BUILDING PERMIT REQUIREMENTS.
 - CONTRACTOR TO CALL GOPHER STATE CALL ONE (877-400-2511) AT LEAST TWO WORKING DAYS PRIOR TO EXCAVATION/CONSTRUCTION FOR UTILITY LOCATIONS.
 - CONTRACTOR TO FIELD VERIFY THE LOCATIONS AND ELEVATIONS OF EXISTING UTILITIES AND TOPOGRAPHIC FEATURES PRIOR TO THE START OF SITE GRADING. THE CONTRACTOR SHALL MAINTAIN ELEVATION ADJACENT TO EXISTING PAVEMENT. THE EXCAVATION SHALL BE BACKFILLED PROMPTLY TO AVOID UNDERMINING OF EXISTING PAVEMENT.
 - SUBGRADE EXCAVATION SHALL BE BACKFILLED IMMEDIATELY AFTER EXCAVATION TO FIELD VERIFY ANY STABILITY FROM FMS DUE TO WATER SEEPAGE OR STEEP SLOPES. WHEN FINISHING NEW SURFACE MATERIAL ADJACENT TO EXISTING PAVEMENT, THE EXCAVATION SHALL BE BACKFILLED PROMPTLY TO AVOID UNDERMINING OF EXISTING PAVEMENT.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR ALL HORIZONTAL AND VERTICAL CONTROL.
 - CONTRACTOR SHALL EXCAVATE DRAINAGE TRENCHES TO FOLLOW PROPOSED 12" DIAM SEWER ALIGNMENTS.
 - GRADES SHOWN ARE FINISHED GRADES. CONTRACTOR SHALL POUGH GRADE TO SUBGRADE ELEVATION AND LEAVE STREET READY FOR SUBBASE.
 - ALL EXCESS MATERIAL, RETAINING SURFACING, CONCRETE ITEMS, ANY ABANDONED UTILITY PIPES, AND OTHER UNDESIRABLE MATERIALS SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE DEPOSITED OFF OF THE CONSTRUCTION SITE.
 - REFERENCE THE UTILITY PLAN FOR SANITARY SEWER MAIN, WATER MAIN SERVICE LAYOUT AND ELEVATIONS AND CASTING / STRUCTURE SCHEDULE.
 - CONTRACTOR IS RESPONSIBLE FOR CONSTRUCTION OF PAVEMENTS AND CURBS AND GUTTERS WITH SMOOTH UNDERLAY SLOPES WITH PROPER POSITIVE DRAINAGE.
 - INSTALL A MINIMUM OF 4" CLASS 1 AGGREGATE BASH UNDER CURB AND GUTTER.
 - UPON COMPLETION OF EXCAVATION AND FILLING, CONTRACTOR SHALL RESTORE ALL STREETS AND DISTURBED AREAS ON SITE. ALL DISTURBED AREAS SHALL BE REVEGETATED WITH A MINIMUM OF 4" OF TOPSOIL.
 - ALL SPOT ELEVATIONS/CONTOURS ARE TO FINISHED GRADE/LOWLINE, UNLESS OTHERWISE NOTED.
 - GRADING FOR ALL SIDEWALKS AND ACCESSIBLE ROUTES INCLUDING CURBING/GRABBERS SHALL CONFORM TO CURRENT ADA INTERNATIONAL STANDARDS. SLOPES SHALL NOT EXCEED 1% LONGITUDINALLY OR 1:12 (8.33%) CROSS SLOPE. UNUSUAL ACCESS TO EXTERNAL BUILDING DOORS SHALL BE ADA COMPLIANT. CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY IF ADA CRITERIA CANNOT BE MET IN ANY LOCATION.
 - MAINTAIN A MINIMUM OF 0.5% GUTTER SLOPE TOWARDS DOWN STREET.
 - CONTRACTOR TO PROVIDE 1" INSTALLATION BY 1" MIN. 12" MINIMUM OVER TOP PIPE PER DETAIL. ON SAFETY CLOSURE LESS THAN 4' OF COVER IN PAVEMENT AREAS AND LESS THAN 3' OF COVER IN LANDSCAPE AREAS.

BENCHMARK LIST

VERTICAL DATUM (NGVD):
 BM - TRANSVERSE POINT IN ASP PAVING AREA
 N - MANHOLE ELEVATION IN ELEVATION - 896.89
 BM TOP OUT OF HYDRANT NEAR SOUTHWEST CORNER - 897.00 (ELEVATION - 900.70) (ELEVATION - 900.50)

CAUTION!
 ALL CONTRACTORS MUST CONTACT GOPHER STATE CALL ONE (877-400-2511) BEFORE CONSTRUCTION BEGINS. TWIN CITY AREA 651-454-0002.



Scale: 1" = 20'

RAISING CANE'S
 1560 109TH AVENUE
 BLAINE, MN 55014
 PROTOTYPE 1
 STORE #251

Professional of Record

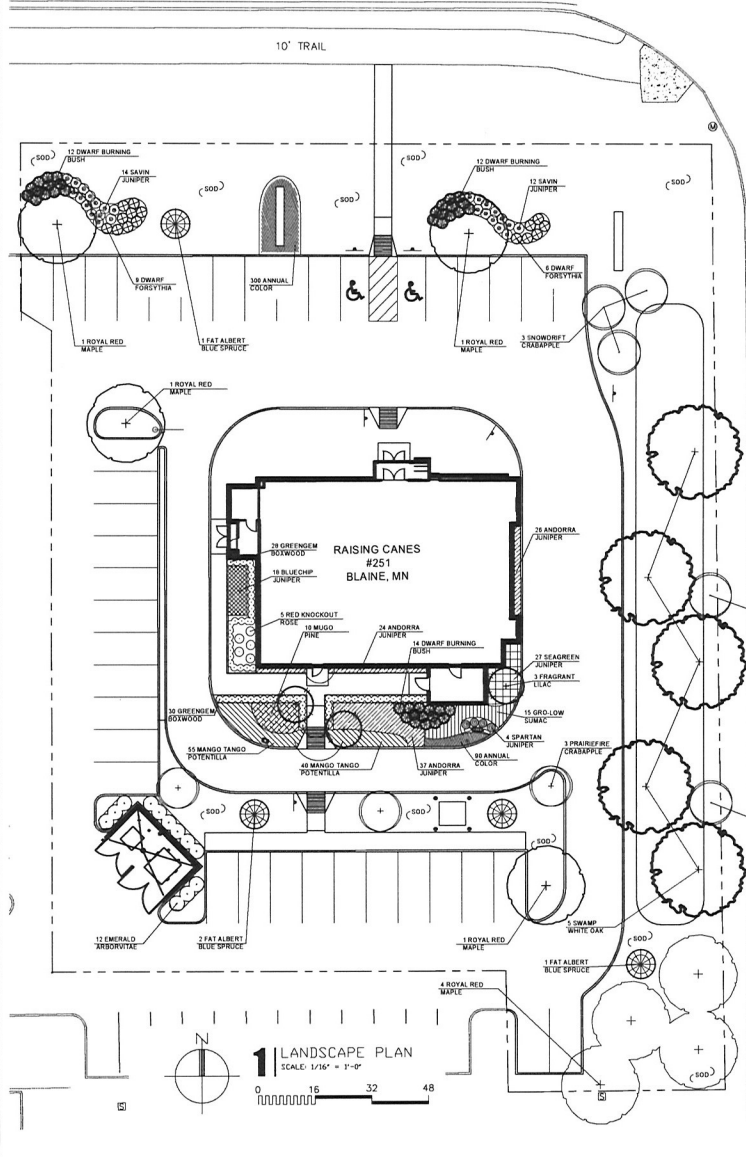
 Kimley-Horn & Associates, Inc.
 1550 UNIVERSITY AVE. WEST, SUITE 238N
 ST. PAUL, MINNESOTA 55114
 FAX: (651) 645-3136

Kimley-Horn

Design Information:
CSRS
 IMAGINE SHAPE DELIVER
 6767 Peters Road Suite 200 Baton Rouge, LA 70808
 Telephone: 225 769-4546 Fax: 225 767-0060
 www.csrsinc.com

Permit Issue Date:
 Got Contract Information (ARCH use only)
 Date: Description:
 FOR PERMIT
 Sheet Revision:
 # Date Description
 Sheet Title: **GRADING & DRAINAGE PLAN**
 Date: 1/26/2016
 Project Number: 16087-0003
 Drawn By: JBA
 Sheet Number: C-300

109th Ave. N.E. [C.S.A.H. 12]



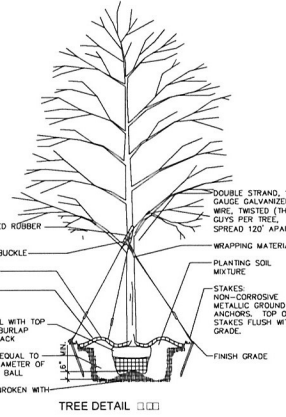
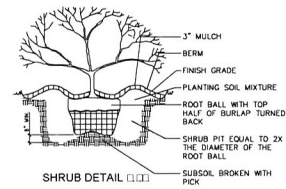
Plant Schedule RC#251 Blaine MN 01/27/2016

Qty	Common Name	Botanical Name	Size	Planting	Remarks
5	Swamp White Oak	Quercus bicolor	3.5'	as shown	Full container grown
8	Royal Red Maple	Acer platanoides 'Royal Red'	3.5"	as shown	Full container grown
3	Prairie Fire Crabapple	Malus x 'Prairie Fire'	3"	as shown	Full container grown
5	Snowdrift Crabapple	Malus x 'Snowdrift'	3"	as shown	Full container grown
4	Fat Albert Spruce	Picea pungens 'Fat Albert'	15'	as shown	Full container grown
3	Fragrant Lilac	Syringa vulgaris	3"	as shown	M-T container grown
12	Emerald Arborvitae	Thuja occidentalis 'Emerald'	6"	as shown	Full container grown
4	Spartan Juniper	Juniperus chinensis 'Spartan'	4.5'	as shown	Full container grown
87	Andorra Juniper	Juniperus horizontalis 'Youngstown'	3 gal	@ 18" o.c.	Full container grown
16	Bluechip Juniper	Juniperus horizontalis 'Blue Chip'	3 gal	@ 20" o.c.	Full container grown
40	Dwarf Burning Bush	Euonymus alatus compactus	3 gal	as shown	Full container grown
15	Dwarf Forsythia	Forsythia x intermedia	3 gal	as shown	Full container grown
56	Green Gem Snowwood	Buxus x 'Green Gem'	3 gal	as shown	Full container grown
15	Gro-Low Fragrant Sumac	Rhus aromatica 'Gro-Low'	3 gal	@ 22" o.c.	Full container grown
5	Knockout Rose Red	Rosa spp. Red Knockout	3 gal	as shown	Full container grown
10	Mugo Pine	Pinus mugo	3 gal	@ 20" o.c.	Full container grown
26	Savin Juniper	Juniperus sabinna	3 gal	@ 22" o.c.	Full container grown
95	Mango Tango Potentilla	Potentilla fruticosa 'UMari'	1 gal	@ 24" o.c.	Full container grown
390	Annual Color	Seasonal choice	4" pot	@ 8" o.c.	Full container grown

LANDSCAPE CALCULATIONS 1/27/2016
RC 251 Blaine MN

- 1. Overstory Deciduous Shade Trees**
Required: 13 Trees
Provided: 5 Swamp White Oak, 8 Royal Red Maple, 13 Total Provided
- 2. Coniferous Trees**
Required: 8 Trees
Provided: 4 Fat Albert Blue Spruce, 12 Emerald Arborvitae, 16 Total Provided
- 3. Understory Shrubs**
Required: 0 Shrubs
Provided: 35 Dwarf Burning Bush, 42 Savin Juniper, 18 Dwarf Forsythia, 95 Total Provided
- 4. Ornamental Trees**
Required: 8 Trees
Provided: 3 Royal Prairie Fire Crabapple, 5 Snowdrift Crabapple, 8 Total Provided

- LANDSCAPE NOTES:**
- INSTALL 4" MIN. TOP SOIL TO ALL SOD AND SEED AREAS. CONTRACTOR IS RESPONSIBLE FOR FINE GRADING OF SOD AND SEED AREAS. REMOVE STONES, STICKS, AND DEBRIS LARGER THAN 1".
 - ALL SHRUB AREAS, UNLESS SPECIFIED AS OTHER, TO BE BED MULCHED WITH 3" DEPTH OF PARTIALLY DECOMPOSED HARDWOOD MULCH OVER WEED BARRIER.
 - PLANTING SOIL SHALL CONSIST OF 50% SELECT LOAMY TOPSOIL, 25% PEAT MOSS, 25% PIT RUN SAND.
 - GUARANTEE ALL WORK FOR A PERIOD OF ONE YEAR BEGINNING AT THE DATE OF ACCEPTANCE. MAKE ALL REPLACEMENTS PROMPTLY AS PER DIRECTION OF OWNER.
 - MATERIAL SHALL COMPLY WITH THE LATEST EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK, AMERICAN ASSOCIATION OF NURSERMEN.
 - WATER AND MAINTAIN ALL PLANT MATERIALS, SEED AND SOD UNTIL INITIAL ACCEPTANCE.
 - REPAIR AT NO COST TO OWNER ALL DAMAGE TO PROPERTY RESULTING FROM LANDSCAPE WORK.
 - CALL 811 TO NOTIFY UTILITY COMPANY FOR LOCATING ALL UNDERGROUND UTILITIES. AVOID DAMAGE TO UTILITIES DURING THE COURSE OF THE WORK. REPAIR ANY DAMAGE TO UTILITIES, SITE STRUCTURES, ETC., RESULTING FROM LANDSCAPE CONSTRUCTION.
 - COORDINATE INSTALLATION WITH WORK OF OTHER SECTIONS.
 - STAKING AND GUYING OF TREES PER NATIONAL NURSERYMANS STANDARDS.
 - SWEEP AND WASH ALL PAVED SURFACES AND REMOVE ALL DEBRIS RESULTING FROM LANDSCAPE OPERATIONS.
 - FIELD VERIFY SOD LIMITS PRIOR TO INSTALLATION.
 - UNDERGROUND IRRIGATION SYSTEM PLANS DESIGNED BY A LICENSED IRRIGATOR WILL BE SUBMITTED WITH THE BUILDING PERMIT APPLICATION.
 - CONTRACTOR SHALL PROVIDE A MINIMUM 2% SLOPE AWAY FROM ALL STRUCTURES.



Prototype Issue Date: _____
Store: **Raising Canes' 109th Street Blaine, MN Prototype 1 Store #251**



CSRS
IMAGINE SHAPE DELIVER
6767 Perkins Road Suite 200 Baton Rouge, LA 70808
Tel: 225-764-9456 Fax: 225-764-0060
www.csrsinc.com

PRELIMINARY PLAN ONLY. NOT TO BE USED FOR CONSTRUCTION, BIDDING, RECORDATION, CONVEYANCE, OR SALES.

Site Control Information

#	Date	Description

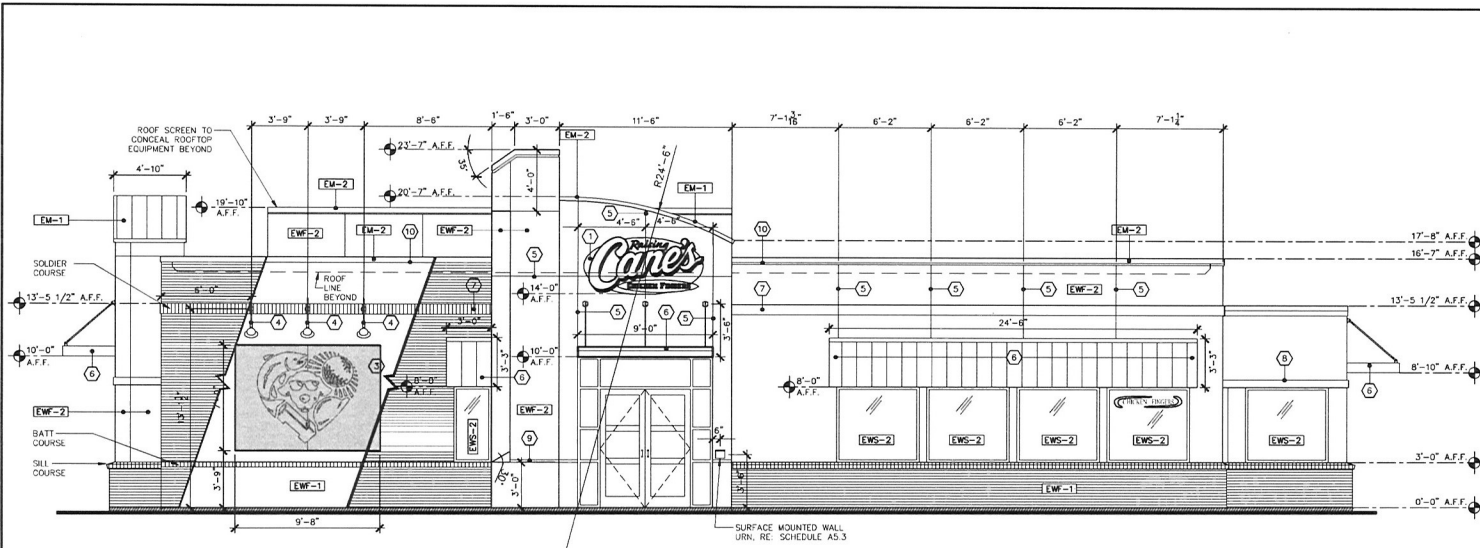
FOR PERMIT

Sheet Revisions

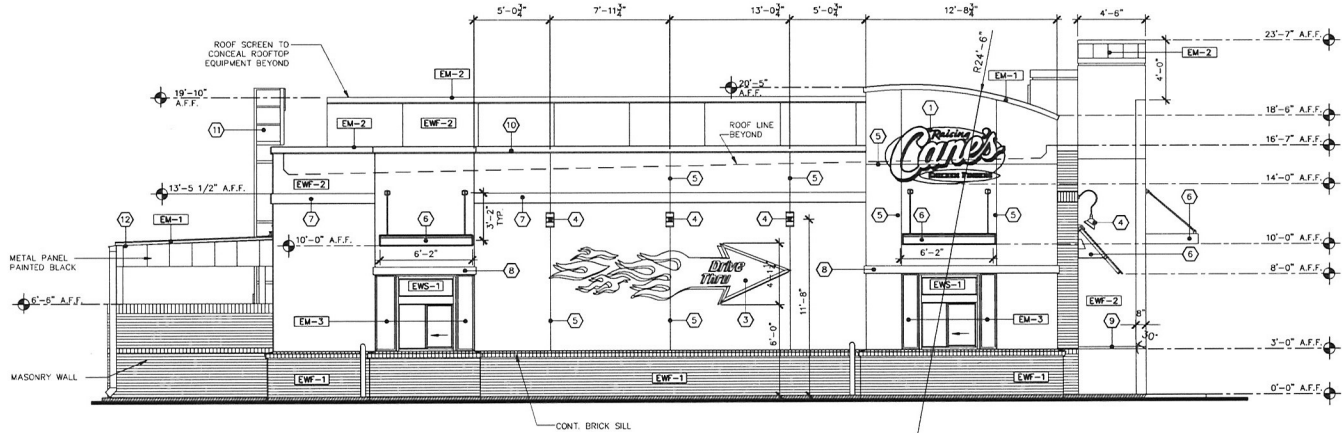
#	Date	Description
01	01/27/2016	Add trees, change brick by sign

Client Title: _____
Planting Plan
Date: January 11, 2016
Project Number: 215000
Drawn By: CCC / FJS 01/22/2016
Sheet Number: _____

L1.0



1 FRONT ELEVATION
 1/4" = 1'-0"
 01 A4.1



2 DRIVE-THRU ELEVATION
 1/4" = 1'-0"
 02 A4.1

KEY NOTES

MARK	DESCRIPTION
1	SIGN BY OWNER. PROVIDE BLOCKING AS REQ'D. (4'-0" x 8'-0" OVAL)
2	FLAG, WHEN PERMITTED
3	WALL SIGN BY OWNER
4	EXTERIOR LIGHTING, RE. ELEC.
5	CONTROL JOINT
6	PRE-FABRICATED METAL AWNING OR CANOPY, G.C. TO PERMIT SEPARATELY
7	8" STUCCO OR BRICK BAND AS SHOWN
8	6" STUCCO OR BRICK BAND AS SHOWN
9	2" WIDE STUCCO REVEAL (1/4" DEEP)
10	NEON CHANNEL & NEON BY OWNER NEON TO BE WHITE
11	ROOF ACCESS LADDER RE. SP3 PROVIDE ALL REQ'D. BLOCKING FOR INSTALLATION
12	METAL ROOF, GUTTER & DOWNSPOUT (RE. DETAIL 1A10.2)

NOTES:

- SIGNAGE TO BE APPROVED UNDER SEPARATE FILING (DEFERRED SUBMITTAL).
- CANDIES AND AWNINGS ARE REQUESTED AS DEFERRED SUBMITTALS AS INDICATED ON SHEET CS1 G.C. TO PERMIT CANDIES AND AWNINGS USING MANUFACTURER SPECIFICATIONS AND SHOP DRAWINGS.

EXTERIOR MATERIALS

MARK	DESCRIPTION
EM-1	STANDING SEAM METAL ROOF GALVANIZED STEEL SHEET W/ KYNAR FINISH (24 GA.) STANDARD COLOR.
EM-2	METAL CAP FLASHING GALVANIZED STEEL SHEET W/ KYNAR FINISH (24 GA.) STANDARD COLOR.
EM-3	STAINLESS STEEL COVER PANEL FASTENED TO WALL W/ STAINLESS STEEL SEAT AND SCREWS PROVIDED BY OWNER INSTALLED BY G.C.

EXTERIOR WINDOW SYSTEMS

MARK	DESCRIPTION
EWS-1	DRIVE THROUGH WINDOW
EWS-2	4 1/2" ALUM. STOREFRONT KAWHEER TRIP AD 41 II ANODIZED, TYP. U.N.O.

EXTERIOR WALL FINISHES

MARK	DESCRIPTION
EWF-1	FACE BRICK
EWF-2	7/8" STUCCO FINISH ON SELF FURRING GALV. METAL LATH W/ FRY REGLET CORNERS, MOLDING & TRIM AS REQUIRED (RE. SPECIFICATIONS)

SEALANT

- PROVIDE SEALANT & BACKER RODS AT ALL DISSIMILAR MATERIALS.
- TWO-PART NONSAG POLYURETHANE SEALANT BY SONNEBORN BUILDING PRODUCTS. CUSTOM COLOR TO MATCH STUCCO AT ALL DOOR FRAMES, STOREFRONT & WINDOWS, WALL PENETRATIONS AND STUCCO TO MASONRY CONNECTIONS.



Printed on Recycled Paper
 8000 Blaine Blvd. #100
 Blaine, MN 55416
 Tel: 952-769-3100 Fax: 952-769-3101

Printed on Recycled Paper 15-1030

Scale:
Raising Cane's
109th Avenue NE
Blaine, MN 55449
Prototype 1
Store #251

Professional of Record
 I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATIONS OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.
 Glenn M. J. Pedregon
 1/19/2016 31887
 DATE MN LIC NO.

Designers Information
CSRS
 IMAGINE SHAPE DELIVER
 6767 Parkers Road S. #200 Burton Rouge, LA 70066
 Telephone: 225 769-2966 Fax: 225 767-0000
 www.csrsinc.com

Set Control Information (ARCH USE ONLY)
 Setup / Update Date 15-1165 15-1209

#	Date	Description

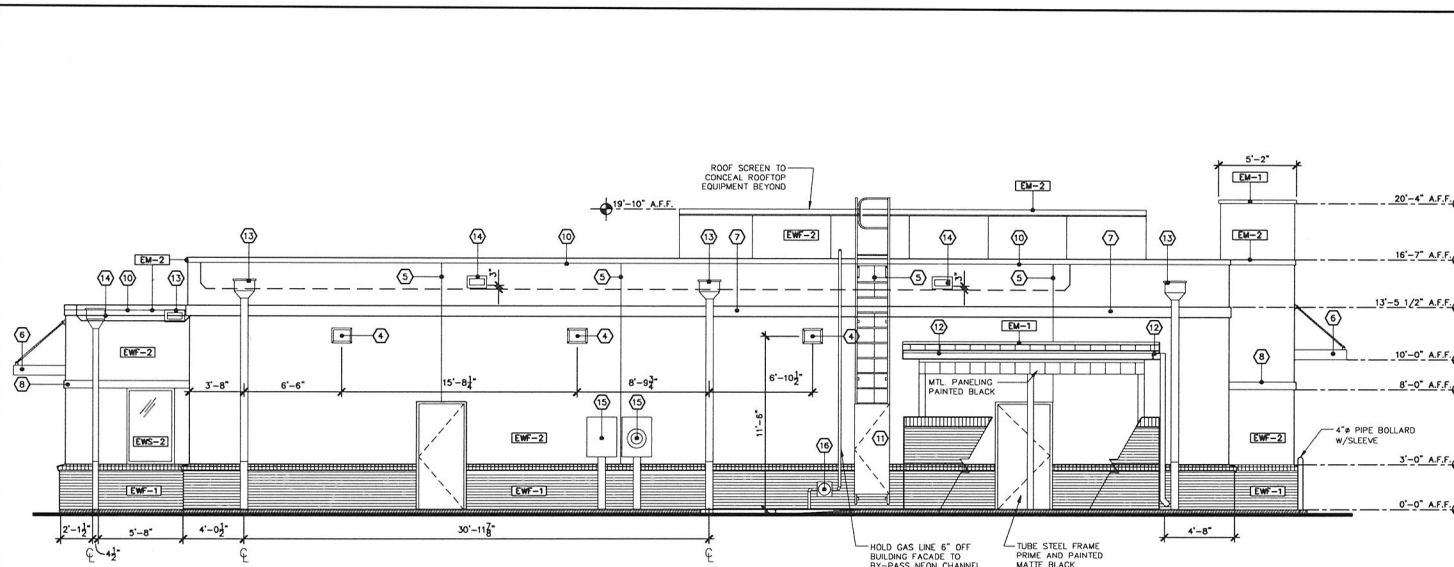
FOR PERMIT

Sheet Revisions:	(Sheet specific per Designer)	
#	Date	Description

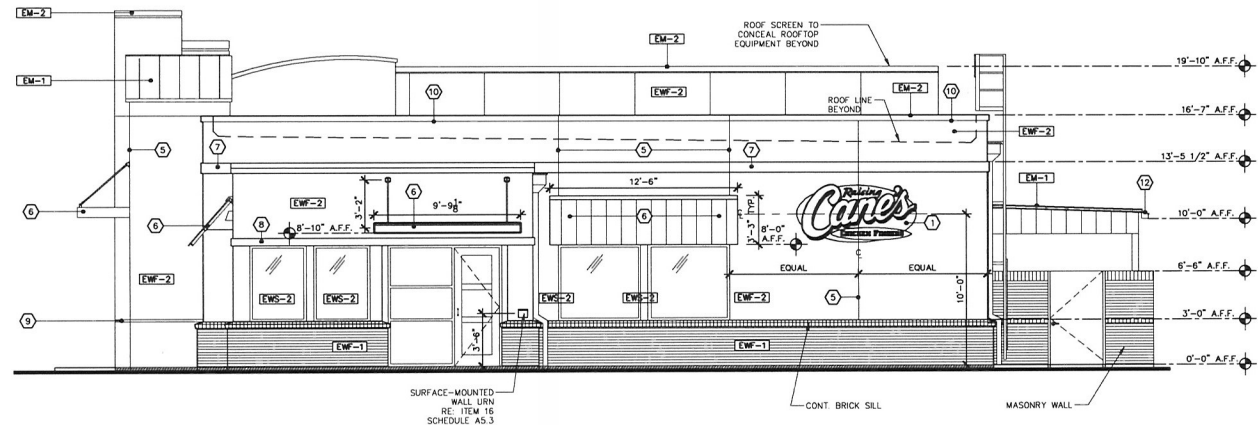
Sheet Title

EXTERIOR ELEVATIONS
 Initial sheet issue date 15-1218
 Project Number 715000 23 028
 Project Manager Yanez Moore
 Drawn by YGM
 Sheet Number

A04.1



1 REAR ELEVATION
 1/4" = 1'-0"
 02.A4.2



2 SIDE ENTRY ELEVATION
 1/4" = 1'-0"
 02.A4.2

KEY NOTES

MARK	DESCRIPTION
1	SIGN. BY OWNER. PROVIDE BLOCKING AS REQ'D (4'-0" x 8'-0" OVAL)
2	NOT USED
3	NOT USED
4	EXTERIOR LIGHTING, RE. ELECTRICAL
5	CONTROL JOINT
6	METAL COVERED CANOPY, GC TO PERMIT SEPARATELY
7	8" STUCCO OR BRICK BAND AS SHOWN
8	6" STUCCO OR BRICK BAND AS SHOWN
9	2" WIDE STUCCO REVEAL (1/4" DEEP)
10	NEON CHANNEL & NEON BY OWNER. NEON TO BE WHITE
11	ROOF ACCESS LADDER RE: SP3. PROVIDE ALL REQ'D. BLOCKING FOR INSTALLATION.
12	METAL ROOF, GUTTER & DOWNSPOUT (RE: DETAIL 1A10.2)
13	ROOF SCUPPER & DOWNSPOUT OMIT STUCCO BAND @ DOWNSPOUT (RE: 1A10.2)
14	OVER FLOW SCUPPER
15	ELECTRICAL CABINETS, PAINT TO MATCH STUCCO (PT-10). COORDINATE EXACT REQUIREMENTS WITH ELEC. SUB-CONTR.
16	GAS METER & PIPING, PAINT TO MATCH STUCCO (PT-10)
17	COMBUSTION AIR LOUVERS, PROVIDE INSECT SCREENS, PAINT TO MATCH STUCCO (RE: MECHANICAL) (PT-10)

NOTES:
 1. SIGNAGE TO BE APPROVED UNDER SEPARATE FILING (DEFERRED SUBMITTAL).
 2. CANNIES AND AWNINGS ARE REQUESTED AS DEFERRED SUBMITTALS AS INDICATED ON SHEET CS1. G.C. TO PERMIT CANNIES AND AWNINGS USING MANUFACTURER SPECIFICATIONS AND SHOP DRAWINGS.

EXTERIOR MATERIALS

MARK	DESCRIPTION
EM-1	STANDING SEAM METAL ROOF GALVANIZED STEEL SHEET W/ KYNAR FINISH (24 GA.) STANDARD COLOR
EM-2	METAL CAP FLASHING GALVANIZED STEEL SHEET W/ KYNAR FINISH (24 GA.) STANDARD COLOR
EM-3	STAINLESS STEEL COVER PANEL FASTENED TO WALL W/ STAINLESS STEEL SEAT AND SCREWS PROVIDED BY OWNER INSTALLED BY G.C.

EXTERIOR WINDOW SYSTEMS

MARK	DESCRIPTION
EWS-1	DRIVE THROUGH WINDOW
EWS-2	4 1/2" ALUM. STOREFRONT KAWNEER TRIFAB 451 II ANODIZED, TYP. U.N.D.

EXTERIOR WALL FINISHES

MARK	DESCRIPTION
EW-1	FACE BRICK
EW-2	7/8" STUCCO FINISH ON SELF FURRING CALV. METAL LATH W/ FRY REGLET CORNERS, MOLDING & TRIM AS REQUIRED (RE: SPECIFICATIONS)

SEALANT

- PROVIDE SEALANT & BACKER RODS AT ALL DISSIMILAR MATERIALS
- TWO-PART MONSIEG POLYURETHANE SEALANT BY SONNEBORG BUILDING PRODUCTS. CUSTOM COLOR TO MATCH STUCCO AT ALL DOOR FRAMES, STOREFRONT & WINDOWS, WALL PENETRATIONS, AND STUCCO TO MASONRY CONNECTIONS.



Perkins and Sonnet Office
 6800 972-765-1100 Fax 972-765-3101

Perkins Issue Date: 15-1030
 Store:
Raising Cane's
109th Avenue NE
Blaine, MN 55449
Prototype 1
Store #251

Professional of Record
 I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATIONS OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA
 Chris M. Peterson
 1/19/2016 3:58P
 DATE MN LIC. NO.

Designer's Information

CSRS
 IMAGINE SHAPE DELIVER
 6767 Perkins Road Suite 200 Bolton Rouge, LA 70808
 Telephone: 225 769-0546 Fax: 225 767-0090
 www.csrsinc.com

Set Control Information (ARCH size only)

Setup/Update Date 15-1109 1 15-1039

#	Date	Description

FOR PERMIT

Sheet Revisions (list specific per Designer)

#	Date	Description

Sheet Title

EXTERIOR ELEVATIONS

Initial Sheet issue date: 15-1218

Project Number: 215000 23 028

Project Manager: Yank/ Moore

Drawn by: YGM

Sheet Number

A04.2



Prototype Issue Date 15-1000

Raising Canes
109th Avenue NE
Blaine, MN 55449
Store #251

Professional of Record
I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATIONS OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.

Chadwick D. Peltgen
1/19/2016 DATE
MIN. LIC. NO.



Set Control Information (ARCH use only)
Setup / Update Date 15-1109 15-1009

#	Date	Description

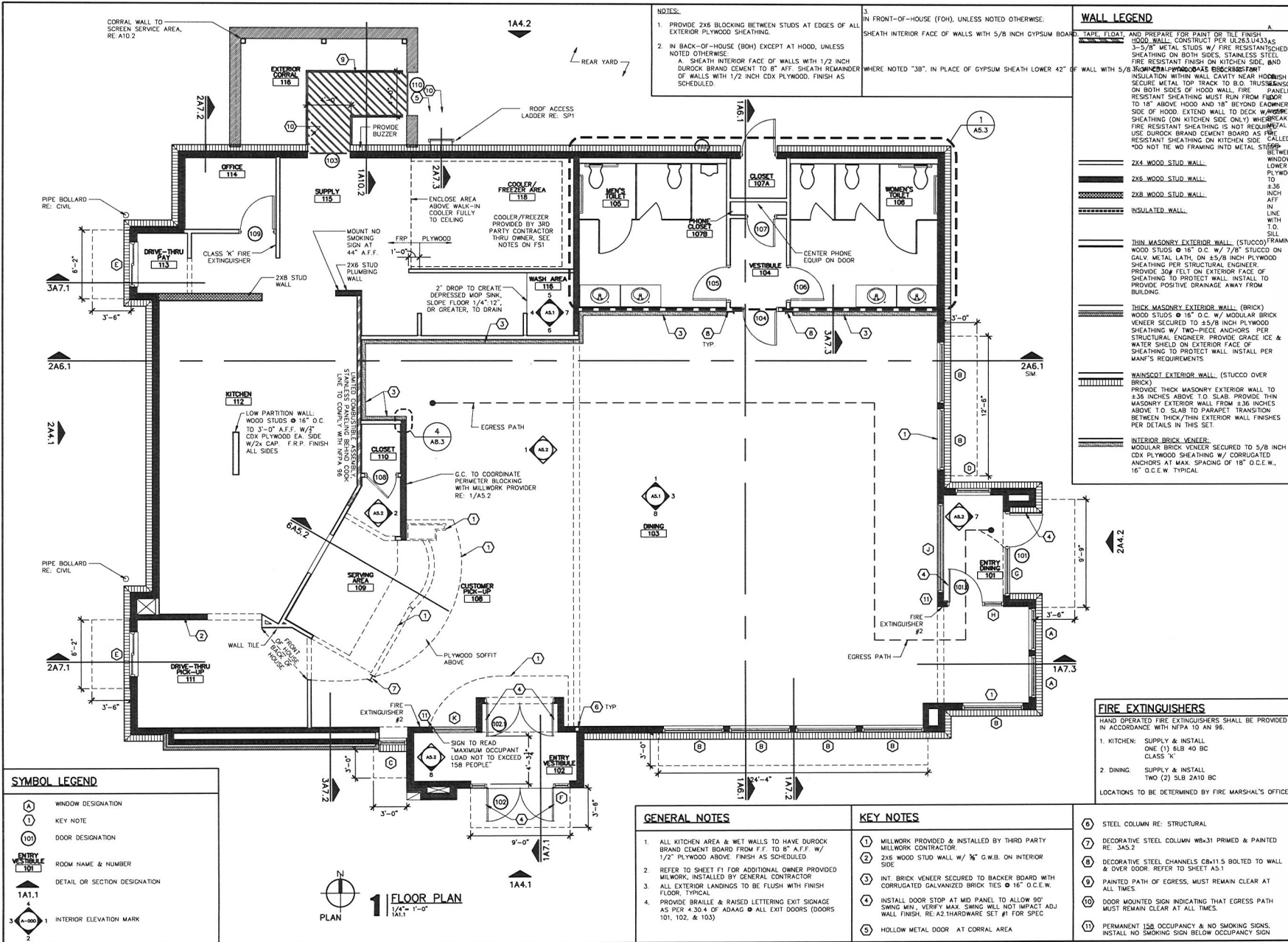
FOR PERMIT

#	Date	Description

FLOOR PLAN

Initial Sheet Issue Date	15-1218
Project Number	215000 23 028
Project Manager	Yam/Moore
Drawn by	YGM
Sheet Number	

A01.1



NOTES

1. PROVIDE 2X6 BLOCKING BETWEEN STUDS AT EDGES OF ALL EXTERIOR PLYWOOD SHEATHING.
2. IN BACK-OF-HOUSE (BOH) EXCEPT AT HOOD, UNLESS NOTED OTHERWISE
A. SHEATH INTERIOR FACE OF WALLS WITH 1/2" INCH DUROCK BRAND CEMENT TO 8" AFF. SHEATH REMAINDER OF WALLS WITH 1/2" INCH CDX PLYWOOD. FINISH AS SCHEDULED.
3. IN FRONT-OF-HOUSE (FOH), UNLESS NOTED OTHERWISE, SHEATH INTERIOR FACE OF WALLS WITH 5/8" INCH GYPSUM BOARD WHERE NOTED "3B", IN PLACE OF GYPSUM SHEATH LOWER 42" OF

WALL LEGEND

TAPE FLOAT AND PREPARE FOR PAINT OR TILE FINISH	A
1000 WALL. CONSTRUCT PER 18X23X43X45 AS 3-5/8" METAL STUDS W/ FIRE RESISTANT SCHEDULED SHEATHING ON BOTH SIDES, STAINLESS STEEL FIRE RESISTANT FINISH ON KITCHEN SIDE, AND 3/4" INCH PERFORATED BRICKSCHEDULED SHEATHING ON OTHER SIDE.	B
INSULATION WITH WALL CAVITY NEAR HOODHOUSE SECURE METAL TOP TRACK TO B.O. TRUSS/SCOT ON BOTH SIDES OF HOOD WALL TO DECK W/ FIRE RESISTANT SHEATHING MUST RUN FROM FACE OF HOOD TO 18" ABOVE HOOD AND 18" BEYOND EACH END SIDE OF HOOD. EXTEND WALL TO DECK W/ FIRE RESISTANT SHEATHING (ON KITCHEN SIDE ONLY) WHERE BREAK FIRE RESISTANT SHEATHING IS NOT REQUIRED. USE DUROCK BRAND CEMENT BOARD AS FIRE RESISTANT SHEATHING ON KITCHEN SIDE. CALLED "400" NOT THE WD FRAMING INTO METAL STUDS BETWEEN LOWER PLYWOOD TO 2.36 INCH AFF IN LINE WITH T.O. SILL.	C
2X4 WOOD STUD WALL	D
2X8 WOOD STUD WALL	E
2X8 WOOD STUD WALL	F
INSULATED WALL	G
THIN MASONRY EXTERIOR WALL (STUCCO) FRAMING WOOD STUDS @ 16" O.C. W/ 7/8" STUCCO ON GALV. METAL LATH, ON 15/8" INCH PLYWOOD SHEATHING PER STRUCTURAL ENGINEER. PROVIDE 30# FELT ON EXTERIOR FACE OF SHEATHING TO PROTECT WALL. INSTALL TO PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDING.	H
THICK MASONRY EXTERIOR WALL (BRICK) WOOD STUDS @ 16" O.C. W/ MODULAR BRICK VENEER SECURED TO 1/2" INCH PLYWOOD SHEATHING W/ TWO-PIECE ANCHORS PER STRUCTURAL ENGINEER. PROVIDE DRAIN ICE & WATER SHIELD ON EXTERIOR FACE OF SHEATHING TO PROTECT WALL. INSTALL PER MANT'S REQUIREMENTS.	I
MANSICOT EXTERIOR WALL (STUCCO OVER BRICK) PROVIDE THICK MASONRY EXTERIOR WALL TO 1.36 INCHES ABOVE T.O. SLAB. PROVIDE THIN MASONRY EXTERIOR WALL FROM 1.36 INCHES ABOVE T.O. SLAB TO PARAPET TRANSITION BETWEEN THICK/THIN EXTERIOR WALL FINISHES PER DETAILS IN THIS SET.	J
INTERIOR BRICK VENEER. MODULAR BRICK VENEER SECURED TO 5/8" INCH CDX PLYWOOD SHEATHING W/ CORRUGATED ANCHORS AT MAX. SPACING OF 18" O.C.E.W., 16" O.C.E.W. TYPICAL.	K

FIRE EXTINGUISHERS

HAND OPERATED FIRE EXTINGUISHERS SHALL BE PROVIDED IN ACCORDANCE WITH NFPA 10 AN 96.

1. KITCHEN: SUPPLY & INSTALL ONE (1) 5LB 40 BC CLASS 'K'
2. DINING: SUPPLY & INSTALL TWO (2) 5LB 2A10 BC

LOCATIONS TO BE DETERMINED BY FIRE MARSHAL'S OFFICE

GENERAL NOTES

1. ALL KITCHEN AREA & WET WALLS TO HAVE DUROCK BRAND CEMENT BOARD FROM F.F. TO 8" A.F.F. W/ 1/2" PLYWOOD ABOVE FINISH AS SCHEDULED.
2. REFER TO SHEET F1 FOR ADDITIONAL OWNER PROVIDED MILLWORK, INSTALLED BY GENERAL CONTRACTOR
3. ALL EXTERIOR LANDINGS TO BE FLUSH WITH FINISH FLOOR, TYPICAL.
4. PROVIDE BRAILLE & RAISED LETTERING EXIT SIGNAGE AS PER 4.30.4 OF ADAAG @ ALL EXIT DOORS (DOORS 101, 102, & 103)

KEY NOTES

- 1 MILLWORK PROVIDED & INSTALLED BY THIRD PARTY MILLWORK CONTRACTOR.
- 2 2X6 WOOD STUD WALL W/ 1/2" G.W.B. ON INTERIOR SIDE.
- 3 INT. BRICK VENEER SECURED TO BACKER BOARD WITH CORRUGATED GALVANIZED BRICK TIES @ 16" O.C.E.W.
- 4 INSTALL DOOR STOP AT MID PANEL TO ALLOW 90° SWING MIN. VERIFY MAX. SWING WILL NOT IMPACT ADJ WALL FINISH. RE: A2 HARDWARE SET #1 FOR SPEC
- 5 HOLLOW METAL DOOR AT CORRAL AREA
- 6 STEEL COLUMN RE: STRUCTURAL.
- 7 DECORATIVE STEEL COLUMN W/ 31 PRIMED & PAINTED RE: JAS.2
- 8 DECORATIVE STEEL CHANNELS CB#11.5 BOLTED TO WALL & OVER DOOR. REFER TO SHEET A5.1
- 9 PAINTED PATH OF EGRESS, MUST REMAIN CLEAR AT ALL TIMES.
- 10 DOOR MOUNTED SIGN INDICATING THAT EGRESS PATH MUST REMAIN CLEAR AT ALL TIMES.
- 11 PERMANENT 158 OCCUPANCY & NO SMOKING SIGNS. INSTALL NO SMOKING SIGN BELOW OCCUPANCY SIGN.

SYMBOL LEGEND

	WINDOW DESIGNATION
	KEY NOTE
	DOOR DESIGNATION
	ROOM NAME & NUMBER
	DETAIL OR SECTION DESIGNATION
	INTERIOR ELEVATION MARK

1 FLOOR PLAN
1/4" = 1'-0"
1A1.1