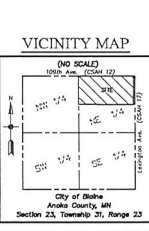
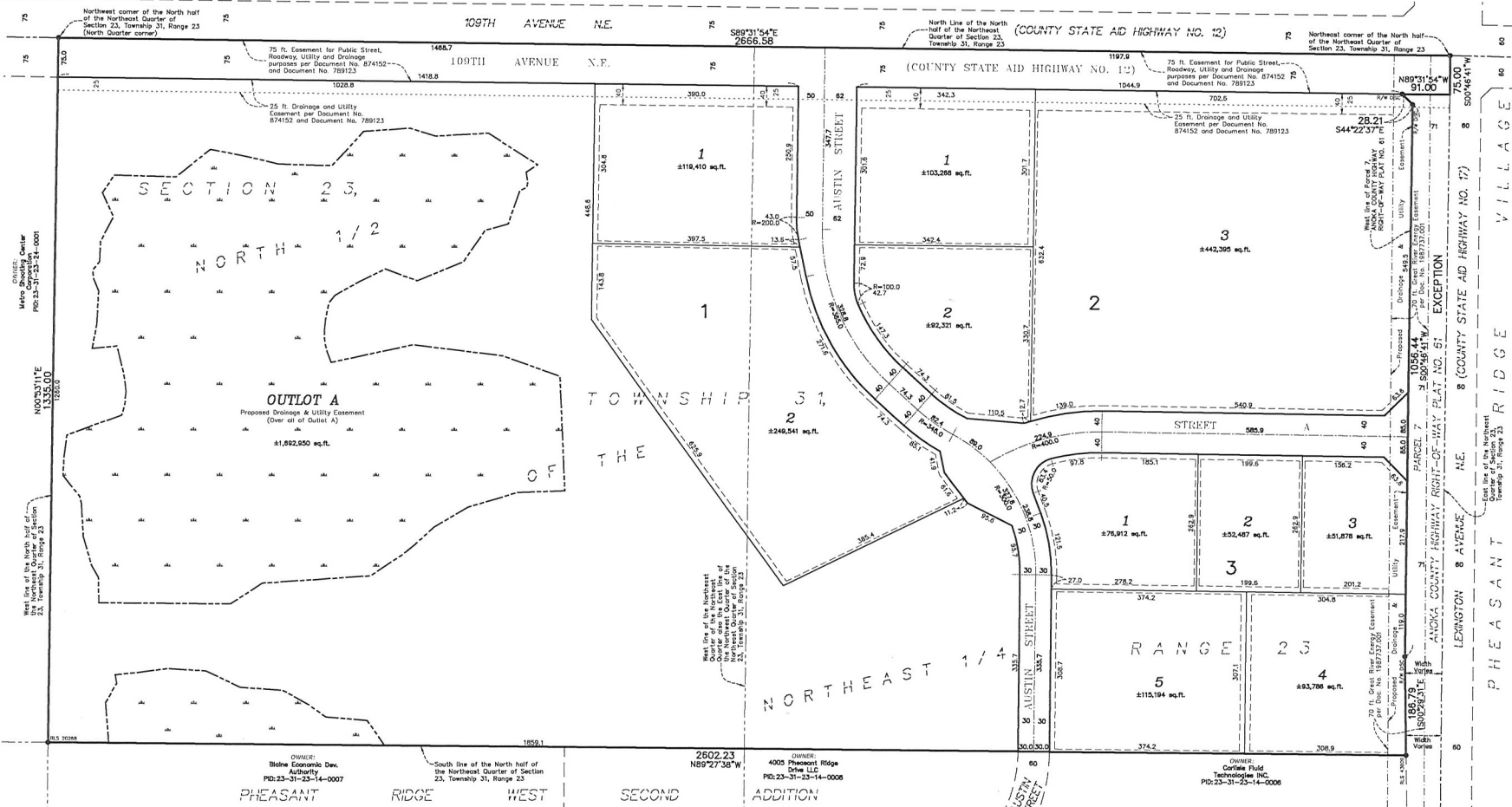


Case File No. 17-0026
Lexington Meadows

Blaine Planning Department / 10801 Town Square Dr NE / Blaine, MN 55449 / (763) 785-6180



LEXINGTON MEADOWS



PARCEL DESCRIPTION:
 (Per Title Commitment File No. 52833, Second Supplemental, with an effective date of May 11, 2017 at 7:00 A.M. prepared by Commercial Partners Title, LLC, as agent for GIS Republic National Title Insurance Company.)
 North half of Northeast Quarter of Section 23, Township 31, Range 23, except Parcel 7, according to ANOKA COUNTY HIGHWAY RIGHT-OF-WAY PLAT NO. 61, County Project No. S.P. 02-017-13 filed April 25, 2003, as Document No. 1790500, and Final Certificate dated June 21, 2012, as Document No. 2062202.001.
 (Abstract property)
GENERAL NOTES:
 1. Bearings shown are based on the North line of the Northeast Quarter of Section 23, Township 31, Range 23, Anoka County, Minnesota, which is assumed to bear South 89 degrees 31 minutes 24 seconds East.
 2. Above ground utilities have been field located as shown. All underground locations shown herein are APPROXIMATE. Prior to any excavations or digging, contact Cooper State One Call for an on-site location (931-654-3002).
 3. Easement for electric transmission line or system or related purposes in favor of Rural Cooperative Power Association per Document No. 192245 is shown in nature over the Northeast Quarter of the Northeast Quarter and will need to be confined to the actual usage.
 4. Easement for pipeline and related purposes in favor of Northern Natural Gas Easement per Document No. 220370, as affected by conveyance, assignment and bill of sale per Document No. 922210 is shown in nature over the North half of the Northeast Quarter of Section 23, Township 31, Range 23 and will need to be confined to the actual usage.
 5. Conservation Easement per Document No. 2079058.001 in favor of Rice Creek Watershed District is proposed to be released, partially released or revised as part of this project.
 6. Wetland Buffer declaration per Document No. 2079058.002 in favor of Rice Creek Watershed District is proposed to be released, partially released or revised as part of this project.
 7. Ditch Easement per Document No. 2079058.004 in favor of Rice Creek Watershed District is proposed to be released, partially released or revised as part of this project.
 8. Easement for drainage, utility, ingress and egress purposes per Document No. 2128174.003 in favor of the City of Blaine is proposed to be released or vacated and recreated/dedicated as part of this plan.

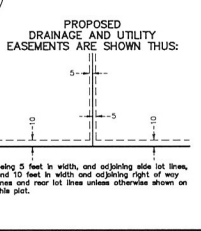
OWNER: Blaine Economic Dev. Authority
 P.D. 23-31-23-14-0007

OWNER: 4005 Pheasant Ridge Drive LLC
 P.D. 23-31-23-14-0008

OWNER: Corliss Fluid Technologies Inc.
 P.D. 23-31-23-14-0006

SITE DATA

TOTAL SITE AREA	±79.81 AC.
TOTAL ROW AREA	±8.86 AC.
TOTAL NUMBER OF OUTLOTS	±38.87 AC.
TOTAL LOT AREA	±32.08 AC.
SMALLEST LOT	±51,878 S.F.
LARGEST LOT	±442,395 S.F.
AVERAGE LOT	±139,719 S.F.
TOTAL NUMBER OF COMMERCIAL LOTS	±10
GROSS DENSITY	±0.15 LOTS/AC.
NET DENSITY	±0.14 LOTS/AC.
EXISTING ZONING	PBD
PROPOSED ZONING	PBD
UTILITIES	AVAILABLE



LEGEND

- Denotes Anoka County Section Monument
- Denotes Found Iron Monument
- Denotes Wetland Delineated by Klyhnen Environmental Services Company

BENCHMARKS

- Anoka County Benchmark No. 2090; Elevation = 902.21 (NOVD 29)
- Top of Property Corner Iron Monument, marked with RLS 4300, located at the Southeast Boundary Corner; Elevation = 902.82 (NOVD 29)

Carlson McCain
 ENVIRONMENTAL • ENGINEERING • SURVEYING
 3890 Pheasant Ridge Dr. NE, Blaine, MN 55449
 Phone: 763-489-7900 Fax: 763-489-7959

PRELIMINARY PLAT
LEXINGTON MEADOWS
 Blaine, Minnesota

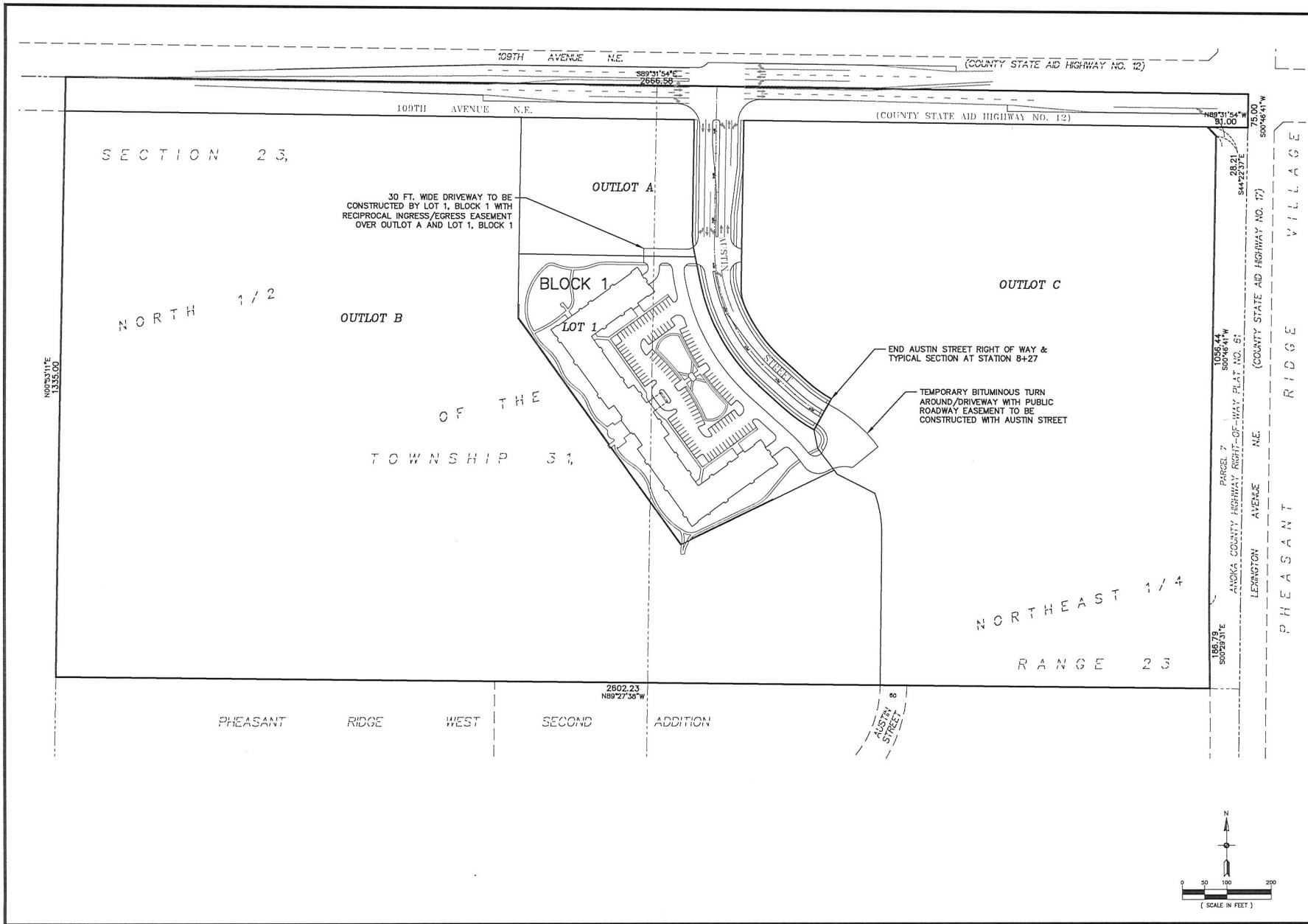
WELLINGTON MANAGEMENT, INC.
 1625 Energy Park Drive, #100
 St. Paul, MN 55108

REVISIONS

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I hereby certify that this corner, plan or report was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota.
 Name: Thomas B. Balluff
 Signature: *[Signature]*
 Date: 2/25/18 License #: 40361

3 of 9



**Carlson
McCain**
ENVIRONMENTAL ENGINEERING SURVEYING
3890 Pheasant Ridge Dr. NE, Blaine, MN 55449
Phone: 763-489-7900 Fax: 763-489-7959

CHASE EXHIBIT

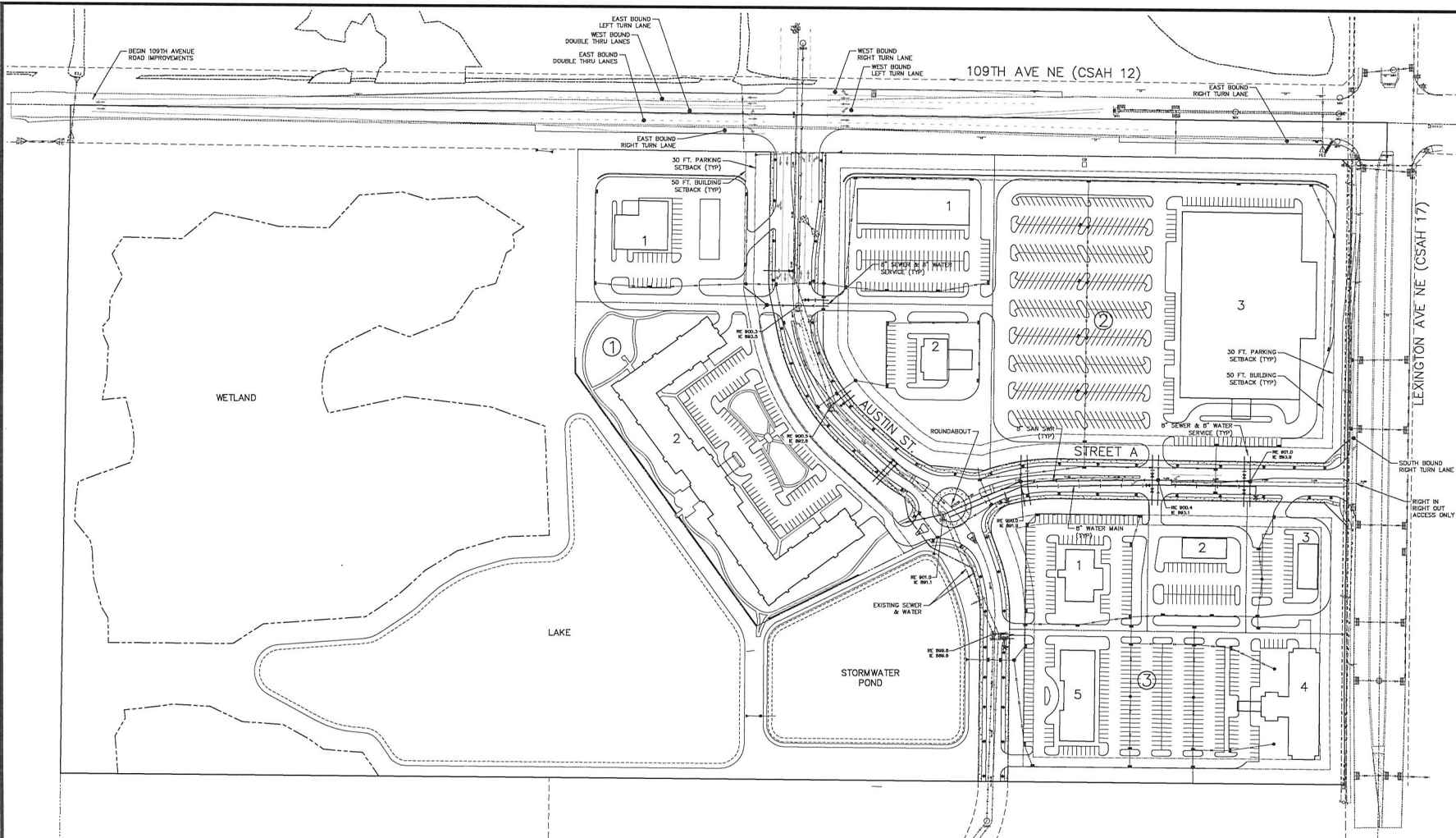
LEXINGTON MEADOWS
Blaine, Minnesota

WELLINGTON MANAGEMENT, INC.
1625 Energy Park Drive, #100
St. Paul, MN 55108

REVISIONS	
1.	03/02/18 Per City/RCWD Comments
2.	
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6.	
DRAWN BY:	TCB
ISSUE DATE:	2/25/18
FILE NO.:	708

I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota.

Name: Thomas G. Balluff
Signature: [Signature]
Date: 2/25/18 License # 40363



**Carlson
McCain**
ENVIRONMENTAL-ENGINEERING-SURVEYING
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Phone: 763-489-7900 Fax: 763-489-7959

**PRELIMINARY SITE
& UTILITY PLAN**
LEXINGTON MEADOWS
Blaine, Minnesota

WELLINGTON MANAGEMENT, INC.
1625 Energy Park Drive, #100
St. Paul, MN 55108

REVISIONS

1.	02/05/18 Per City/RCWD Comments
2.	
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4.	
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6.	

DRAWN BY: JTB
DESIGNED BY: JTB
ISSUE DATE: 02/05/18

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Name: Joseph T. Radwin, P.E.
Signature: *[Signature]*
Date: 02/05/18 License #: 45889

5 of 9

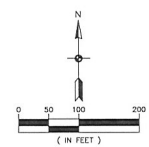
LEGEND

EXISTING	PROPOSED
PROPERTY LINE	---
EASEMENT LINE	- - - -
CURB LINE	=====
CONCRETE WALK	=====
SANITARY SEWER	---S---
STORM SEWER	---SS---
WATER MAIN	---W---
UNDERGROUND GAS	---G---
UNDERGROUND FIBER	---F---
OVERHEAD ELECTRIC	---E---
MANHOLE	⊙
HYDRANT	⊙
GATE VALVE	⊙
SEMPHOPE	⊙
SIGN	⊙
POWER POLE	⊙

SETBACKS

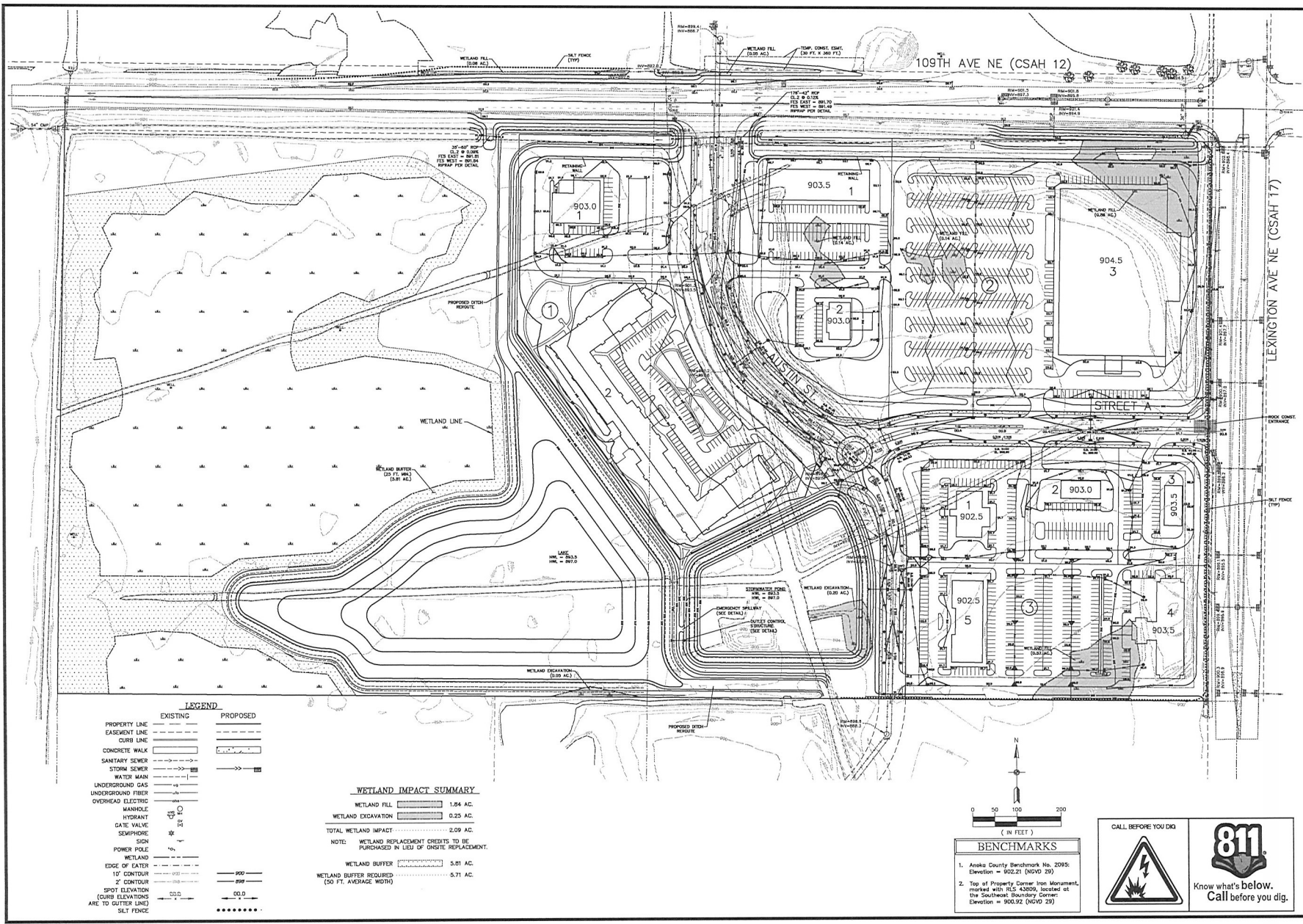
BUILDING
FRONT YARD: 50 FT., OR ONE-HALF BLDG HT, WHICHEVER IS GREATER
SIDE YARD: 15 FT., OR ONE-HALF BLDG HT, WHICHEVER IS GREATER
REAR YARD: 20 FT., OR ONE-HALF BLDG HT, WHICHEVER IS GREATER

PARKING
FRONT YARD: 30 FT.
SIDE YARD: 15 FT.
REAR YARD: 20 FT.



BENCHMARKS

- Anoka County Benchmark No. 2093, Elevation = 802.21 (NGVD 29)
- Top of Property Corner Iron Monument, marked with RLS 43809, located at the Southwest Boundary Corner, Elevation = 800.02 (NGVD 29)



109TH AVE NE (CSAH 12)

LEXINGTON AVE NE (CSAH 17)

STREET A

LEGEND

EXISTING	PROPOSED
PROPERTY LINE	---
EASEMENT LINE	---
CURB LINE	---
CONCRETE WALK	---
SANITARY SEWER	---
STORM SEWER	---
WATER MAIN	---
UNDERGROUND GAS	---
UNDERGROUND FIBER	---
OVERHEAD ELECTRIC	---
MANHOLE	○
HYDRANT	○
GATE VALVE	○
SEMPHOLE	○
SIGN	○
POWER POLE	○
WETLAND	---
EDGE OF WATER	---
10' CONTOUR	---
2' CONTOUR	---
SPOT ELEVATION	○
(CURB ELEVATIONS ARE TO GUTTER LINE)	○
SILT FENCE

WETLAND IMPACT SUMMARY

WETLAND FILL	1.84 AC.
WETLAND EXCAVATION	0.25 AC.
TOTAL WETLAND IMPACT	2.09 AC.
NOTE: WETLAND REPLACEMENT CREDITS TO BE PURCHASED IN LIEU OF ONSITE REPLACEMENT.	
WETLAND BUFFER	5.81 AC.
WETLAND BUFFER REQUIRED (50 FT. AVERAGE WIDTH)	5.71 AC.

0 50 100 200
(IN FEET)

BENCHMARKS

- Anoka County Benchmark No. 2095; Elevation = 902.21 (NGVD 29)
- Top of Property Corner Iron Monument, marked with PLS 42009, located at the Southeast Boundary Corner; Elevation = 900.92 (NGVD 29)



Carlson McCain
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PRELIMINARY GRADING, DRAINAGE, AND EROSION CONTROL PLAN
LEXINGTON MEADOWS
Blaine, Minnesota

WELLINGTON MANAGEMENT, INC.
1625 Energy Park Drive, #100
St. Paul, MN 55108

REVISIONS

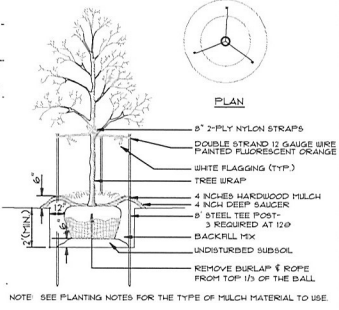
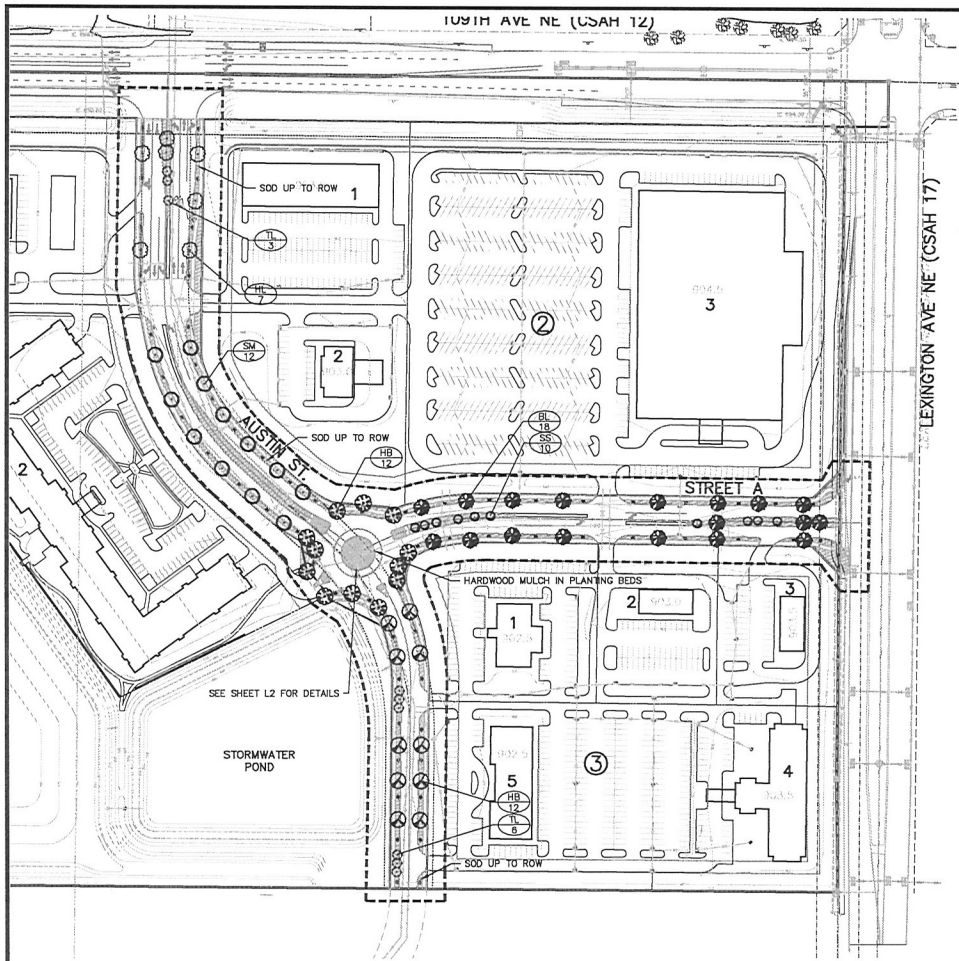
NO.	DATE	DESCRIPTION
1.	02/09/18	Per CHS/RCDW Comments
2.		
3.		
4.		
5.		
6.		

CREATED BY: JPM
DESIGNED BY: JPM
ISSUE DATE: 02/09/18

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly licensed professional engineer under the laws of the State of Minnesota.

Name: Joseph T. Radach, P.E.
Signature: [Signature]
Date: 02/09/18 License #: 45989

6 of 9



NOTE: SEE PLANTING NOTES FOR THE TYPE OF MULCH MATERIAL TO BE USED.
A DECIDUOUS TREE PLANTING DETAIL
 NOT TO SCALE

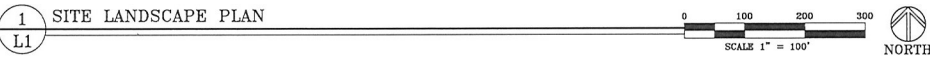
LANDSCAPE LEGEND							
KEY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	QTY.	INSTALL	MAINTENANCE
HL	<i>Gleditsia triacanthos</i> var. <i>Inermis</i> 'Shademaster'	SHADEMASTER HONEYLOCUST	BB	7	10'	50'	
BL	<i>Tilia americana</i> 'Boulevard'	BOULEVARD LINDEN	2.5'	BB	18	15'	60'
HB	<i>Celtis occidentalis</i>	HACKBERRY	2.5'	BB	12	15'	50'
SM	<i>Acer saccharum</i>	SUGAR MAPLE	2.5'	BB	12	14'	50'
RM	<i>Acer rubrum</i> 'Nothwoods'	NORTHWOODS MAPLE	2.5'	BB	10	14'	50'
SS	<i>Morus</i> x 'Spring Snow'	SPRING SNOW CRABAPPLE/ST	BB	10	8'	25'	
TL	<i>Syringa Reticulata</i>	JAPANESE TREE LILAC	1.5'	BB	9	8'	20'

QUANTITIES SHOWN IN THE PLANTING SCHEDULE ARE FOR THE CONTRACTOR'S CONVENIENCE. CONTRACTOR TO VERIFY QUANTITIES SHOWN ON THE PLAN.

SEED MIX LEGEND (FOR ALL SHEETS)		
SYM.	TYPE	SEED MIX
	NATIVE WET PRAIRIE	MN SEED MIX 34-262 (OLD BUSH WS)
	WETLAND FRINGE	MN SEED MIX 33-262 (OLD BUSH WS)
	COMMERCIAL TURF - SOD	HIGHLAND SOD (HEIGHT SOD IS UNACCEPTABLE)
	MNDOT 260	MN SEED MIX 25-121 (80% MINIMUM) (SEE 8)
	HARDWOOD MULCH	(NATURAL COLOR)
	1/2" CRUSHED GRANITE	CRUSHED QUARRY GRANITE

PLANTING NOTES

- ALL PLANTS MUST BE HEALTHY, MGNOROUS MATERIAL, FREE OF PESTS AND DISEASE AND BE CONTAINER GROWN OR BALLED AND BURLAPPED AS INDICATED IN THE LANDSCAPE LEGEND.
- ALL TREES MUST BE STRAIGHT TRUNKED AND FULL HEIGHT AND MEET ALL REQUIREMENTS SPECIFIED.
- THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REJECT ANY PLANTS WHICH ARE DEEMED UNSATISFACTORY BEFORE, DURING, OR AFTER INSTALLATION.
- NO SUBSTITUTIONS OF PLANT MATERIAL SHALL BE ACCEPTED UNLESS APPROVED IN WRITING BY THE LANDSCAPE ARCHITECT.
- ALL PLANTING STOCK SHALL CONFORM TO THE "AMERICAN STANDARD FOR NURSERY STOCK," ANS-260, LATEST EDITION, OF THE AMERICAN ASSOCIATION OF NURSERMEN, INC. AND SHALL CONSTITUTE MINIMUM QUALITY REQUIREMENTS FOR PLANT MATERIALS.
- EXISTING TREES AND SHRUBS TO REMAIN SHALL BE PROTECTED TO THE DRIP LINE FROM ALL CONSTRUCTION TRAFFIC, STORAGE OF MATERIALS, ETC. WITH 4" HI. ORANGE PLASTIC SAFETY FENCING ADEQUATELY SUPPORTED BY STEEL FENCE POSTS @ 6" O.C. MAXIMUM SPACING.
- ALL PLANT MATERIAL, QUANTITIES, SHAPES OF BEDS AND LOCATIONS SHOWN ARE APPROXIMATE. CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLETE COVERAGE OF ALL PLANTING BEDS IN SPACING STRIPS AND ADJUSTED TO CONFORM TO THE EXACT CONDITIONS OF THE SITE. THE LANDSCAPE ARCHITECT SHALL APPROVE THE STAKING LOCATION OF ALL PLANT MATERIALS PRIOR TO INSTALLATION.
- ALL PLANTING AREAS MUST BE COMPLETELY MULCHED AS SPECIFIED.
- MULCH: SHREDDED HARDWOOD MULCH, CLEAN AND FREE OF HAZARDOUS WEEDS OR OTHER HELETERIOUS MATERIAL. IN ALL MASS PLANTING BEDS AND FOR TREES, UNLESS INDICATED AS ROCK MULCH OR GRANULATED GUANO, SAMPLE TO LANDSCAPE ARCHITECT PRIOR TO DELIVERY ON-SITE FOR APPROVAL. DELIVER MULCH ON DAY OF INSTALLATION. USE #4 FOR SHRUB BEDS, AND #7 FOR PERENNIAL/GROUND COVER BEDS, UNLESS OTHERWISE DIRECTED.
- PLACE LANDSCAPE FILTER FABRIC UNDER ALL MULCHED AREAS. FILTER FABRIC SHALL BE 100% INTERLOCKING 316c NEEDLE PUNCHED POLYPROPYLENE FABRIC MANUFACTURED BY DOWET. USE PRO 3 "WEDD BARRIER" OR APPROVED EQUAL.
- PLACE EDGING BETWEEN ALL PLANTING/ROCK BEDS AND TURF. EDGING SHALL BE POLY.
- THE PLAN TAKES PRECEDENCE OVER THE LANDSCAPE LEGEND IF DISCREPANCIES EXIST, THE SPECIFICATIONS TAKE PRECEDENCE OVER THE PLANTING NOTES AND GENERAL NOTES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MULCHES AND PLANTING SOIL QUANTITIES TO COMPLETE THE WORK SHOWN ON THE PLAN. VERIFY ALL QUANTITIES SHOWN ON THE LANDSCAPE LEGEND.
- LONG-TERM STORAGE OF MATERIALS OR SUPPLIES ON-SITE WILL NOT BE ALLOWED.
- THE CONTRACTOR SHALL KEEP PAVEMENTS, PLANTERS AND BUILDINGS CLEAN AND UNDISTURBED. ALL PEDESTRIAN AND VEHICLE ACCESS TO BE MAINTAINED THROUGHOUT CONSTRUCTION PERIOD. ALL WASTES SHALL BE PROMPTLY REMOVED FROM THE SITE. ANY PLANT STOCK NOT PLANTED ON DAY OF DELIVERY SHALL BE HEED IN AND WATERED UNTIL INSTALLATION. PLANTS NOT MAINTAINED IN THIS MANNER WILL BE REJECTED. ANY DAMAGE TO EXISTING FACILITIES SHALL BE REPAVED AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE CODES, REGULATIONS, AND PERMITS GOVERNING THE WORK.
- LOCATE AND VERIFY ALL UTILITIES, INCLUDING IRRIGATION SYSTEMS, WITH THE OWNER FOR PROPRIETARY UTILITIES AND OTHER STATE ONE CALL AT 454-0002 (TWIN CITIES METRO AREA) OR 800-252-1156 (GREATER MINNESOTA) 48 HOURS BEFORE DIGGING. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND REPAIR OF ANY DAMAGES TO SAME. NOTIFY THE LANDSCAPE ARCHITECT OF ANY CONFLICTS TO FACILITATE PLANT RELOCATION.
- USE ANTI-DISICANT (W/PROF OR APPROVED EQUAL) ON DECIDUOUS PLANTS MOVED IN LEAF AND FOR EVERGREENS MOVED ANTYTIME. APPLY AS PER MANUFACTURER'S INSTRUCTION. ALL EVERGREENS SHALL BE SPRAYED IN THE LATE FALL FOR WINTER PROTECTION DURING WINTER PERIOD.
- PLANTING SOIL FOR TREES, SHRUBS AND GROUND COVERS: FERTILE PRIBEL LOAM CONTAINING A LIBERAL AMOUNT OF HUMUS AND CAPABLE OF SUSTAINING MGNOROUS PLANT GROWTH. IT SHALL COMPLY WITH UNDOT SPECIFICATION 3877 TYPE B SELECT TOPSOIL. MIXTURE SHALL BE FREE FROM HAZARDOUS SUBSTANCES, CHEMICALS, NOXIOUS WEEDS, ETC. SOIL MIXTURE SHALL HAVE A PH BETWEEN 6.1 AND 7.3 AND 10-10 TO FERTILIZER AT THE RATE OF 3 POUNDS PER CUBIC YARD. IN PLANTING BEDS INCORPORATE THIS MIXTURE THROUGHOUT THE ENTIRE BED BY ROTILLING TO THE TOP 12" OF SOIL.
- ALL PLANTS SHALL BE GUARANTEED FOR TWO COMPLETE GROWING SEASONS (APRIL 1 - NOVEMBER 31), UNLESS OTHERWISE SPECIFIED. THE GUARANTEE SHALL COVER THE FULL COST OF REPLACEMENT INCLUDING LABOR AND PLANTS.
- CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT AT LEAST 3 DAYS PRIOR TO PLANNED DELIVERY. THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT AT LEAST 24 HOURS IN ADVANCE OF BEGINNING PLANT INSTALLATION.
- SEASON/TIME OF PLANTING AND SEEDING: NOTE: THE CONTRACTOR MAY ELECT TO PLANT IN OFF-SEASONS ENTIRELY AT HIS/HER RISK. DECIDUOUS, FOLIATED PLANTS: 4/1 - 5/1; 9/21 - 11/1. EVERGREENS: 4/1 - 5/1; 9/21 - 11/1. EVERGREEN BALS: 4/1 - 5/1; 9/21 - 11/1. TURF/LAWN SEEDING: 4/1 - 5/1; 7/20 - 9/20. NATIVE MIX SEEDING: 4/1 - 7/20; 9/20-10/20.
- MAINTENANCE SHALL BEGIM IMMEDIATELY AFTER EACH PORTION OF THE WORK IS IN PLACE. PLANT MATERIAL SHALL BE PROTECTED AND MAINTAINED UNTIL THE INSTALLATION OF THE PLANTS IS COMPLETE. INSPECTION HAS BEEN MADE AND PLANTING ARE ACCEPTED. EXCLUDE OF THE GUARANTEE. MAINTENANCE SHALL INCLUDE WATERING, GULTING, MULCHING, REMOVAL OF DEAD MATERIALS, RE-SETTING PLANTS TO PROPER GRADE AND KEEPING PLANTS IN A FLUME POSITION. AFTER ACCEPTANCE, THE OWNER SHALL ASSUME MAINTENANCE RESPONSIBILITIES. HOWEVER, THE CONTRACTOR SHALL CONTINUE TO BE RESPONSIBLE FOR KEEPING THE TREES FLUME THROUGHOUT THE GUARANTEE PERIOD.
- ANY PLANT MATERIAL WHICH DIES, TURNS BROWN, OR DEFOLIATES (PRIOR TO TOTAL ACCEPTANCE OF THE WORK) SHALL BE PROMPTLY REMOVED FROM THE SITE AND REPLACED WITH MATERIAL OF THE SAME SPECIES, QUANTITY, AND SIZE AND MEETING ALL LANDSCAPE LEGEND SPECIFICATIONS.
- WATERING: MAINTAIN A WATERING SCHEDULE WHICH WILL THOROUGHLY WATER ALL PLANTS EACH WEEK, IN EXTREMELY HOT, DRY WEATHER, WATER MORE OFTEN AS REQUIRED BY INDICATIONS OF HEAT STRESS SUCH AS WILTING. CHECK MOISTURE UNDER MULCH PRIOR TO WATERING TO DETERMINE NEED. CONTRACTOR SHALL MAKE THE NECESSARY ADJUSTMENTS FOR WATERING.
- CONTRACTOR SHALL REQUEST IN WRITING, A FINAL ACCEPTANCE INSPECTION.
- ALL DISTURBED AREAS TO BE TURF SEEDED, ARE TO RECEIVE 4" TOP SOIL, SEED, MULCH, AND WATER UNTIL A HEALTHY STAND OF GRASS IS OBTAINED.
- ALL DISTURBED AREAS TO RECEIVE NATIVE WETLAND SEEDING, ARE TO RECEIVE ENGINEERED SOIL, SEED, MULCH, AND WATER UNTIL A HEALTHY STAND OF GRASS IS OBTAINED.



1 SITE LANDSCAPE PLAN

Carlson McCain
 ENVIRONMENTAL - ENGINEERING - SURVEYING
 3890 Pheasant Ridge Dr NE, Blaine, MN 55449
 Phone: 763-489-7900 Fax: 763-489-7959

STREET ROW LANDSCAPE PLAN
 LEXINGTON MEADOWS
 Blaine, Minnesota

WELLINGTON MANAGEMENT, INC.
 1625 Energy Park Drive, #100
 St. Paul, MN 55108

REVISIONS

1.	03/20/18	Per City/PCWD Comments.
2.		
3.		
4.		
5.		
6.		

DRAWN BY: JMC
 CHECKED BY: JMC
 ISSUE DATE: 02/05/18

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Name: James A. McCain
 License No.: 000000000
 Signature: [Signature]
 License # 45073