

Case File No. 13-0013



# CERTIFICATE OF SURVEY

~of~ MARQUEST MEADOWS NORTH  
 Applicant: Shade Tree Construction, Inc.  
 23035 Ulysses Street  
 East Bethel, Mn 55005  
 Contact: Mark Strandlund  
 (763) 434-7962

## PROPERTY DESCRIPTION

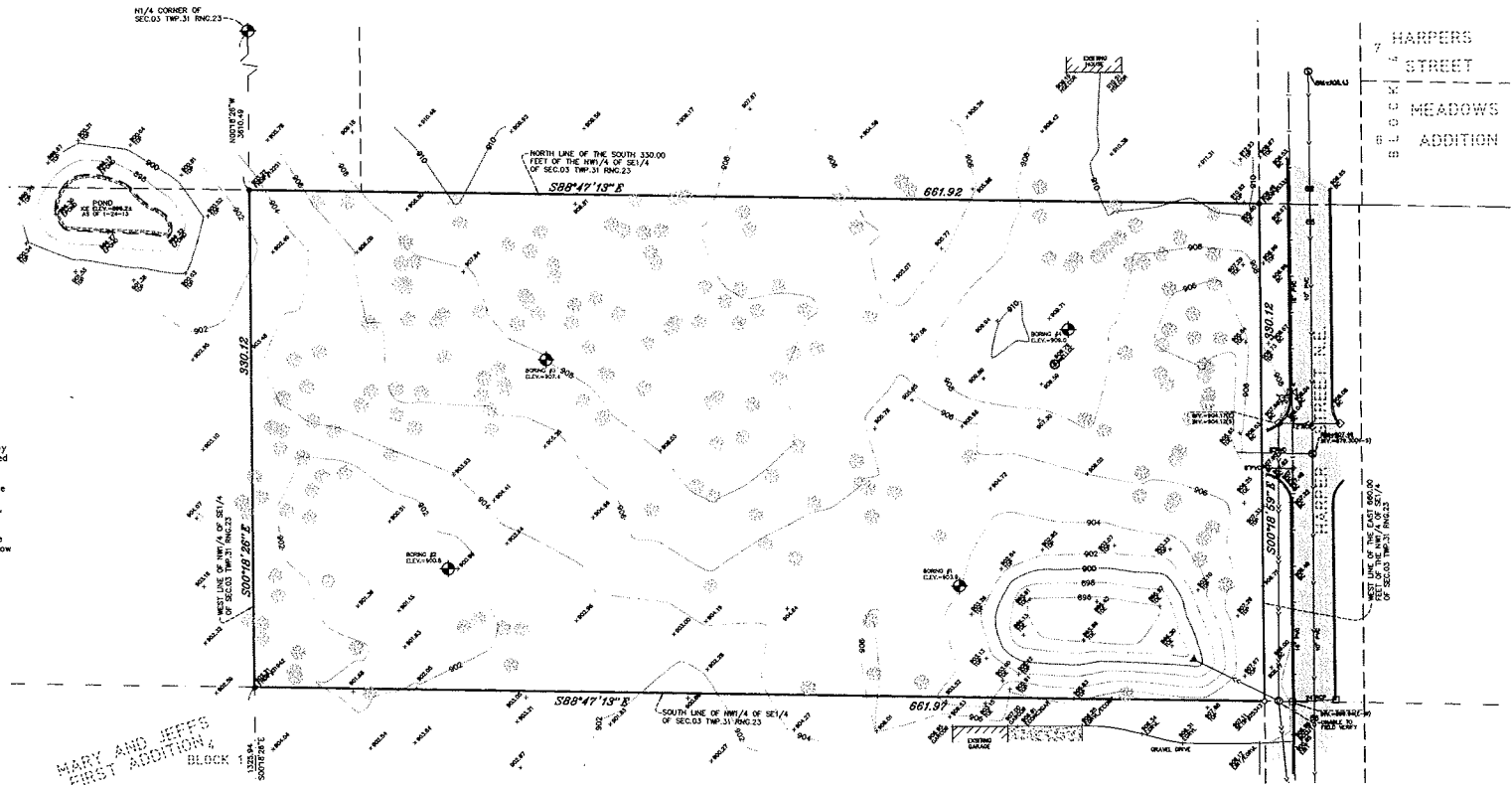
The South 330 feet of the Northwest Quarter of the Southeast Quarter of Section 3, Township 31, Range 23, Anoka County, Minnesota, except the East 660 feet thereof.

## NOTES

- Field survey was completed by E.G. Rud and Sons, Inc. on 01/24/13.
- Bearings shown are on Anoka County datum.
- Curb shots are taken at the top and back of curb.
- Property description came from Title Commitment No. 396329 prepared by Stewart Title Guaranty Company, issued by its Agent, Land Title, Inc. dated 1-28-2013.
- There appears to be no recorded easement for the temporary pond in the southeast corner of the property, according to Title Commitment No. 396329 prepared by Stewart Title Guaranty Company, issued by its Agent, Land Title, Inc. dated 1-28-2013.
- Due to field work being completed during the winter season, there may be improvements in addition to those shown that were not visible due to snow and ice conditions characteristic of Minnesota winters.
- See Preliminary Tree Inventory and Tree Removal Plan for tree size and species.

## LEGEND

- DENOTES IRON MONUMENT FOUND AS LABELED
- DENOTES IRON MONUMENT SET, MARKED RLS# 25343
- ◻ DENOTES ANOKA COUNTY CAST IRON MONUMENT
- ⊠ DENOTES CATCH BASIN
- ⊙ DENOTES STORM SEWER MANHOLE
- ⊕ DENOTES SANITARY SEWER MANHOLE
- ⊖ DENOTES HYDRANT
- ⊗ DENOTES EXISTING SPOT ELEVATION
- ▲ DENOTES STORM SEWER APRON
- ⊙ DENOTES WELL
- DENOTES EXISTING 10 FOOT CONTOUR INTERVAL
- DENOTES EXISTING 2 FOOT CONTOUR INTERVAL
- DENOTES EXISTING SANITARY SEWER
- DENOTES EXISTING STORM SEWER
- DENOTES EXISTING WATER MAIN
- DENOTES CONCRETE SURFACE
- DENOTES BITUMINOUS SURFACE
- DENOTES ENGINEERED SOIL BORING BY OTHERS

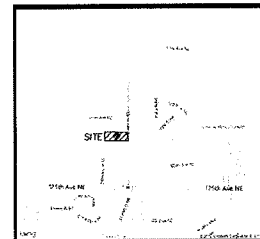


MARY AND JEFF'S FIRST ADDITION 4 BLOCK

HARPERS STREET  
 MEADOWS ADDITION

## VICINITY MAP

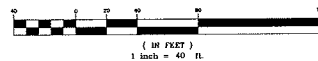
PART OF SEC. 3, TWP. 31, RNG. 23



ANOKA COUNTY, MINNESOTA  
 (NO SCALE)

NORTH

GRAPHIC SCALE



I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Registered Land Surveyor under the laws of the State of Minnesota.

*James E. Napier*  
 James E. Napier  
 Date: 02/07/13 License No. 25343

## BENCHMARK

I.N.H. ○ NORTHWEST QUADRANT OF HARPER STREET AND FUTURE 127TH AVENUE NE ELEVATION = 911.23

NO.	DATE	DESCRIPTION	BY
1			
2			
3			

# PRELIMINARY PLAT

~of~ MARQUEST MEADOWS NORTH  
 Applicant: Shade Tree Construction, Inc.  
 23035 Ulysses Street  
 East Bethel, Mn 55005  
 Contact: Mark Strandlund  
 (763) 434-7962

## PROPERTY DESCRIPTION

The South 330 feet of the Northwest Quarter of the Southeast Quarter of Section 3, Township 31, Range 23, Anoka County, Minnesota, except the East 660 feet thereof.

## AREA COMPUTATIONS

TOTAL AREA SITE AREA: 5.014 ACRES  
 15 PROPOSED SINGLE FAMILY LOTS  
 DENSITY: 2.992 UNITS/ACRE

## ZONING AND SETBACKS

CURRENT ZONING IS D-FLEX (DEVELOPMENT FLEX)  
 PROPOSED ZONING IS D-FLEX (DEVELOPMENT FLEX)  
 THE LOT REQUIREMENTS ARE NOT PREDETERMINED FOR THIS ZONING. THE CITY HAS RECOMMENDED THE FOLLOWING:

FRONT SETBACK 25 FEET  
 HOUSE SIDE SETBACK (INTERIOR) 10 FEET  
 GARAGE SIDE SETBACK 5 FEET  
 REAR SETBACK 30 FEET  
 CORNER SIDE YARD SETBACK 20 FEET

DEVELOPMENT REQUIREMENTS FOR ZONE R1 (SINGLE FAMILY RESIDENTIAL)  
 MINIMUM LOT AREA (NOT PROVIDED) 10,000 S.F.  
 MINIMUM LOT WIDTH (NOT PROVIDED) 80 FEET AT SETBACK LINE  
 MINIMUM STREET FRONTAGE (NOT PROVIDED) 60 FEET  
 MINIMUM LOT DEPTH (NOT PROVIDED) 125 FEET

## NOTES

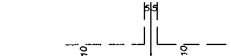
- Field survey was completed by E.G. Rud and Sons, Inc. on 01/24/13.
- Bearings shown are on Anoka County datum.
- Curb shots are taken at the top and back of curb.
- Property description comes from Title Commitment No. 396329 prepared by Stewort Title Guaranty Company, Issued by its Agent, Land Title, Inc. dated 1-28-2013.
- Due to field work being completed during the winter season there may be improvements in addition to those shown that were not visible due to snow and ice conditions characteristic of Minnesota winters.

## LEGEND

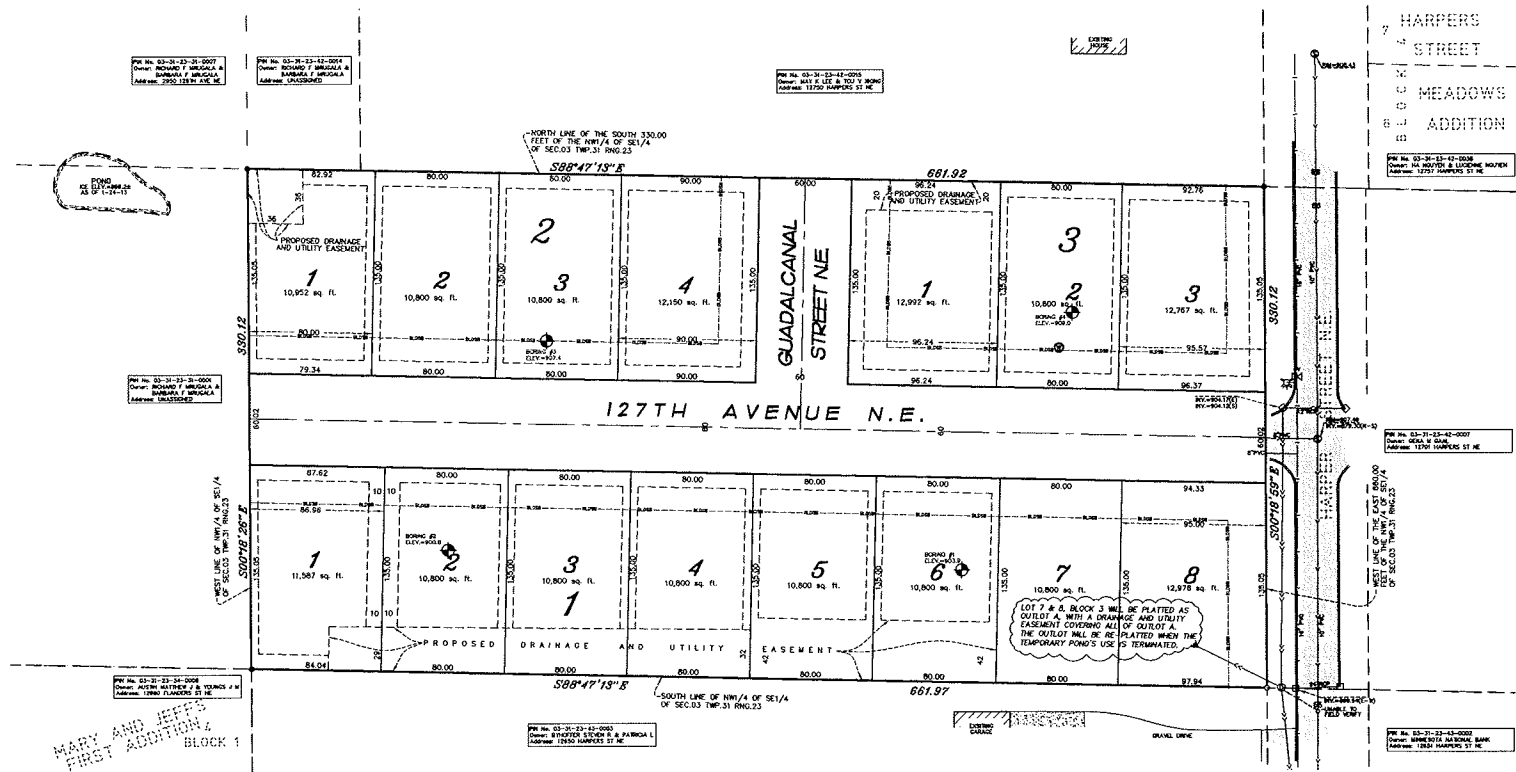
- DENOTES IRON MONUMENT FOUND AS LABELED
- DENOTES IRON MONUMENT SET, MARKED RLS# 25343
- DENOTES CATCH BASIN
- ⊙ DENOTES STORM SEWER MANHOLE
- ⊙ DENOTES SANITARY SEWER MANHOLE
- ⊙ DENOTES HYDRANT
- ⊙ DENOTES STORM SEWER APRON
- ⊙ DENOTES WELL
- DENOTES EXISTING SANITARY SEWER
- DENOTES EXISTING STORM SEWER
- DENOTES EXISTING WATER MAIN
- DENOTES BUILDING SETBACK LINE
- DENOTES CONCRETE SURFACE
- DENOTES BITUMINOUS SURFACE
- DENOTES ADJACENT PARCEL OWNER INFORMATION (PER ANOKA COUNTY GIS INFORMATION)
- ⊙ DENOTES ENGINEERED SOIL BORING BY OTHERS

**E. G. RUD & SONS, INC.**  
 Professional Land Surveyors  
 6776 Lake Drive NE, Suite 110  
 Lino Lakes, MN 55014  
 Tel. (651) 361-8200 Fax (651) 361-8701

DRAINAGE AND UTILITY EASEMENTS ARE SHOWN THUS:

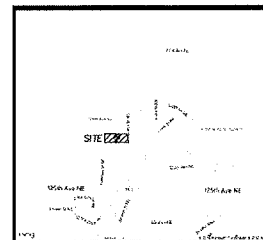


BEING 5 FEET IN WIDTH AND ADJOINING SIDE LOT LINES AND 10 FEET IN WIDTH AND ADJOINING STREET LINES AND REAR LOT LINES, UNLESS OTHERWISE SHOWN ON THIS PLAT.



## VICINITY MAP

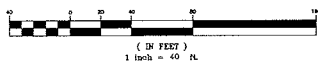
PART OF SEC. 3, TWP. 31, RANG. 23



ANOKA COUNTY, MINNESOTA  
 (NO SCALE)

NORTH

GRAPHIC SCALE



HARPERS STREET  
 MEADOWS ADDITION

## BENCHMARK

T.N.H. ● NORTHWEST QUADRANT OF HARPER STREET AND FUTURE 127TH AVENUE NE  
 ELEVATION = 911.23

I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Registered Land Surveyor under the laws of the State of Minnesota.

Joseph E. Napier  
 Date: 04/11/13 License No. 25343

NO.	DATE	DESCRIPTION	BY
1	04-11-13	Revised Proposed Comments	JEN
2			
3			

BLOCK

DRAWN BY: A.C.  
 DESIGN BY: A.C.  
 CHECKED BY: C.W.P.  
 PROJ. NO.: 13-1395  
 ORIGINAL DATE: FEBRUARY 7, 2013

DATE	REVISION DESCRIPTION
	1. REVISION DESCRIPTION
	2. REVISION DESCRIPTION
	3. REVISION DESCRIPTION
	4. REVISION DESCRIPTION
	5. REVISION DESCRIPTION
	6. REVISION DESCRIPTION
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	10. REVISION DESCRIPTION

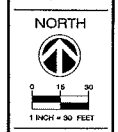
I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.  
 CHARLES W. FLOWE  
 DATE: 4/12/2013 LIC. NO. 10327

MARQUEST MEADOWS NORTH  
 BLAINE, MN  
 GRADING, DRAINAGE & EROSION CONTROL PLAN

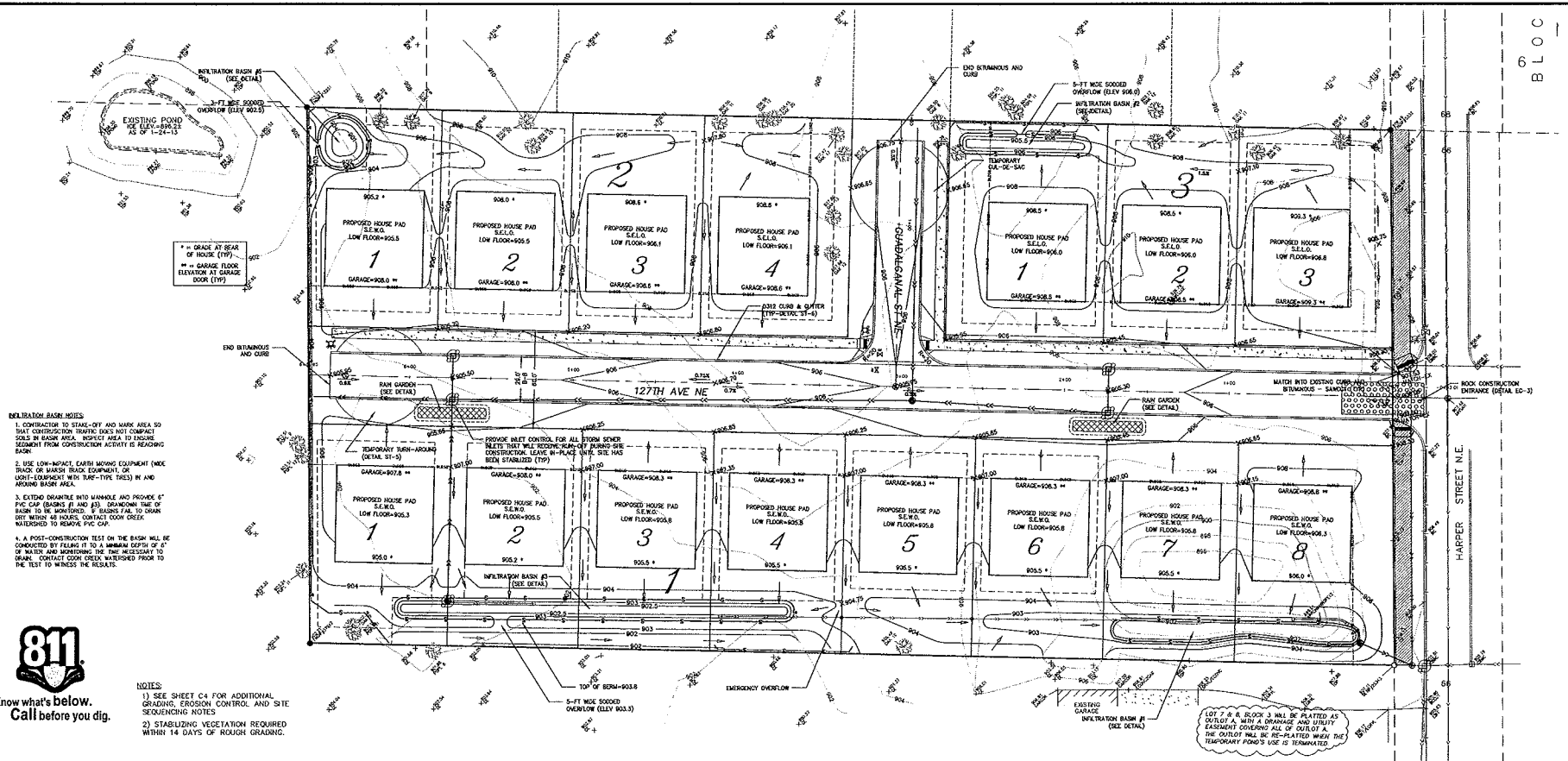
PREPARED FOR:  
 SHADE TREE CONSTRUCTION



PLOWE ENGINEERING, INC.  
 8776 LAKE DRIVE  
 SUITE 110  
 LAND LAKE, MN 55044  
 PHONE: (651) 961-8210  
 FAX: (651) 961-8701



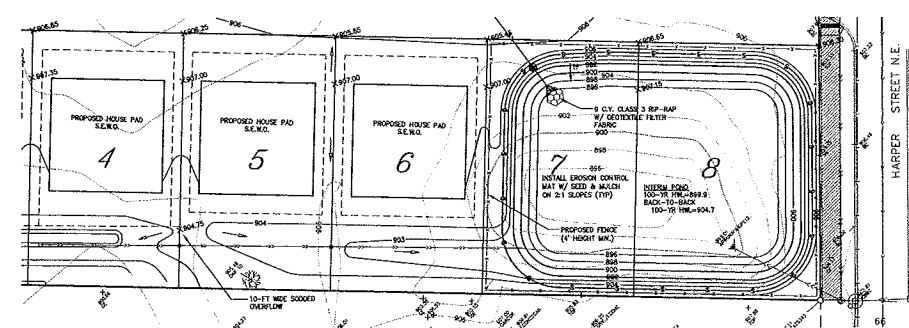
**C1**



- INFILTRATION BASIN NOTES**
1. CONTRIBUTE TO STAKE-OFF AND MARK AREA TO THAT CONSTRUCTION TRAFFIC DOES NOT COMPACT SOILS IN BASIN AREA. MONITOR AREA TO INSURE SEGMENT FROM CONSTRUCTION ACTIVITY IS READING BASIN.
  2. USE LOW-IMPACT EARTH MOVING EQUIPMENT (NOISE TRACKS OR BARNY TRACK EQUIPMENT) OR LIGHT-CONCRETE WALK-BE-TYPE TRACKS IN AND AROUND BASIN AREA.
  3. EXTEND GRANITE INTO MANHOLE AND PROVIDE 6" PVC CAP (GRADE 1/2" AND 3/4"). DRAINAGE TUBE OF BASIN TO BE MONITORED. 6" DRAINAGE PIP TO DRAIN USE WITHIN 48 HOURS. CONTACT COON CREEK WATERSHED TO REMOVE PVC CAP.
  4. A POST-CONSTRUCTION TEST ON THE BASIN WILL BE CONDUCTED BY FILING IT TO A MINIMUM DEPTH OF 6" OF WATER AND MONITORING THE TIME NECESSARY TO DRAIN. CONTACT COON CREEK WATERSHED PRIOR TO THE TEST TO WITNESS THE RESULTS.



- NOTES**
- 1) SEE SHEET C4 FOR ADDITIONAL GRADING, EROSION CONTROL AND SITE SEQUENCING NOTES.
  - 2) STABILIZING VEGETATION REQUIRED WITHIN 14 DAYS OF ROUGH GRADING.



INTERIM PONDING BASIN - GRADING  
 N.T.S.

NOTE: INTERIM PONDING BASIN TO REMAIN IN-PLACE UNTIL DOWNSTREAM STORM SEWER AND PONDING IS IN-PLACE AND OPERATIONAL.

- GENERAL NOTES**
- 1) THE INFORMATION SHOWN ON THESE DRAWINGS CONCERNING TYPE AND LOCATION OF EXISTING UTILITIES IS NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIS OWN DETERMINATION AS TO TYPE AND LOCATION OF UTILITIES AS NECESSARY TO AVOID DAMAGE TO THESE UTILITIES.
  - 2) CALL "811" FOR EXISTING UTILITIES LOCATIONS PRIOR TO ANY EXCAVATIONS.
  - 3) THE CONTRACTOR SHALL FIELD VERIFY SIZE, ELEVATION, AND LOCATION OF EXISTING SANITARY SEWERS, STORM SEWER, AND WATER MAIN AND NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO THE START OF INSTALLATIONS.
  - 4) INSTALLATIONS SHALL CONFORM TO THE CITY STANDARD SPECIFICATIONS AND DETAIL PLATES.
  - 5) THE CONTRACTOR SHALL NOTIFY CITY PUBLIC WORKS DEPARTMENT A MINIMUM OF 24 HOURS PRIOR TO THE INTERSECTION OF ANY SEWER OR WATER SERVICES TO EXISTING HOMES OR BUSINESSES.
  - 6) STORAGE OF MATERIALS OR EQUIPMENT SHALL NOT BE ALLOWED ON PUBLIC STREETS OR INTER-PUBLIC RIGHT-OF-WAY.
  - 7) NOTIFY CITY A MINIMUM OF 48 HOURS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
  - 8) ALL ELECTRIC TELEPHONE AND GAS EXTENSIONS INCLUDING SERVICE LINES SHALL BE CONSTRUCTED TO THE APPROPRIATE UTILITY COMPANY SPECIFICATIONS. ALL UTILITY DISCONNECTIONS SHALL BE COORDINATED WITH THE APPROPRIATE UTILITY COMPANY.

**LEGEND**

	EXISTING STORM SEWER		PROPOSED WATER PIPE
	EXISTING WATER MAIN		PROPOSED SANITARY SEWER PIPE
	EXISTING SANITARY SEWER		PROPOSED STORM SEWER PIPE
	EXISTING STORM MANHOLE		PROPOSED MANHOLE
	EXISTING CATCH BASIN		PROPOSED CATCHMENT
	EXISTING FLARED-END SECTION		PROPOSED SPOT ELEVATION
	EXISTING GATE VALVE		EXISTING MANHOLE MANHOLE OR CATCHMENT MANHOLE
	EXISTING HYDRANT		PROPOSED SILT FENCE (DETAIL EC-1)
	EXISTING SANITARY SEWER MANHOLE		PROPOSED DIRECTION OF DRAINAGE
	EXISTING CATCHMENT		PROPOSED RP-RAP (DETAIL SD-4)
	EXISTING SPOT ELEVATION		PROPOSED INLET PROTECTION (DETAIL EC-8)
	EXISTING TREES		

GRADING, DRAINAGE & EROSION CONTROL PLAN  
 MARQUEST MEADOWS NORTH

# OVERALL CONCEPT PLAN

~for~ SHADE TREE CONSTRUCTION, INC.  
 ~of~ 12700 HARPERS STREET NE

## PROPERTY DESCRIPTION

The south 330 feet of the Northwest Quarter of the Southeast Quarter of Section 3, Township 31, Range 23, except the east 660 feet thereof, except road, located in Anoka County, Minnesota.

## ZONING AND SETBACKS

CURRENT ZONING IS D-FLEX (DEVELOPMENT FLEX)  
 PROPOSED ZONING IS D-FLEX (DEVELOPMENT FLEX)

THE LOT REQUIREMENTS ARE NOT PREDETERMINED FOR THIS ZONING. THE CITY HAS RECOMMENDED THE FOLLOWING:

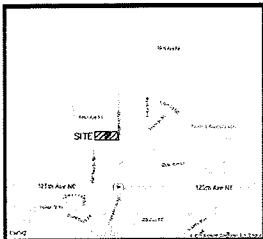
FRONT SETBACK 25 FEET  
 HOUSE SIDE SETBACK (INTERIOR) 10 FEET  
 HOUSE SIDE SETBACK (CORNER) 5 FEET  
 REAR SETBACK 30 FEET

DEVELOPMENT REQUIREMENTS FOR ZONE R1 (SINGLE FAMILY RESIDENTIAL)

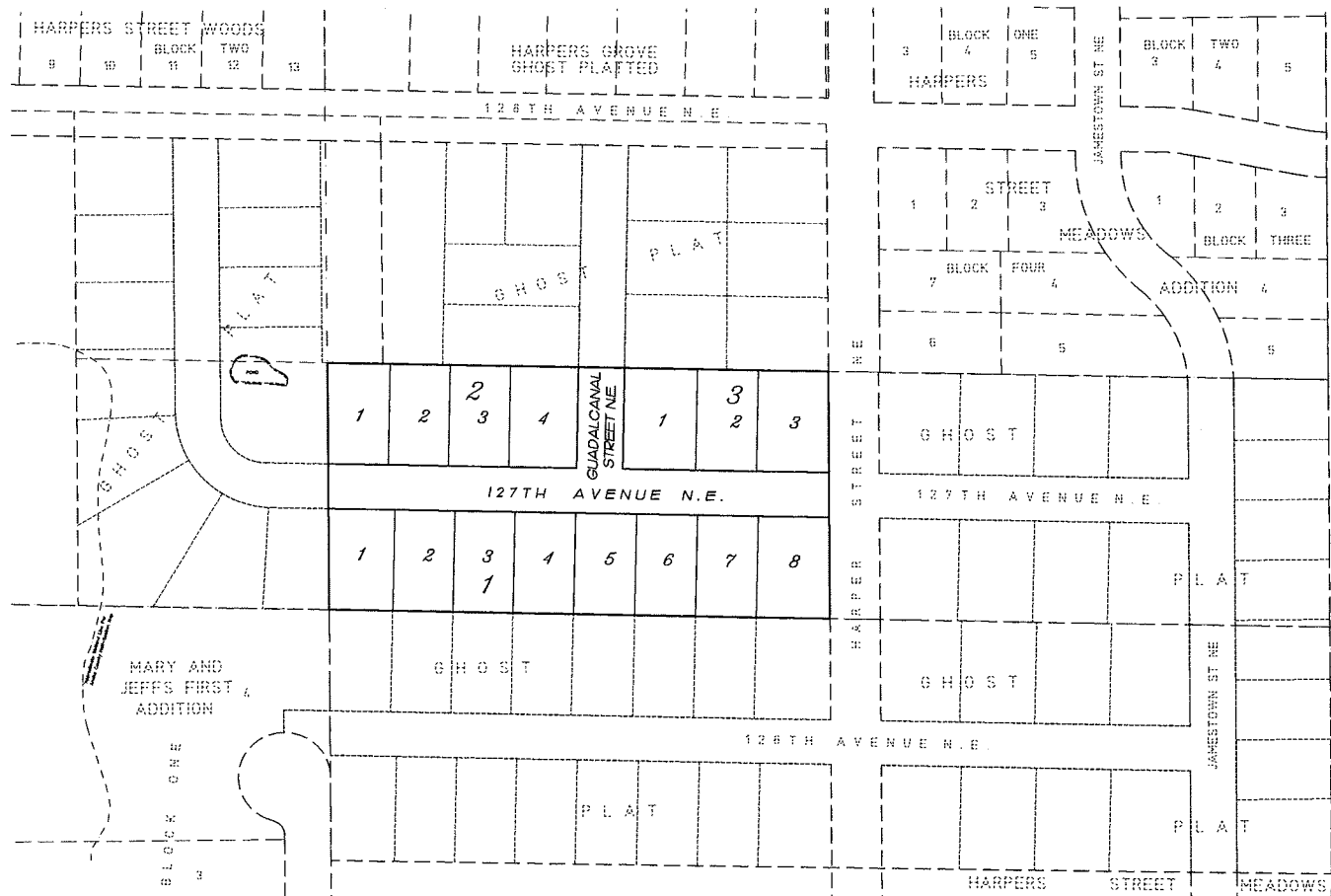
MINIMUM LOT AREA (NOT PROVIDED) 10,000 S.F.  
 MINIMUM LOT WIDTH (NOT PROVIDED) 80 FEET AT SETBACK LINE  
 MINIMUM STREET FRONTAGE (NOT PROVIDED) 60 FEET  
 MINIMUM LOT DEPTH (NOT PROVIDED) 125 FEET

## VICINITY MAP

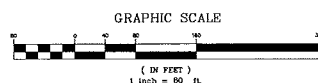
PART OF SEC. 3, TWP. 31, RANG. 23



ANOKA COUNTY, MINNESOTA  
 (NO SCALE)



**E. G. RUD & SONS, INC.**  
 Professional Land Surveyors  
 6776 Lake Drive NE, Suite 110  
 Lino Lakes, MN 55014  
 Tel. (651) 361-8200 Fax (651) 361-8701



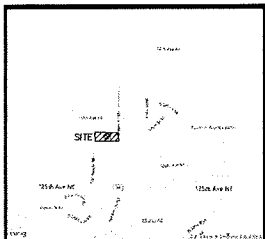
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CHECK BY: JDN	SCANNED <input type="checkbox"/>	
1		
2		
3		
NO.	DATE	DESCRIPTION
		BY

# PRELIMINARY TREE INVENTORY AND TREE REMOVAL PLAN

~of~ MARQUEST MEADOWS NORTH  
 Applicant: Shade Tree Construction, Inc.  
 23035 Ulysses Street  
 East Bethel, Mn 55005  
 Contact: Mark Strandlund  
 (763) 434-7962

## VICINITY MAP

PART OF SEC. 3, TWP. 31, RANG. 23



ANOKA COUNTY, MINNESOTA  
 (NO SCALE)

## TREE NOTES

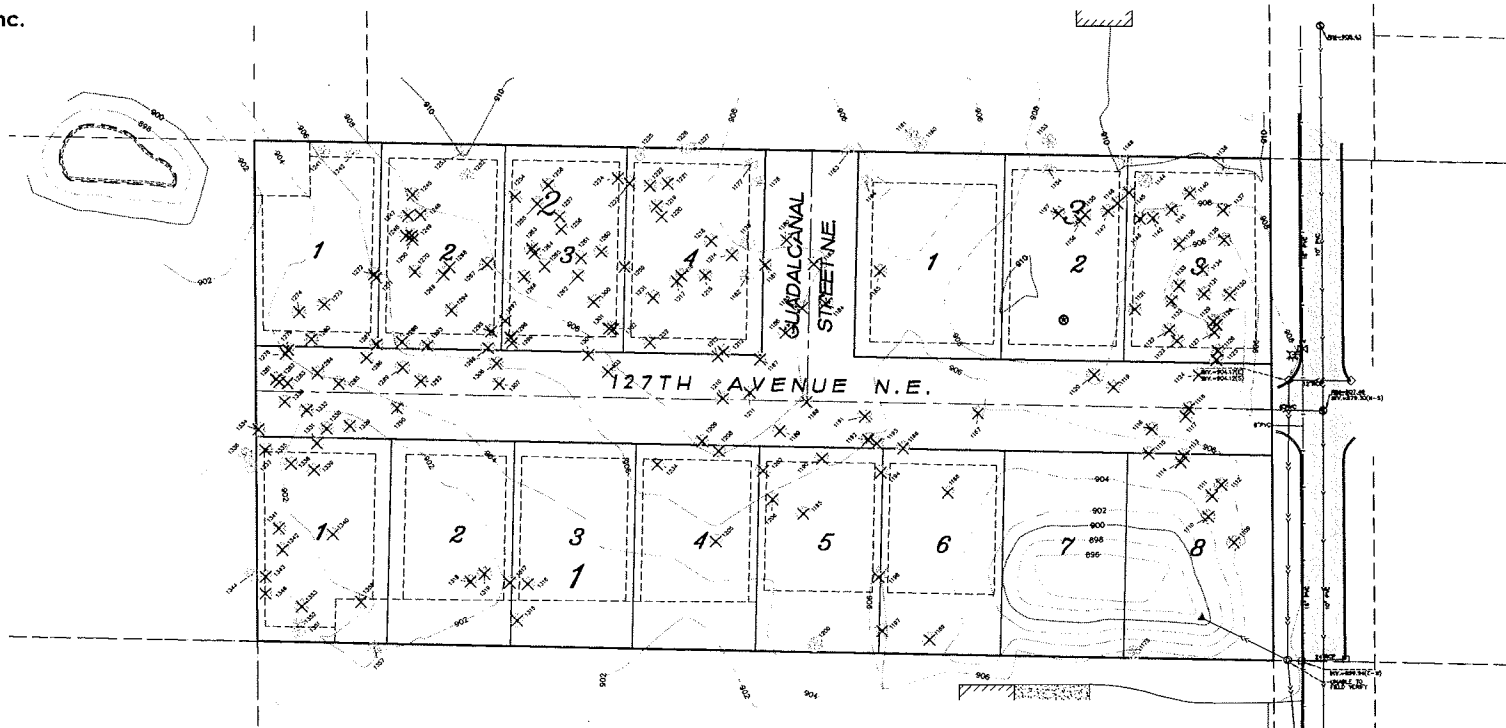
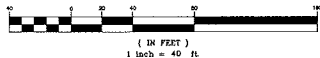
- Field survey was completed by E.G. Rud and Sons, Inc. on 01/24/13.
- Trees shown are 8 inches in diameter or larger.

## LEGEND

- DENOTES CATCH BASIN
- ⊙ DENOTES STORM SEWER MANHOLE
- ⊕ DENOTES SANITARY SEWER MANHOLE
- ⊗ DENOTES HYDRANT
- ⊙ DENOTES EXISTING SPOT ELEVATION
- ⊙ DENOTES STORM SEWER APRON
- ⊙ DENOTES WELL
- DENOTES EXISTING 10 FOOT CONTOUR INTERVAL
- DENOTES EXISTING 2 FOOT CONTOUR INTERVAL
- DENOTES EXISTING SANITARY SEWER
- DENOTES EXISTING STORM SEWER
- DENOTES EXISTING WATER MAIN
- DENOTES CONCRETE SURFACE
- DENOTES BITUMINOUS SURFACE
- ✕ DENOTES PROPOSED TREE REMOVAL

NORTH

GRAPHIC SCALE



LEGEND				TREE INVENTORY LIST				TREE COUNT			
10" = TREE SIZE -2 = NUMBER OF TREES								TOTAL OVERSTORY DECIDUOUS SHADE TREES - 200 TREES TO REMAIN - 28			
TREE NO.	TREE TYPE AND SIZE	TREE NO.	TREE TYPE AND SIZE	TREE NO.	TREE TYPE AND SIZE	TREE NO.	TREE TYPE AND SIZE	TREE NO.	TREE TYPE AND SIZE	TREE NO.	TREE TYPE AND SIZE
1109	OAK 14"	1156	MAPLE 10"	1213	OAK 11"	1268	OAK 13"	1331	POPLAR 11"	1396	OAK 12"
1110	OAK 11"	1157	OAK 19"	1214	OAK 11"	1269	OAK 8"	1332	POPLAR 9"	1397	OAK 12"
1111	OAK 12"-2	1158	POP 11"	1215	OAK 10"	1270	OAK 9"-2	1333	POPLAR 9"	1398	OAK 12"
1112	OAK 12"-2	1159	POP 11"	1216	OAK 10"	1271	OAK 10"	1334	POPLAR 9"	1399	OAK 10"
1113	OAK 12"	1160	OAK 8"	1217	OAK 9"	1272	OAK 8"	1335	OAK 13"	1400	OAK 10"
1114	OAK 8"	1161	OAK 9"	1218	OAK 11"	1273	OAK 11"	1336	OAK 11"	1401	OAK 11"
1115	OAK 8"	1162	OAK 8"	1219	OAK 12"	1274	OAK 8"	1337	POPLAR 12"	1402	OAK 10"
1116	OAK 8"	1163	OAK 8"	1220	OAK 9"	1275	OAK 11"	1338	POPLAR 10"	1403	OAK 11"
1117	OAK 18"	1164	BOHERRY 10"	1221	OAK 14"-2	1276	OAK 13"	1339	POPLAR 8"	1404	OAK 10"
1118	OAK 18"	1165	MAPLE 9"	1222	OAK 11"	1277	OAK 14"	1340	ELM 11"	1405	OAK 10"
1119	OAK 8"	1166	OAK 9"	1223	OAK 10"	1278	OAK 14"	1341	POPLAR 8"	1406	OAK 10"
1120	OAK 10"	1167	OAK 8"	1224	OAK 10"	1279	OAK 14"-2	1342	POPLAR 8"	1407	OAK 10"
1121	OAK 10"	1168	OAK 10"	1225	OAK 11"	1280	OAK 8"	1343	POPLAR 8"	1408	OAK 10"
1122	OAK 15"	1169	OAK 8"	1226	OAK 12"	1281	OAK 15"	1344	POPLAR 11"	1409	OAK 10"
1123	OAK 11"	1170	OAK 8"	1227	OAK 20"	1282	OAK 12"	1345	POPLAR 8"	1410	OAK 10"
1124	OAK 14"	1171	OAK 13"	1228	OAK 10"	1283	OAK 12"	1346	POPLAR 11"	1411	OAK 10"
1125	OAK 12"	1172	OAK 13"	1229	OAK 10"	1284	OAK 12"	1347	POPLAR 11"	1412	OAK 10"
1126	OAK 23"	1173	OAK 13"-2	1230	OAK 9"	1285	OAK 12"	1348	OAK 8"	1413	OAK 10"
1127	OAK 15"	1174	OAK 13"	1231	OAK 15"	1286	OAK 12"	1349	OAK 10"	1414	OAK 10"
1128	OAK 20"	1175	OAK 13"	1232	OAK 15"	1287	OAK 20"	1350	OAK 17"	1415	OAK 10"
1129	OAK 18"	1176	OAK 15"	1233	OAK 9"	1288	OAK 28"	1351	POPLAR 8"	1416	OAK 10"
1130	OAK 8"	1177	OAK 12"	1234	OAK 15"	1289	OAK 13"-2	1352	POPLAR 8"	1417	OAK 10"
1131	OAK 17"	1178	OAK 12"	1235	OAK 11"	1290	OAK 15"	1353	POPLAR 8"	1418	OAK 10"
1132	OAK 10"-2	1179	OAK 14"	1236	OAK 11"	1291	OAK 15"	1354	POPLAR 8"	1419	OAK 10"
1133	OAK 14"	1180	OAK 11"	1237	OAK 11"	1292	OAK 10"	1355	OAK 10"	1420	OAK 10"
1134	OAK 12"	1181	OAK 11"	1238	OAK 11"	1293	OAK 10"	1356	OAK 10"	1421	OAK 10"
1135	OAK 18"	1182	OAK 15"	1239	OAK 10"	1294	OAK 10"	1357	OAK 10"	1422	OAK 10"
1136	OAK 15"	1183	OAK 15"	1240	OAK 10"	1295	OAK 10"	1358	OAK 10"	1423	OAK 10"
1137	OAK 22"	1184	OAK 15"	1241	OAK 10"	1296	OAK 10"	1359	OAK 10"	1424	OAK 10"
1138	OAK 14"	1185	OAK 15"	1242	OAK 9"	1297	OAK 10"	1360	OAK 10"	1425	OAK 10"
1139	OAK 8"	1186	OAK 15"	1243	OAK 10"	1298	OAK 10"	1361	OAK 10"	1426	OAK 10"
1140	OAK 14"	1187	OAK 12"	1244	OAK 10"	1299	OAK 10"	1362	OAK 10"	1427	OAK 10"
1141	OAK 14"	1188	OAK 12"	1245	OAK 10"	1300	OAK 10"	1363	OAK 10"	1428	OAK 10"
1142	OAK 13"	1189	OAK 10"	1246	OAK 10"	1301	OAK 10"	1364	OAK 10"	1429	OAK 10"
1143	OAK 13"	1190	OAK 10"	1247	OAK 10"	1302	OAK 10"	1365	OAK 10"	1430	OAK 10"
1144	OAK 18"	1191	OAK 10"	1248	OAK 10"	1303	OAK 10"	1366	OAK 10"	1431	OAK 10"
1145	OAK 12"	1192	OAK 9"	1249	OAK 10"	1304	OAK 10"	1367	OAK 10"	1432	OAK 10"
1146	OAK 10"	1193	OAK 9"	1250	OAK 10"	1305	OAK 10"	1368	OAK 10"	1433	OAK 10"
1147	OAK 12"	1194	OAK 9"	1251	OAK 10"	1306	OAK 10"	1369	OAK 10"	1434	OAK 10"
1148	OAK 11"	1195	OAK 9"	1252	OAK 10"	1307	OAK 10"	1370	OAK 10"	1435	OAK 10"
1149	OAK 11"	1196	OAK 9"	1253	OAK 10"	1308	OAK 10"	1371	OAK 10"	1436	OAK 10"
1150	OAK 12"	1197	OAK 9"	1254	OAK 10"	1309	OAK 10"	1372	OAK 10"	1437	OAK 10"
1151	OAK 12"	1198	OAK 9"	1255	OAK 10"	1310	OAK 10"	1373	OAK 10"	1438	OAK 10"
1152	OAK 12"	1199	OAK 9"	1256	OAK 10"	1311	OAK 10"	1374	OAK 10"	1439	OAK 10"
1153	OAK 12"	1200	OAK 9"	1257	OAK 10"	1312	OAK 10"	1375	OAK 10"	1440	OAK 10"
1154	OAK 12"	1201	OAK 9"	1258	OAK 10"	1313	OAK 10"	1376	OAK 10"	1441	OAK 10"
1155	OAK 9"	1202	OAK 8"	1259	OAK 9"	1314	OAK 10"	1377	OAK 10"	1442	OAK 10"
		1203	OAK 8"	1260	OAK 9"	1315	OAK 10"	1378	OAK 10"	1443	OAK 10"
		1204	OAK 8"	1261	OAK 9"	1316	OAK 10"	1379	OAK 10"	1444	OAK 10"
		1205	OAK 8"	1262	OAK 9"	1317	OAK 10"	1380	OAK 10"	1445	OAK 10"
		1206	OAK 8"	1263	OAK 9"	1318	OAK 10"	1381	OAK 10"	1446	OAK 10"
		1207	OAK 8"	1264	OAK 9"	1319	OAK 10"	1382	OAK 10"	1447	OAK 10"
		1208	OAK 8"	1265	OAK 9"	1320	OAK 10"	1383	OAK 10"	1448	OAK 10"
		1209	OAK 8"	1266	OAK 9"	1321	OAK 10"	1384	OAK 10"	1449	OAK 10"
		1210	OAK 8"	1267	OAK 9"	1322	OAK 10"	1385	OAK 10"	1450	OAK 10"
		1211	OAK 8"	1268	OAK 9"	1323	OAK 10"	1386	OAK 10"	1451	OAK 10"
		1212	OAK 8"	1269	OAK 9"	1324	OAK 10"	1387	OAK 10"	1452	OAK 10"

## BENCHMARK

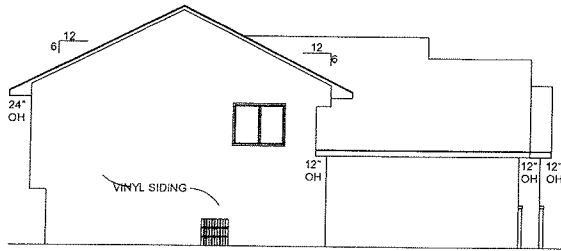
T.N.H. 8 NORTHWEST QUADRANT OF HARPER STREET AND FUTURE 127TH AVENUE N.E. ELEVATION = 911.23

I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Registered Land Surveyor under the laws of the State of Minnesota.

John E. Nispien  
 Date: 04/11/13 License No. 25343

DRAWN BY: JEN	JOB NO. 130429P	DATE: 1-24-13
CHECK BY: JEN	SCANNED [E]	
1	4-11-13	additional tree removed
2		
3		
NO.	DATE	DESCRIPTION



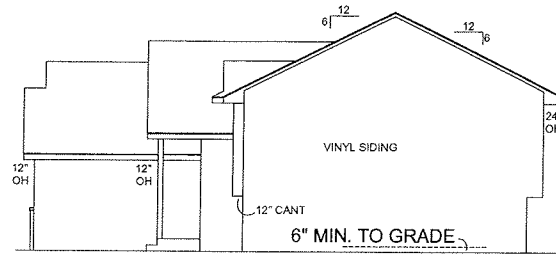


**LEFT ELEVATION**

SCALE: 1/8"=1'-0"

NO OCCUPANCY CERTIFICATE BEFORE FINAL ELECTRICAL INSPECTION

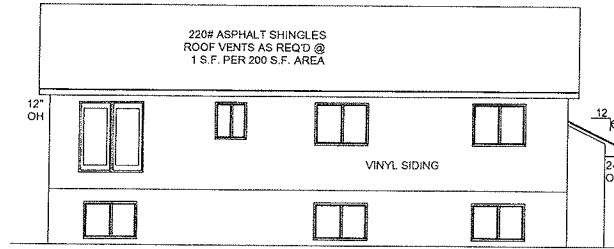
CLEAN AREA OF ALL CONSTRUCTION DEBRIS  
EGRESS WINDOWS REQUIRED IN EACH BEDROOM AND BASEMENT



**RIGHT ELEVATION**

SCALE: 1/8"=1'-0"

NO OCCUPANCY CERTIFICATE PRIOR TO WATER METER AND REMOTE INSTALLATION

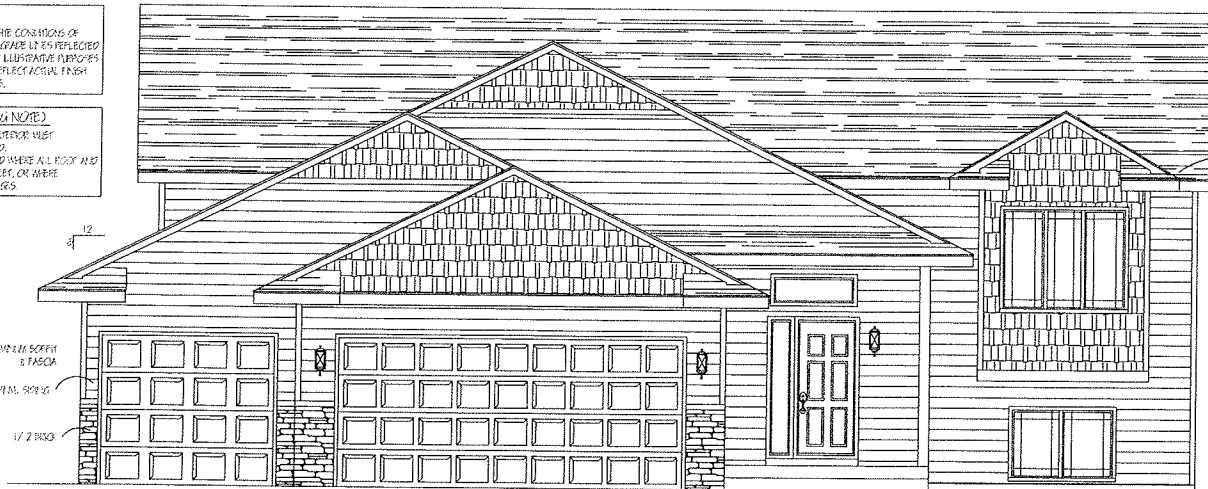


**REAR ELEVATION**

SCALE: 1/8"=1'-0"

**SLIP NOTICE:**  
DUE TO THE VARIOUS SHE CONDITIONS OF 1" SQUARE LOGS, THE GRADE IS REFLECTED BY THIS PRINT ARE FOR ILLUSTRATIVE PURPOSES ONLY, AND DO NOT REFLECT ACTUAL FINISH GRADE OR ELEVATIONS.

**SLIPS (FLASHING) NOTE:**  
- ALL OPENINGS TO EXTERIOR MUST BE CALLED & FLASHED.  
- FLASHING IS REQUIRED WHERE ALL ROOF AND TERRAZZO SURFACES MEET, OR WHERE SWING MATERIAL CHANGES.



#15 FELT ON FIBERBOARD SHEATHING BEFORE BRICK, VENEER OR CEDAR/REDWOOD

**FRONT ELEVATION**

1403 SQ. FT. SCALE: 1/4"=1'-0"

HOUSE NUMBERS REQUIRED DO NOT INSTALL ON GARAGE DOOR

**ENERGY CODE NOTE:**

CONTRACTOR AND SUB-CONTRACTORS ARE RESPONSIBLE FOR COMPLIANCE OF THE CURRENT CODE AS REQUIRED.

HOME TO BE BUILT TO ALL CATEGORY 1 REQUIREMENTS INCLUDING BUT NOT LIMITED TO THE FOLLOWING.

1. INTERIOR VAPOR RETARDER ON INSULATED CEILINGS, WALLS & FLOORS.
2. CONTINUOUS AIR BARRIER AT ALL PLUMBING AND HEATING PENETRATIONS.
3. FIRE STOPS MUST BE INSTALLED TO BLOCK AIR MOVEMENT INTO ATTIC.
4. PENETRATIONS IN THE BUILDING ENVELOPE FOR ELECTRICAL AND TELECOMMUNICATIONS EQUIPMENT (EXCEPT FOR ELECTRICAL BOXES AND FAN HOUSINGS) MUST BE SEALED TO PREVENT AIR LEAKAGE.
5. WIND WASH BARRIER REQUIRED AT THE EXTERIOR EDGE OF ATTIC INSULATION.
6. WIND WASH BARRIER REQ'D AT OVERHANGS SUCH AS CANTILEVERED FLOORS & BAYS.
7. WINDOW AND DOOR FRAMES MUST BE SEALED.
8. ALL EXTERIOR JOINTS THAT MAY BE A SOURCE OF AIR INTRUSION MUST BE SEALED.
9. RIM JOISTS MUST BE SEALED TO PREVENT AIR LEAKAGE.
10. TOPS OF INTERIOR PARTITION WALLS MUST BE SEALED TO PREVENT AIR LEAKAGE.
11. ELECTRICAL BOXES AND FANS MUST BE SEALED TO PREVENT AIR LEAKAGE.
12. BETWEEN WALL ASSEMBLIES, RIM JOISTS AND FOUNDATIONS MUST BE SEALED TO PREVENT AIR LEAKAGE.

**ADDITIONAL CODE REQUIREMENTS INCLUDE:**

1. A MECHANICAL VENTILATION SYSTEM WHICH REPLACES BY DIRECT OR INDIRECT MEANS AIR FROM HABITABLE ROOMS WITH OUTDOOR AIR (THIS WOULD ALLOW EXHAUST ONLY, AIR EXCHANGER, OR HEAT RECOVERY VENTILATOR).
2. DIRECT VENT, POWER VENT, OR SEALED COMBUSTION FURNACE, WATER HEATER, OR GAS FIREPLACE.
3. IF ANY SINGLE EXHAUST DEVICE (E.G. KITCHEN FAN, OR DRYER) OVER 300 CFM IS INSTALLED, A SEALED COMBUSTION FURNACE MUST BE USED OR AN ALTERNATIVE MAKE UP AIR SOURCE MUST BE USED.

EXTERIOR ELEVATIONS  
DRAWN BY: SAR  
SCALE: AS NOTED  
DATE: 07AUG12

PROJECT NAME & ADDRESS  
608 129TH LANE  
BLAINE, MN, 55434  
LOT # 17 BLOCK #1  
SHADE TREE COVE

SCOTT RIPLEY ASSUMES NO RESPONSIBILITY FOR ERRORS OR OMISSIONS IN THIS SET OF PLANS WHERE THE DESIGN OR CONSTRUCTION OF ANY BUILDING COMPONENT AND/OR BUILDING MUST VERIFY ALL NOTES, DIMENSIONS AND CONDITIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND CONDITIONS. ELECTRICAL, HEATING AND COOLING LAYOUTS ARE SHOWN FOR EXAMPLE ONLY. DIMENSIONS AS BUILT MAY VARY FROM THESE PLANS. ALL BEAM, POST AND FOOTING SIZES SHOULD BE VERIFIED BY BUILDER FOR ADHERENCE TO UNIFORM BUILDING CODE PRIOR TO CONSTRUCTION. CONTRACTOR SHALL VERIFY ALL DIMENSIONS FOR ILLUSTRATIVE PURPOSES ONLY, AND DO NOT REFLECT ACTUAL FINISH GRADE OR ELEVATIONS.

SHEET  
1 OF 4

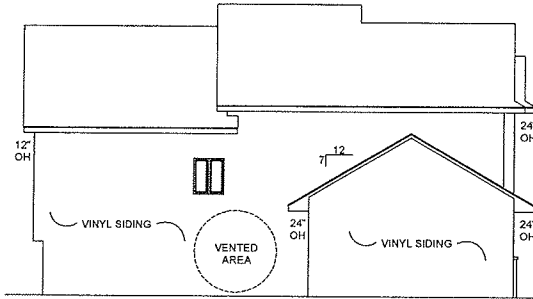
PLAN NUMBER  
035-12

EGRESS WINDOWS REQUIRED  
IN EACH BEDROOM AND BASEMENT

NO OCCUPANCY CERTIFICATE  
BEFORE FINAL ELECTRICAL INSPECTION

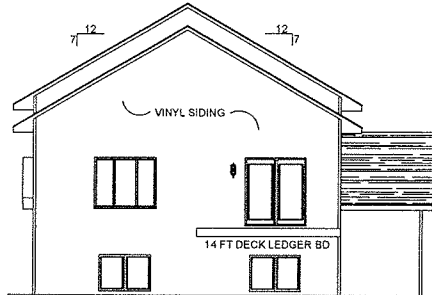
NO OCCUPANCY CERTIFICATE  
PRIOR TO WATER METER AND  
REMOTE INSTALLATION

CLEAN AREA OF ALL  
CONSTRUCTION DEBRIS



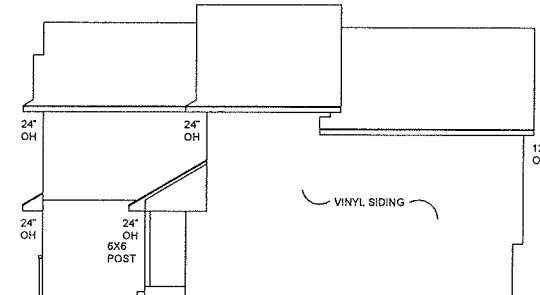
**LEFT ELEVATION**

SCALE: 1/8"=1'-0"



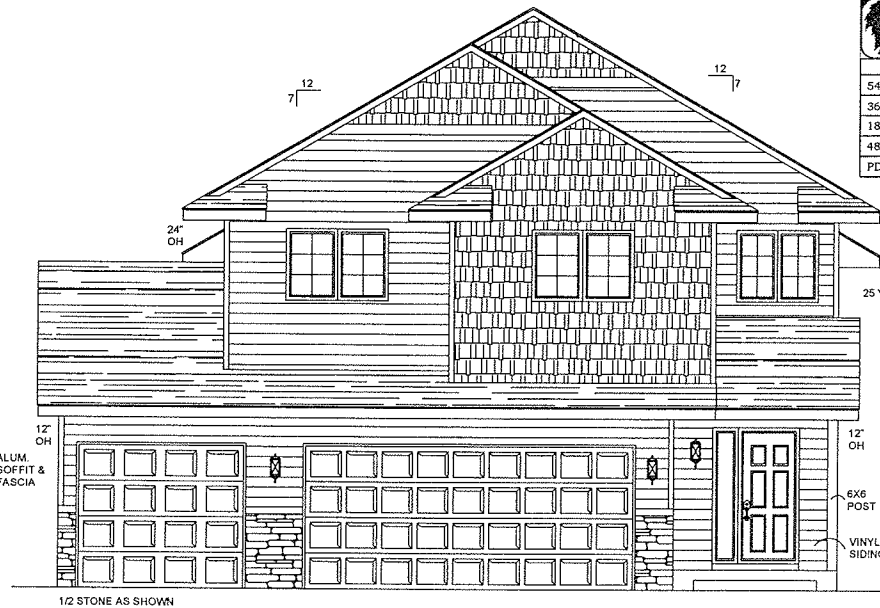
**REAR ELEVATION**

SCALE: 1/8"=1'-0"



**RIGHT ELEVATION**

SCALE: 1/8"=1'-0"



**FRONT ELEVATION**

1978 SQ. FT. SCALE: 1/4"=1'-0"

HOUSE NUMBERS REQUIRED  
DO NOT INSTALL ON GARAGE DOOR



**WINDSOR WINDOWS**

MODEL #	TYPE	HEADER	QTY	ROUGH OPENING
5442	GLIDER	SEE PRINT	4	4'-6" X 3'-6"
3642	GLIDER	SEE PRINT	1	3'-0" X 3'-6"
18-36-1860	GLIDER	SEE PRINT	1	6'-0" X 5'-0"
4842	GLIDER	SEE PRINT	1	4'-0" X 3'-6"
PD2-6068	PATIO DOOR	SEE PRINT	1	6'-0" X 6'-8"

25 YEAR ASPHALT  
SHINGLE

#15 FELT ON FIBERBOARD  
SHEATHING BEFORE BRICK,  
VENEER OR CEDAR/REDWOOD

**SUPER NOTE**

DOE TO THE VARIOUS TIES CONDITIONS OF  
BETWEEN LOTS THE GRADES ARE REFLECTED  
BY THIS FRONT AND FLOOR PLANS PURPOSES  
ONLY. SURFACES REFLECT ACTUAL PLUMB  
GRADE OF ELEVATIONS.

**SLIPS (FLASHING) NOTE**

ALL OPENINGS TO EXTERIOR MUST  
BE CALKED & FLASHED.  
FLASHING IS RELAYED ABOVE ALL ROOF AND  
VERTICAL SURFACES NEXT OR WHERE  
SEEN & MATERIAL CHANGES.

SCOTT BRILLY ASSUMES NO RESPONSIBILITY FOR ERRORS OR OMISSIONS. THIS SET OF PLANS WERE  
DONE TO THE BEST OF MY ABILITY. THE CONTRACTOR AND/OR BUILDER MUST VERIFY ALL DIMENSIONS  
AND CONDITIONS BEFORE BEGINNING CONSTRUCTION. ANY CHANGES TO THE ORIGINAL  
ELECTRICAL, MECHANICAL, AND PLUMBING WORKS ARE SOLELY THE RESPONSIBILITY OF THE BUILDER.  
MAY VARY FROM THESE PLANS. ALL BEAM, POST AND FOOTING SIZES SHOULD BE VERIFIED BY BUILDER  
FOR ADHERENCE TO UNIFORM BUILDING CODE PRIOR TO CONSTRUCTION. DIMENSIONS AND LOCATIONS  
FOR ILLUSTRATIVE PURPOSES ONLY, AND DO NOT REFLECT ACTUAL FINISH GRADE OR ELEVATIONS.

EXTERIOR ELEVATIONS  
DRAWN BY: SMR  
SCALE: AS NOTED  
DATE: 27SEPT12

PROJECT NAME & ADDRESS:  
PHIL JOHNSON & ANNE CARDA  
12941 MADISON ST NE  
BLAINE, MN. 55434  
LOT # 1 BLOCK #3  
SHADE TREE COVE OF BLAINE

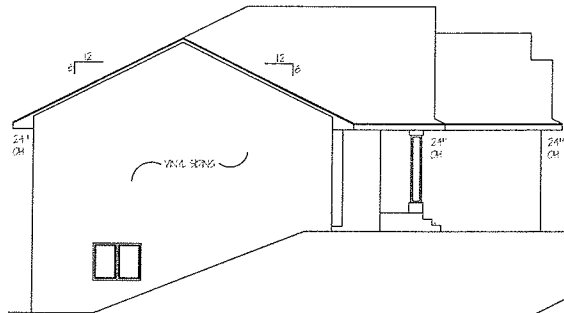
SHEET  
1 OF 5

PLAN NUMBER  
042-12



*Handwritten initials/signature*

653-130th Lane NE

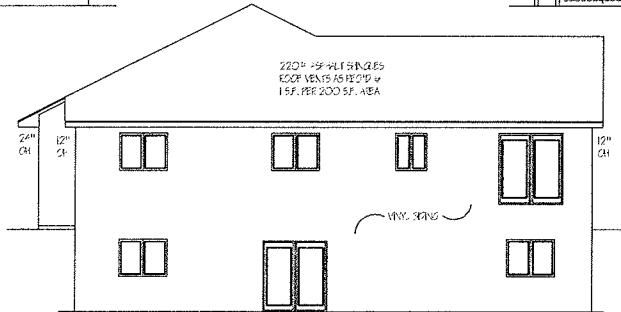


**LEFT ELEVATION**  
SCALE: 1/8"=1'-0"

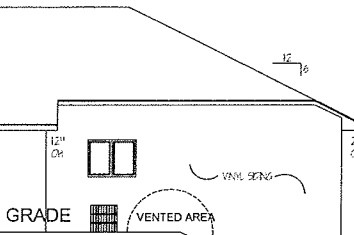
NO OCCUPANCY CERTIFICATE  
PRIOR TO WATER METER AND  
REMOTE INSTALLATION

EGRESS WINDOWS REQUIRED  
IN EACH BEDROOM AND BASEMENT

CLEAN AREA OF ALL  
CONSTRUCTION DEBRIS



**REAR ELEVATION**  
SCALE: 1/8"=1'-0"



**RIGHT ELEVATION**  
SCALE: 1/8"=1'-0"

NO OCCUPANCY CERTIFICATE  
BEFORE FINAL ELECTRICAL INSPECTION



HOUSE NUMBERS REQUIRED  
DO NOT INSTALL ON GARAGE DOOR



**WINDSOR WINDOWS**

MODEL #	TYPE	HEADER	QTY	ROUGH OPENING
5442	GLIDER	SEE PRINT	6	4'-6" X 3'-6"
3642	GLIDER	SEE PRINT	1	3'-0" X 3'-6"
18-36-1854	GLIDER	SEE PRINT	1	6'-0" X 4'-6"
PD2-6068	PATIO DOOR	SEE PRINT	2	6'-0" X 6'-8"

**OWNER NOTICE:**  
FILE TO THE VENDOR THE CONDITIONS OF  
KNOWLEDGE, LOSS, BE CARE, AND BE RESPONSIBLE DURING CONSTRUCTION.  
AND CONDITIONS FROM START TO FINISH AND BE RESPONSIBLE DURING CONSTRUCTION.  
ELECTRICAL, HEATING AND CABINET LAYOUTS ARE SHOWN FOR EXAMPLE ONLY, PLACEMENT AS BUILT  
MAY VARY FROM THESE PLANS. ALL BEAM, POST AND FOOTING SIZES SHOULD BE VERIFIED BY BUILDER  
DUE TO THE VARIOUS SITE CONDITIONS OF INDIVIDUAL LOTS. THE GRADE LINES REFLECTED BY THIS PRINT ARE  
FOR ILLUSTRATIVE PURPOSES ONLY, AND DO NOT REFLECT ACTUAL FINISH GRADE OR ELEVATIONS.

**SIDERS (FLASHING NOTE)**  
ALL CHANGES TO WINDOW HEADS  
BE CALLED & FLASHED.  
FLASHING IS REQUIRED WHERE ALL ROOF AND  
VERTICAL SURFACES MEET, OR WHERE  
SLOPING SURFACES CHANGE.

#15 FELT ON FIBERBOARD  
SHEATHING BEFORE BRICK,  
VENEER OR CEDAR/REDWOOD

**FRONT ELEVATION**  
2591 SQ. FT. SCALE: 1/4"=1'-0"

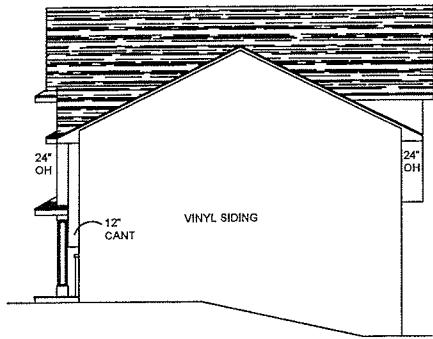
EXTERIOR ELEVATIONS  
DRAWN BY: SAR  
SCALE: AS NOTED  
DATE: 24-JUL-11

PROJECT NAME & ADDRESS  
VINCENT THAO  
653 130TH LN  
BLAINE, MN. 55449  
LOT 400 BLOCK 400  
SHADE TREE COVE 3RD ADD

SCOTT BRICK ASSUMES NO RESPONSIBILITY FOR ERRORS OR OMISSIONS IN SET OF PLANS WERE  
DONE TO THE BEST OF AN ARCHITECT'S CONTRACTOR AND/OR BUILDER WISE VERITY. ALL NOTES, DIMENSIONS  
AND CONDITIONS FROM START TO FINISH AND BE RESPONSIBLE DURING CONSTRUCTION.  
ELECTRICAL, HEATING AND CABINET LAYOUTS ARE SHOWN FOR EXAMPLE ONLY, PLACEMENT AS BUILT  
MAY VARY FROM THESE PLANS. ALL BEAM, POST AND FOOTING SIZES SHOULD BE VERIFIED BY BUILDER  
DUE TO THE VARIOUS SITE CONDITIONS OF INDIVIDUAL LOTS. THE GRADE LINES REFLECTED BY THIS PRINT ARE  
FOR ILLUSTRATIVE PURPOSES ONLY, AND DO NOT REFLECT ACTUAL FINISH GRADE OR ELEVATIONS.

SHEET  
1 OF 4  
PLAN NUMBER  
016-11

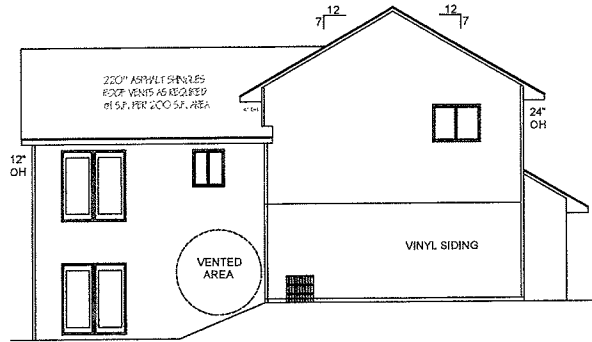
CLEAN AREA OF ALL  
CONSTRUCTION DEBRIS



**RIGHT ELEVATION**

SCALE: 1/8"=1'-0"

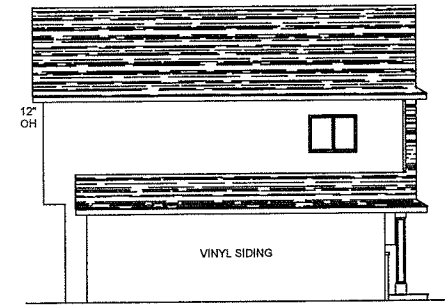
NO OCCUPANCY CERTIFICATE  
BEFORE FINAL ELECTRICAL INSPECTION



**REAR ELEVATION**

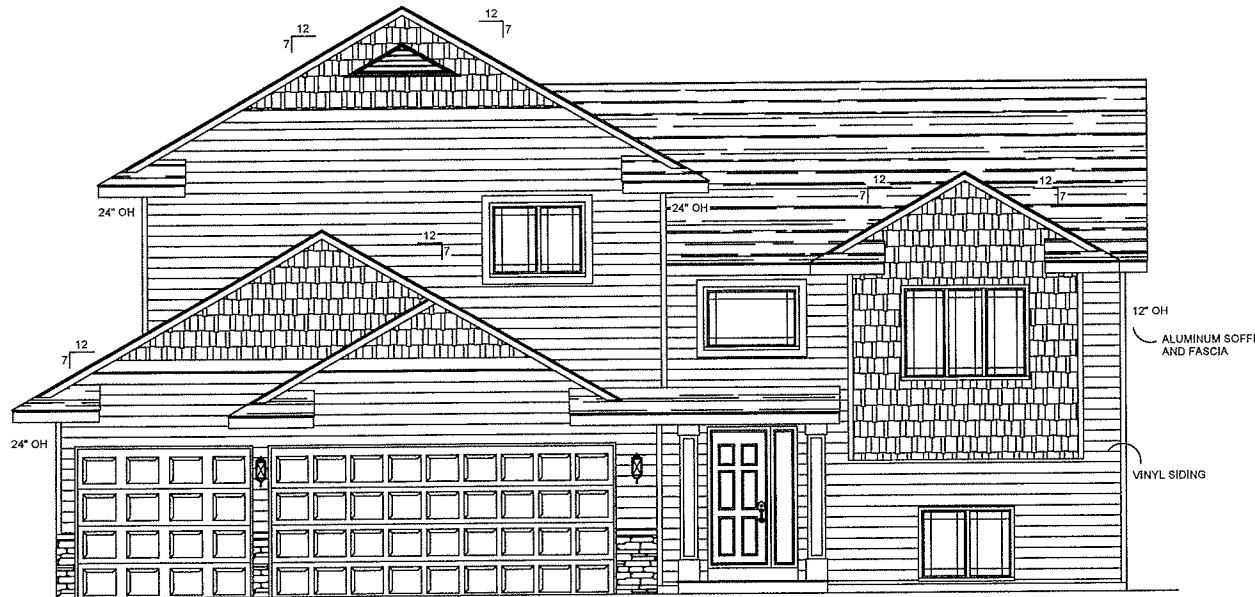
SCALE: 1/8"=1'-0"

EGRESS WINDOWS REQUIRED  
IN EACH BEDROOM AND BASEMENT



**LEFT ELEVATION**

SCALE: 1/8"=1'-0"



**FRONT ELEVATION**

1508 SQ. FT. SCALE: 1/4"=1'-0"

EXTERIOR ELEVATIONS

DRAWN BY: SAR

SCALE: AS NOTED

DATE: 09MAY12

PROJECT NAME & ADDRESS

BRIAN CHRISTENSON  
12891 VAN BUREN ST.

BLAINE, MN. 55454

LOT # 11 BLOCK # 1

SHADE TREE COVE WOODS

SCOTT BRADY ASSUMES NO RESPONSIBILITY FOR ERRORS OR OMISSIONS IN THIS SET OF PLANS WERE DONE TO THE BEST OF HIS ABILITY. THE CONTRACTOR AND/OR BUILDER MUST VERIFY ALL NOTES, DIMENSIONS AND CONDITIONS FROM START TO FINISH AND BE RESPONSIBLE DURING CONSTRUCTION. ELECTRICAL, HEATING AND CABINET LAYOUTS ARE SHOWN FOR EXAMPLE ONLY. PLACEMENTS AS SHOWN ARE NOT TO BE CONSIDERED AS FINAL. ALL WORK SHOULD BE VERIFIED BY BUILDER FOR COMPLIANCE TO MINNESOTA BUILDING CODE PRIOR TO CONSTRUCTION. DUE TO THE VARIOUS SITE CONDITIONS OF INDIVIDUAL LOTS, THE BUILDER'S LINES REFLECTED BY THIS PRINT ARE FOR ILLUSTRATIVE PURPOSES ONLY, AND DO NOT REFLECT ACTUAL, FINAL GRADE OR ELEVATIONS.

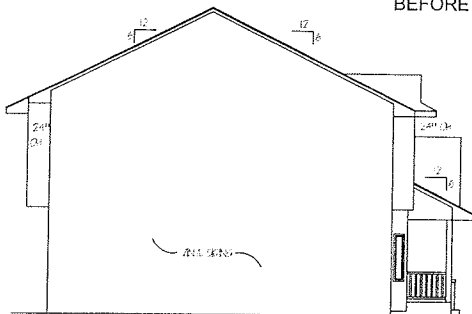
SHEET

1 OF 5

PLAN NUMBER

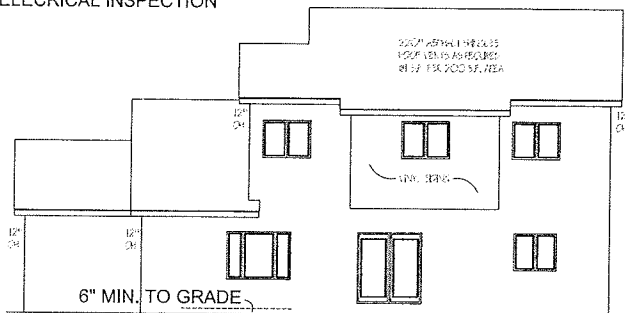
009-12

NO OCCUPANCY CERTIFICATE  
BEFORE FINAL ELECTRICAL INSPECTION

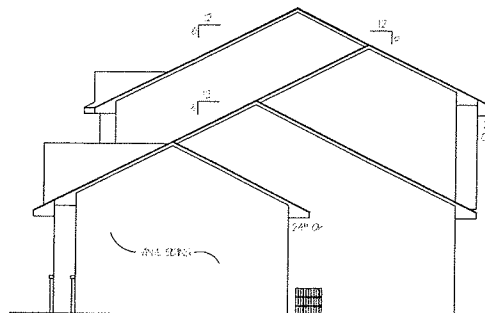


LEFT ELEVATION  
SCALE: 1/8" = 1'-0"

CLEAN AREA OF ALL  
CONSTRUCTION DEBRIS



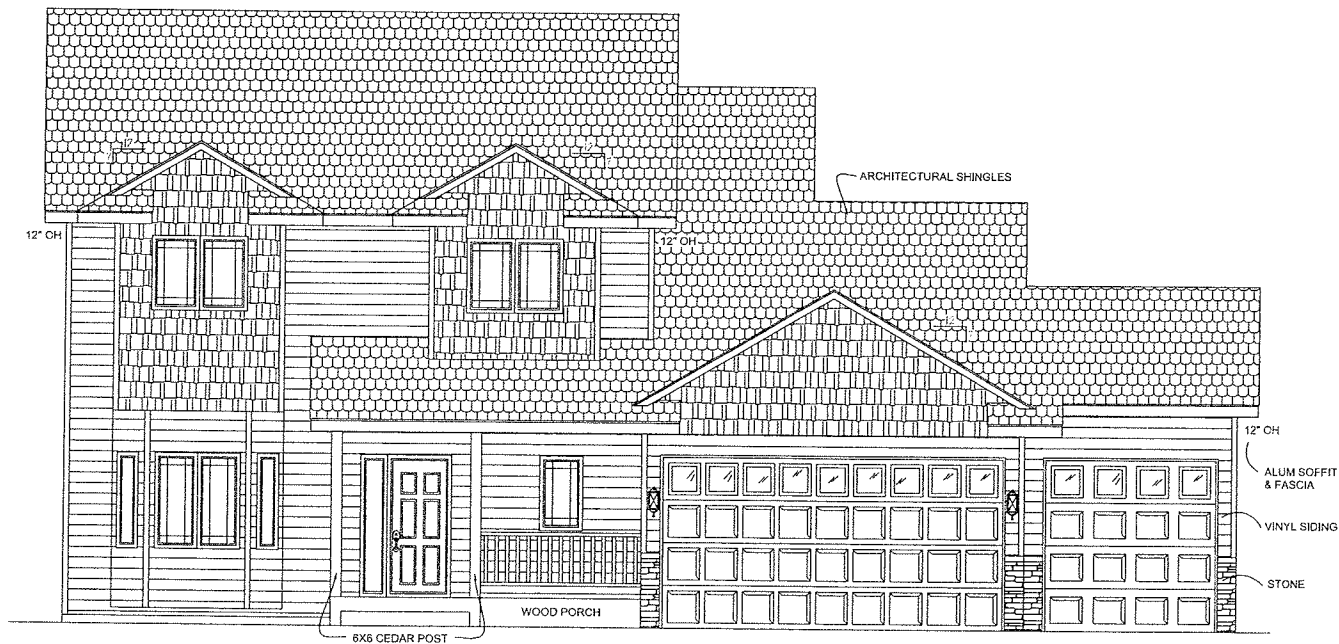
REAR ELEVATION  
SCALE: 1/8" = 1'-0"



RIGHT ELEVATION  
SCALE: 1/8" = 1'-0"

NO OCCUPANCY CERTIFICATE  
PRIOR TO WATER METER AND  
REMOTE INSTALLATION

EGRESS WINDOWS REQUIRED  
IN EACH BEDROOM AND BASEMENT



FRONT ELEVATION  
SCALE: 1/4" = 1'-0"

EXTERIOR ELEVATIONS

DRAWN BY: SAR

SCALE: AS NOTED

DATE: 01NOV11

PROJECT NAME & ADDRESS

JUSTIN & ELIZABETH KAPPEL

700 129TH LN NE

BLAINE, MN, 55434

LOT # BLOCK #

SCOTT REALTY ASSUMES NO RESPONSIBILITY FOR ERRORS OR OMISSIONS. THIS SET OF PLANS WERE  
DONE TO THE BEST OF MY ABILITY. THE CONTRACTOR AND/OR BUILDER MUST VERIFY ALL NOTES, DIMENSIONS  
AND CONDITIONS FROM START TO FINISH AND BE RESPONSIBLE DURING CONSTRUCTION. DIMENSIONS  
ELECTRICAL AND MECHANICAL SHALL BE AS SHOWN UNLESS OTHERWISE NOTED. AS BUILT  
MAY VARY FROM THESE PLANS. ALL ROOM, POST AND FOOTING SIZES SHOULD BE VERIFIED BY BUILDER  
FOR ADHERENCE TO UNIFORM BUILDING CODE PRIOR TO CONSTRUCTION. DIMENSIONS AND LOCATIONS  
FOR ELECTRICAL, MECHANICAL AND PLUMBING SHALL BE AS SHOWN UNLESS OTHERWISE NOTED. DIMENSIONS  
FOR ILLUSTRATIVE PURPOSES ONLY AND DO NOT REFLECT ACTUAL FINISH GRADE OR ELEVATIONS.

SHEET

1 OF 5

PLAN NUMBER

023-11