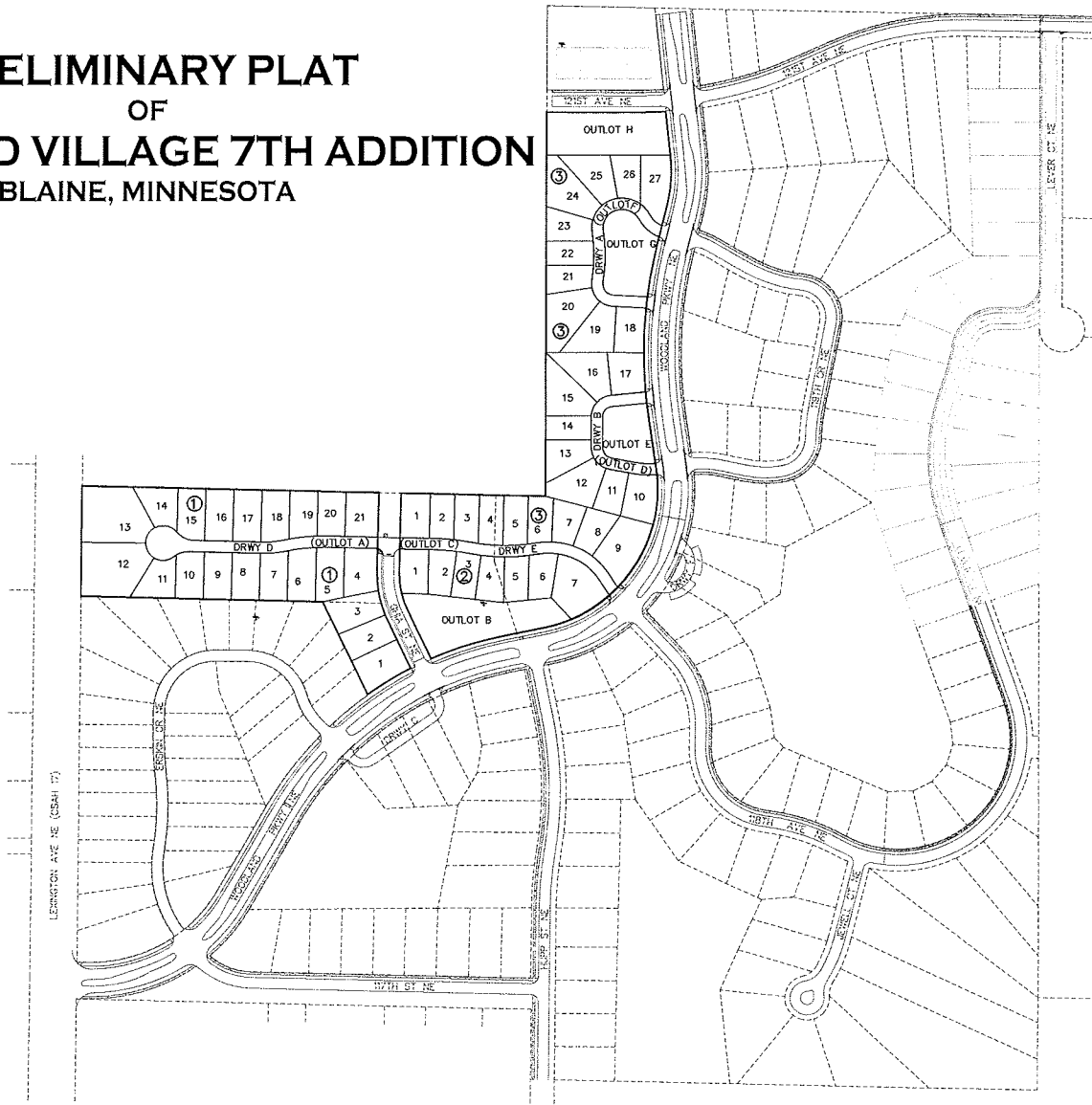


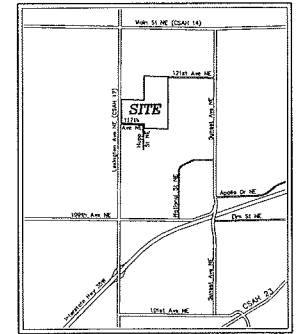
Case File No. 14-0036



# PRELIMINARY PLAT OF WOODLAND VILLAGE 7TH ADDITION BLAINE, MINNESOTA

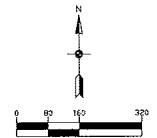


### VICINITY MAP



### SHEET INDEX

1. COVER
2. EXISTING CONDITIONS
3. PRELIMINARY PLAT
4. PRELIMINARY SITE & UTILITY PLAN
5. PRELIMINARY GRADING & EROSION CONTROL PLAN
6. PRELIMINARY GRADING & EROSION CONTROL PLAN
7. DETAILS
8. DETAILS



| BENCHMARKS |   |
|------------|---|
| 1.         | TOP NUT OF HYDRANT ON WEST SIDE OF WOODLAND PARKWAY N.E. APPROX. 160' NORTH OF SOUTH LEG TO 118TH CIR. N.E. ELEVATION: 910.52 (NAVD 29) |
| 2.         | TOP NUT OF HYDRANT N.E. QUADRANT OF WOODLAND PARKWAY N.E. AND 123RD AVE. N.E. ELEVATION: 909.17 (NAVD 29)                               |



The subsurface utility information shown on this plan is utility Quality Level 'B'. This quality level was determined according to the guidelines of OJASCE 35-02, entitled "Standard Guidelines for the Collection and Depiction of Existing Subsurface Utility Data."



• environmental  
• engineering  
• surveying

248 Apollo Drive, Suite 100  
Lino Lakes, MN 55116  
Phone: (763) 489-7900  
Fax: (763) 489-7959  
www.carlsonmccain.com

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Print Name: Brian J. Krystofek, P.E.  
Signature: *Brian J. Krystofek*  
Date: 8/4/14 License #: 25063

Drawn: JJD  
Designed: BKJ  
Date: 8/4/14

Revisions:  
1.

WOODLAND DEVELOPMENT CORP.  
13632 Van Buren Street NE  
Ham Lake, MN 55304

WOODLAND VILLAGE  
7TH ADDITION  
Blaine, Minnesota

COVER

1  
of  
8

| TOTAL AREA        |           | SITE DATA   |               |
|-------------------|-----------|---|---------------|
| TOTAL AREA        | 18.26 AC. | LARGEST LOT   | 25,316 S.F.   |
| TOTAL OUTLOT AREA | 4.62 AC.  | SMALLEST LOT  | 7,853 S.F.    |
| OUTLOT A          | 0.54 AC.  | AVERAGE LOT   | 10,803 S.F.   |
| OUTLOT B          | 1.02 AC.  | GROSS DENSITY   | 3.01 LOTS/AC. |
| OUTLOT C          | 0.43 AC.  | NET DENSITY   | 3.32 LOTS/AC. |
| OUTLOT D          | 0.30 AC.  | * Net Density Calculations do not include Outlots A, C, D & F of this plot. |               |
| OUTLOT E          | 0.44 AC.  | EXISTING ZONING   | —DF           |
| OUTLOT F          | 0.40 AC.  | PROPOSED ZONING   | —DF           |
| OUTLOT G          | 0.63 AC.  | UTILITIES   | AVAILABLE     |
| OUTLOT H          | 0.86 AC.  |   |               |
| TOTAL LOT AREA    | 13.64 AC. |   |               |
| TOTAL NUMBER LOTS | 55        |   |               |

**LEGAL DESCRIPTION**

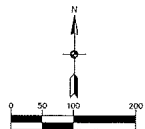
Outlots C and D, GARDENWOOD, Anoka County, Minnesota.  
 AND  
 Outlot A, WOODLAND VILLAGE 4TH ADDITION, Anoka County, Minnesota.  
 AND  
 Outlot A, WOODLAND VILLAGE 5TH ADDITION, Anoka County, Minnesota.

**NOTES**

- As of the date of this preliminary plat, the final plat of WOODLAND VILLAGE 6TH ADDITION, had not been recorded.
- Updated title work has not been received for the property described above.

**BENCHMARKS**

- TOP NUT OF HYDRANT ON WEST SIDE OF WOODLAND PARKWAY, NE APPROX. 160' NORTH OF SOUTH LEG TO 19TH CIR. NE. ELEVATION: 910.02 (NAD 29)
- TOP NUT OF HYDRANT N.E. QUADRANT OF WOODLAND PARKWAY N.E. AND 121ST AVE. NE. ELEVATION: 909.17 (NAD 29)



Bearings shown hereon are based on the North line of OUTLOT C, GARDENWOOD which is assumed to bear S88°41'41"E.

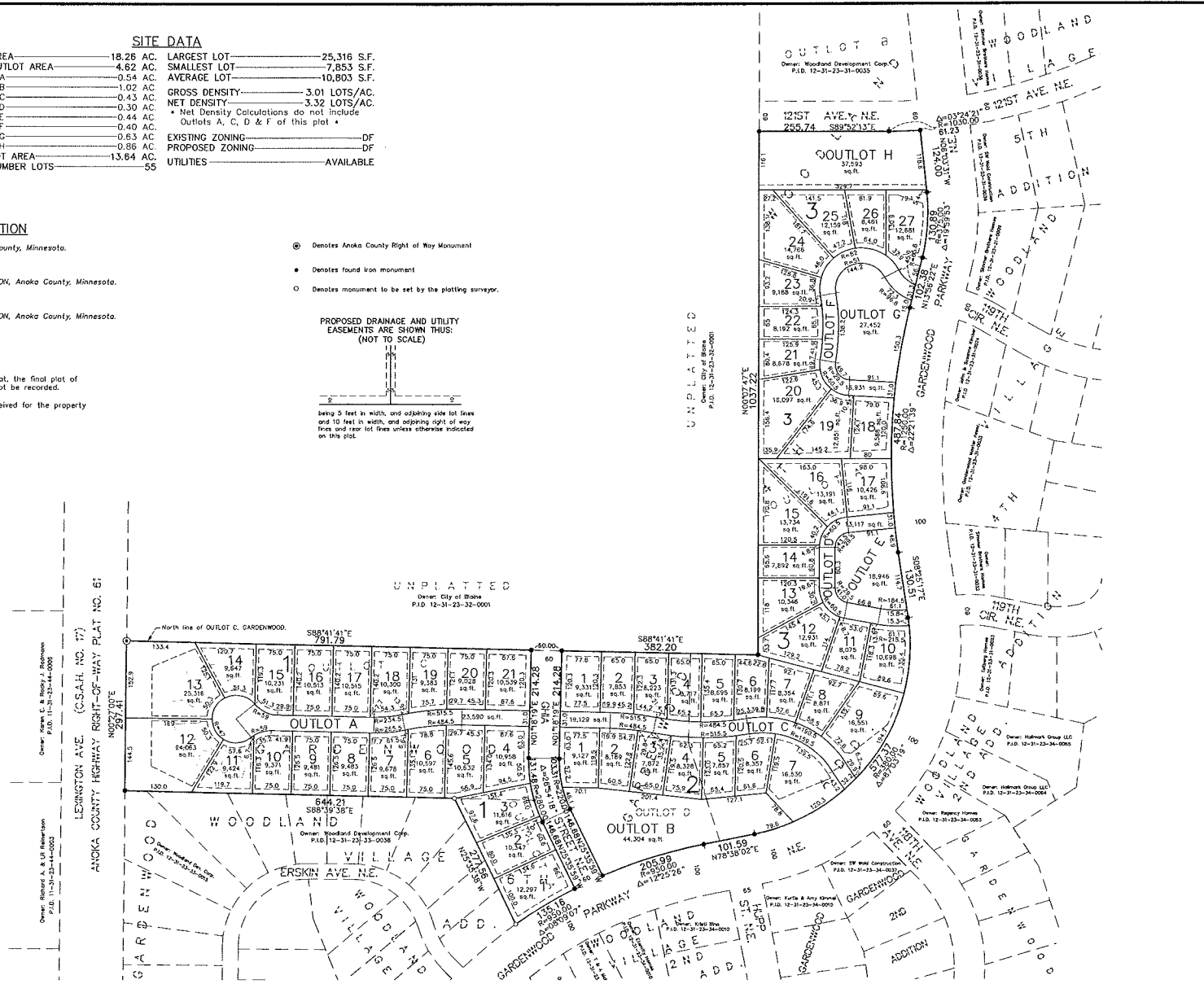


- ⊙ Denotes Anoka County Right of Way Monument
- Denotes found iron monument
- Denotes monument to be set by the plotting surveyor.

**PROPOSED DRAINAGE AND UTILITY EASEMENTS ARE SHOWN THIS: (NOT TO SCALE)**

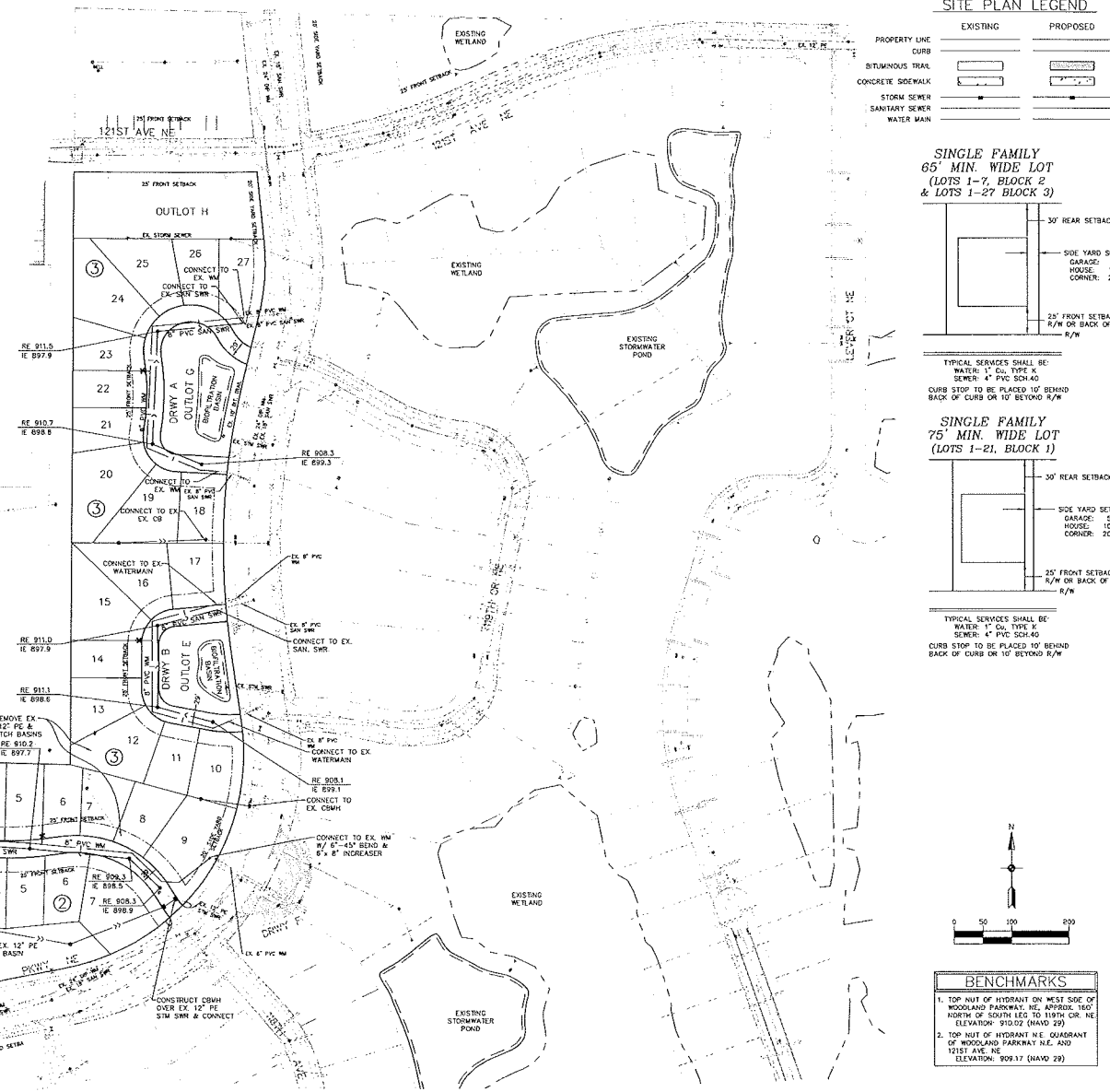
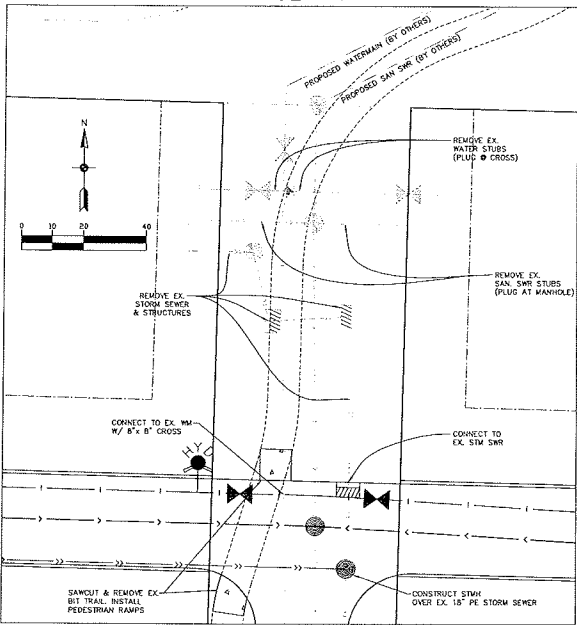


being 3 feet in width, and adjoining side lot lines and 10 feet in width, and adjoining right of way lines and rear lot lines unless otherwise indicated on this plat.



|  |   |   |  |  |  |   |   |                  |    |
|--|---|---|--|--|--|---|---|------------------|----|
|  | environmental<br>engineering<br>surveying | 248 Apple Drive, Suite 100<br>Pine Lakes, MN 55014<br>Phone: (763) 489-7900<br>Fax: (763) 489-7958<br>www.carlsonmccain.com | I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly licensed Land Surveyor under the laws of the State of Minnesota.<br>Date: 06/04/14 License #: 40361 | Price Name: Thomas B. Bellini<br>Signature: <i>Thomas B. Bellini</i><br>Date: 06/04/14 | Drawn: CF<br>Designed: TRB<br>Date: 06/04/14 | Woodland Development Corp.<br>13632 Van Buren Street NE<br>Ham Lake, MN 55304 | Woodland Village<br>7TH ADDITION<br>Blaine, Minnesota | PRELIMINARY PLAT | 3  |
|  |   |   |  |  |  |   |   |                  | of |

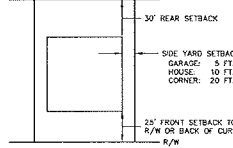
INSET A



**SITE PLAN LEGEND**

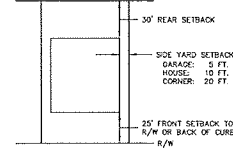
|                   | EXISTING | PROPOSED |
|-------------------|----------|----------|
| PROPERTY LINE     | —        | —        |
| CURB              | —        | —        |
| BITUMINOUS TRAIL  | —        | —        |
| CONCRETE SIDEWALK | —        | —        |
| STORM SEWER       | —        | —        |
| SANITARY SEWER    | —        | —        |
| WATER MAIN        | —        | —        |

**SINGLE FAMILY  
65' MIN. WIDE LOT  
(LOTS 1-7, BLOCK 2  
& LOTS 1-27 BLOCK 3)**

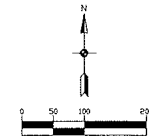


TYPICAL SERVICES SHALL BE:  
WATER: 1" CU, TYPE K  
SEWER: 4" PVC SCH 40  
CURB STOP TO BE PLACED 10' BEHIND BACK OF CURB OR 10' BEYOND R/W

**SINGLE FAMILY  
75' MIN. WIDE LOT  
(LOTS 1-21, BLOCK 1)**



TYPICAL SERVICES SHALL BE:  
WATER: 1" CU, TYPE K  
SEWER: 4" PVC SCH 40  
CURB STOP TO BE PLACED 10' BEHIND BACK OF CURB OR 10' BEYOND R/W



**BENCHMARKS**

- TOP NUT OF HYDRANT ON WEST SIDE OF WOODLAND PARKWAY, NE. APPROX. 150' NORTH OF SOUTH LEG TO 119TH OR NE ELEVATION: 910.02 (MAD 29)
- TOP NUT OF HYDRANT N.E. QUADRANT OF WOODLAND PARKWAY N.E. AND 121ST AVE, NE. ELEVATION: 909.17 (NAVD 29)

LEXINGTON AVE NE (CSAH 17)

**Carlson McCain**

- environmental
- engineering
- surveying

248 Apollo Drive, Suite 100  
Lino Lakes, MN 55015  
Phone: (763) 489-7900  
Fax: (763) 489-7959  
www.carlsonmccain.com

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

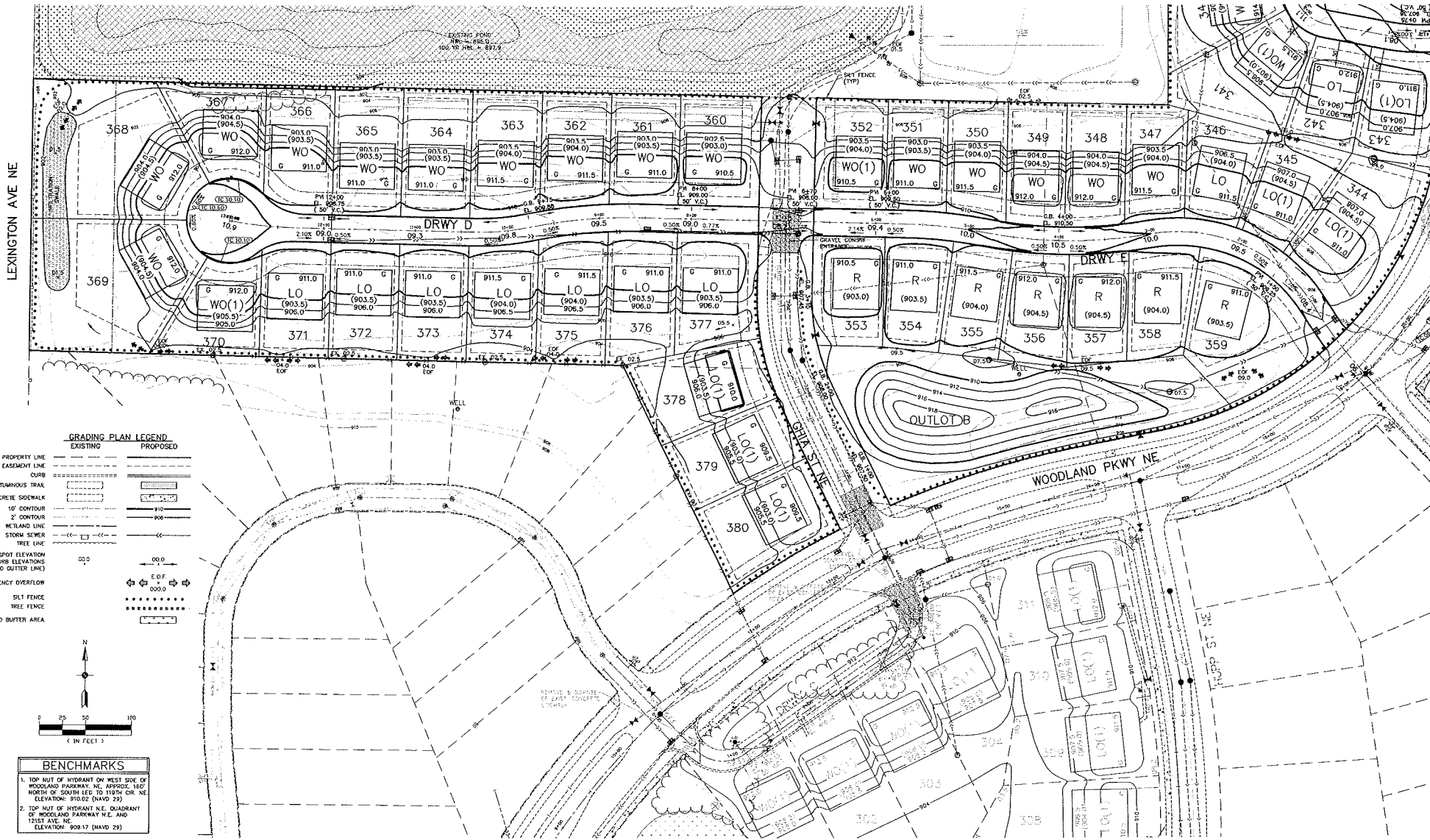
Print Name: **Brian J. Krystofek, P.E.**  
Signature: *Brian J. Krystofek*  
Date: 05/09/16 License #: 23063

Drawn: 330  
Designed: BJK  
Date: 05/04/16

**WOODLAND DEVELOPMENT CORP.**  
13632 Van Buren Street NE  
Ham Lake, MN 55304

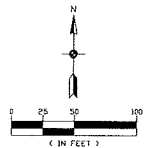
**WOODLAND VILLAGE  
7TH ADDITION**  
Blaine, Minnesota

**PRELIMINARY SITE  
& UTILITY PLAN**



**GRADING PLAN LEGEND**

| EXISTING   | PROPOSED   |
|--|--|
| PROPERTY LINE  | PROPERTY LINE  |
| EASEMENT LINE  | EASEMENT LINE  |
| CURB   | CURB   |
| BITUMINOUS TRAIL                                       | BITUMINOUS TRAIL                                       |
| CONCRETE SIDEWALK                                      | CONCRETE SIDEWALK                                      |
| 10' CONTOUR  | 10' CONTOUR  |
| 2' CONTOUR   | 2' CONTOUR   |
| METLAND LINE   | METLAND LINE   |
| STONE SCREE  | STONE SCREE  |
| TREE LINE  | TREE LINE  |
| SPOT ELEVATION<br>(CURB ELEVATIONS ARE TO CENTER LINE) | SPOT ELEVATION<br>(CURB ELEVATIONS ARE TO CENTER LINE) |
| EMERGENCY OVERTFLOW                                    | EMERGENCY OVERTFLOW                                    |
| SILT FENCE   | SILT FENCE   |
| TREE FENCE   | TREE FENCE   |
| METLAND BUFFER AREA                                    | METLAND BUFFER AREA                                    |



**BENCHMARKS**

- TOP NUT OF HYDRANT ON WEST SIDE OF WOODLAND PARKWAY NE, APPROX. 160' NORTH OF SOUTH LEG TO 10TH GR. NE. ELEVATION: 910.02 (NAVD 29)
- TOP NUT OF HYDRANT N.E. QUADRANT OF WOODLAND PARKWAY N.E. AND 121ST AVE. NE. ELEVATION: 909.17 (NAVD 29)

**Carlson McCain**  
 environmental  
 engineering  
 surveying

248 Apollo Drive, Suite 100  
 Lino Lakes, MN 55014  
 Phone: (763) 489-7900  
 Fax: (763) 489-7959  
 www.carlsonmccain.com

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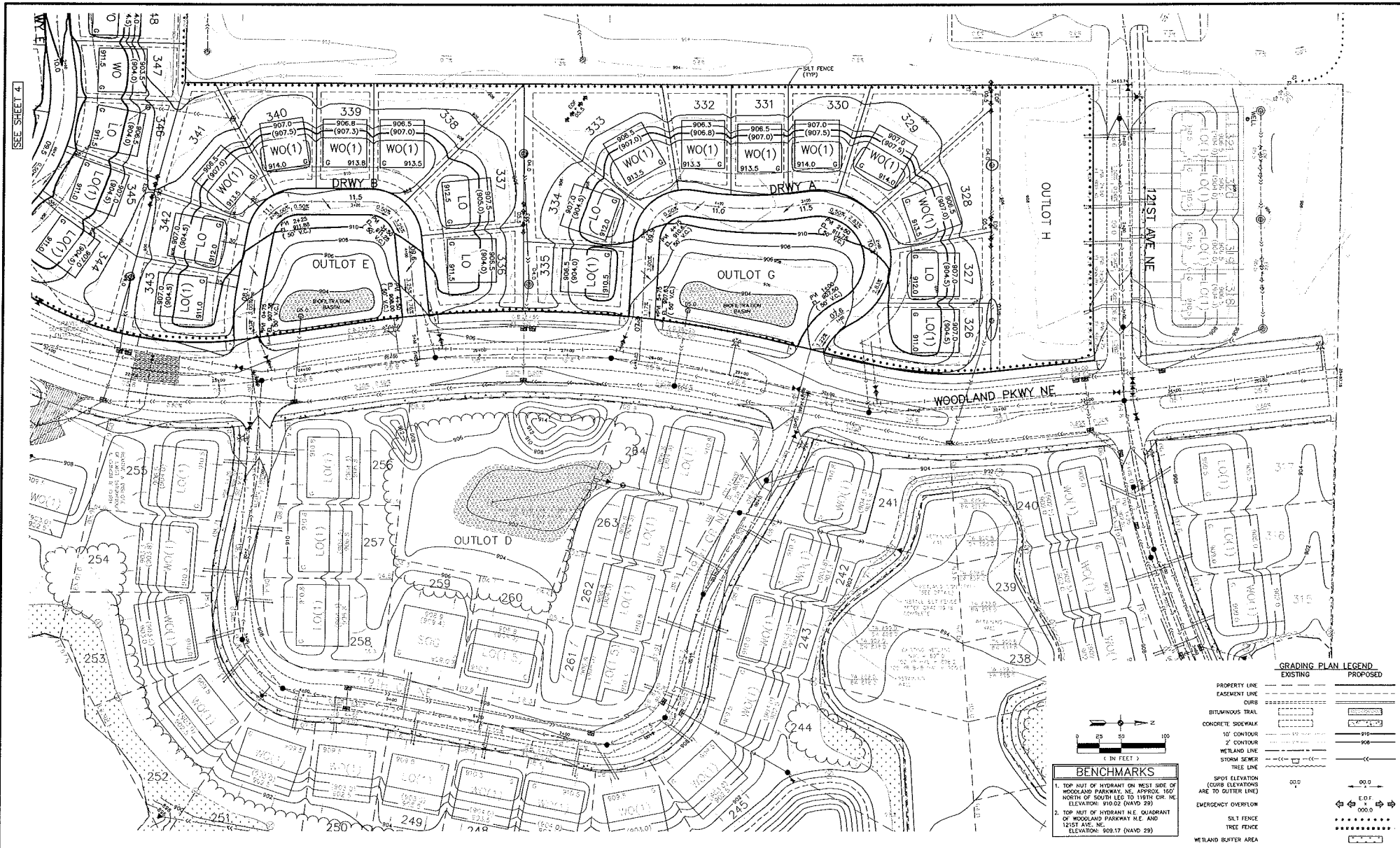
Print Name: Brian J. Krystofek, P.E.  
 Signature: *Brian J. Krystofek*  
 Date: 06/04/14 License #: 21003

Drawn: JJD  
 Designed: BJK  
 Date: 06/04/14

**WOODLAND DEVELOPMENT CORP.**  
 13632 Van Buren Street NE  
 Ham Lake, MN 55304

**WOODLAND VILLAGE**  
 7TH ADDITION  
 Blaine, Minnesota

**PRELIMINARY GRADING & EROSION CONTROL PLAN**



**Carlson McCain**  
• environmental  
• engineering  
• surveying

218 Apollo Drive, Suite 100  
Lino Lakes, MN 55014  
Phone: (763) 489-7900  
Fax: (763) 489-7939  
www.carlsonmccain.com

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota

Print Name: Brian J. Krystofek, P.E.  
Signature: *Brian J. Krystofek*  
Date: 06/04/16 License # 23563

Drawn: BJD  
Designed: BJK  
Date: 06/04/16

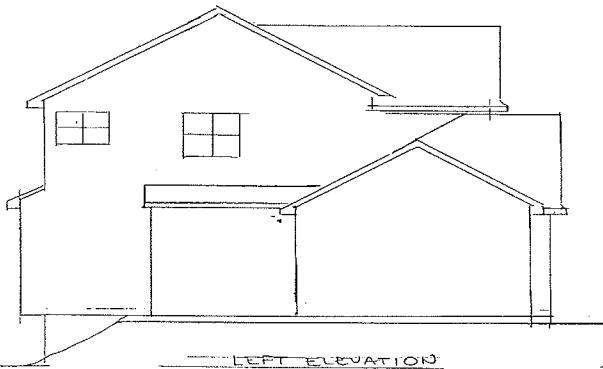
Revisions:  
1.

**WOODLAND DEVELOPMENT CORP.**  
13632 Van Buren Street NE  
Ham Lake, MN 55304

**WOODLAND VILLAGE**  
7TH ADDITION  
Blaine, Minnesota

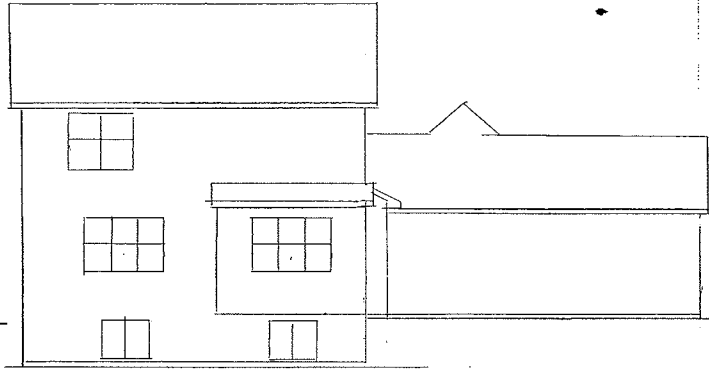
**PRELIMINARY GRADING & EROSION CONTROL PLAN**

6 of 8



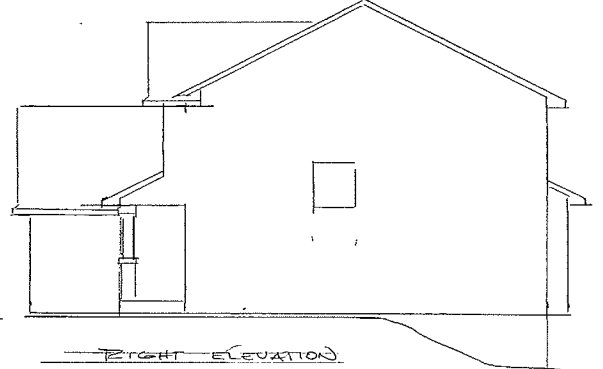
LEFT ELEVATION

1/8" = 1'-0"



REAR ELEVATION

1/8" = 1'-0"



RIGHT ELEVATION

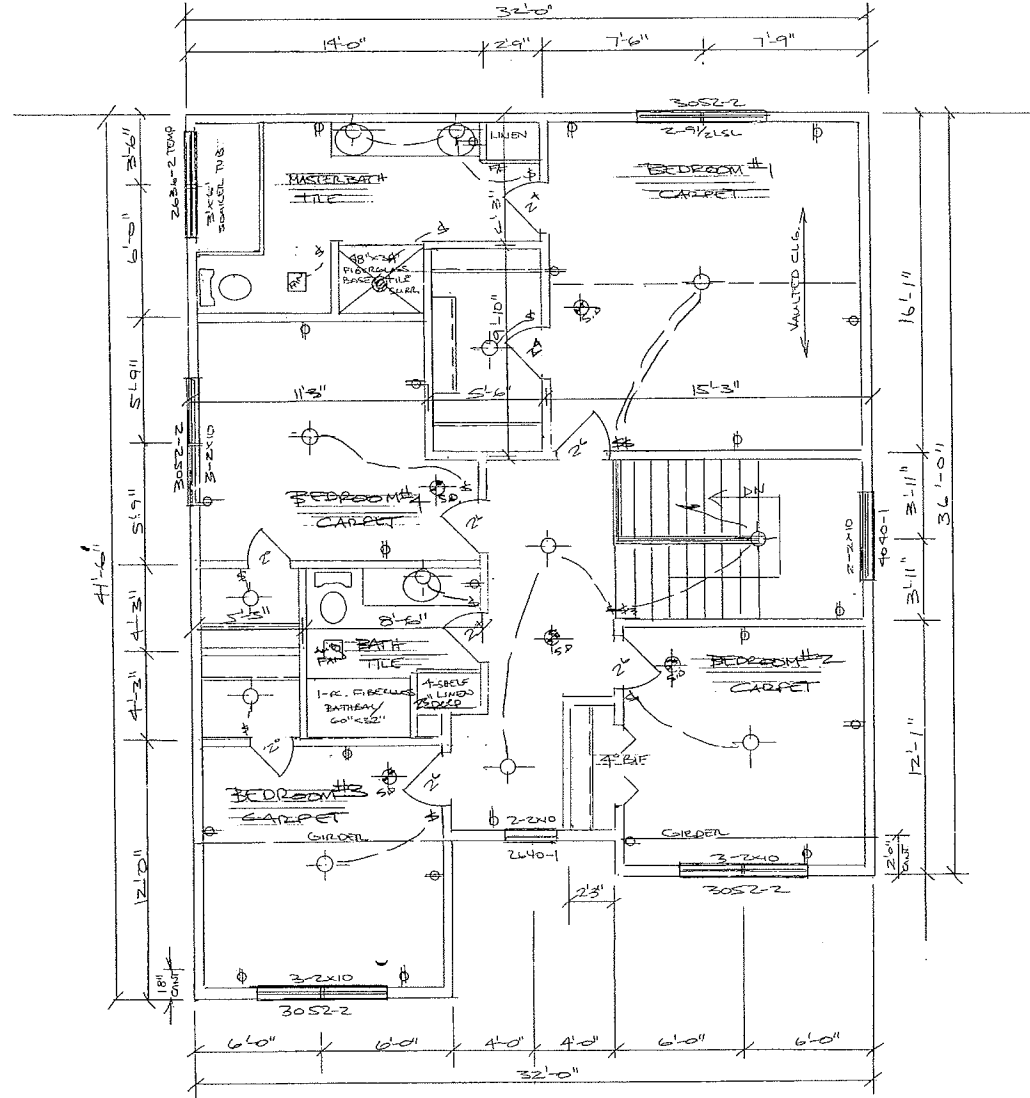
1/8" = 1'-0"



|                            |                |           |
|----------------------------|----------------|-----------|
| T.H. CONST. OF ANOKA, INC. |                |           |
| SCALE:                     | APPROVED BY:   | DRAWN BY: |
| DATE: 4/15/13              |                | REVISED:  |
| ELEVATIONS                 |                |           |
| KENWOOD 413                | DRAWING NUMBER |           |

ⓑ

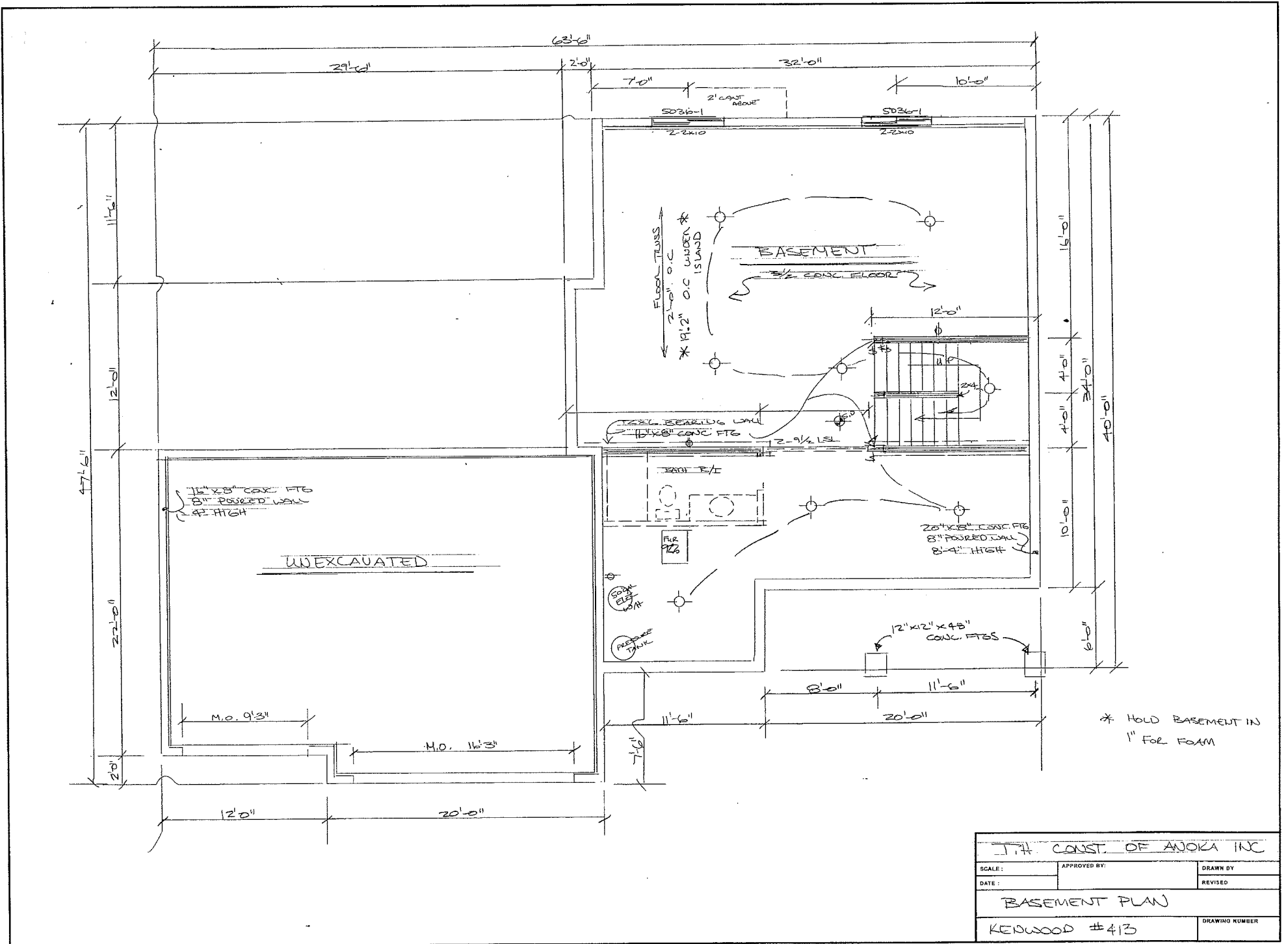
OUTLOT C



|                            |              |                |
|----------------------------|--------------|----------------|
| T.H. CONST. OF ALASKA INC. |              |                |
| SCALE:                     | APPROVED BY: | DRAWN BY:      |
| DATE:                      | 1202 SQFT.   | REVISED:       |
| SECOND FLOOR PLAN          |              |                |
| REVISION # 413             |              | DRAWING NUMBER |

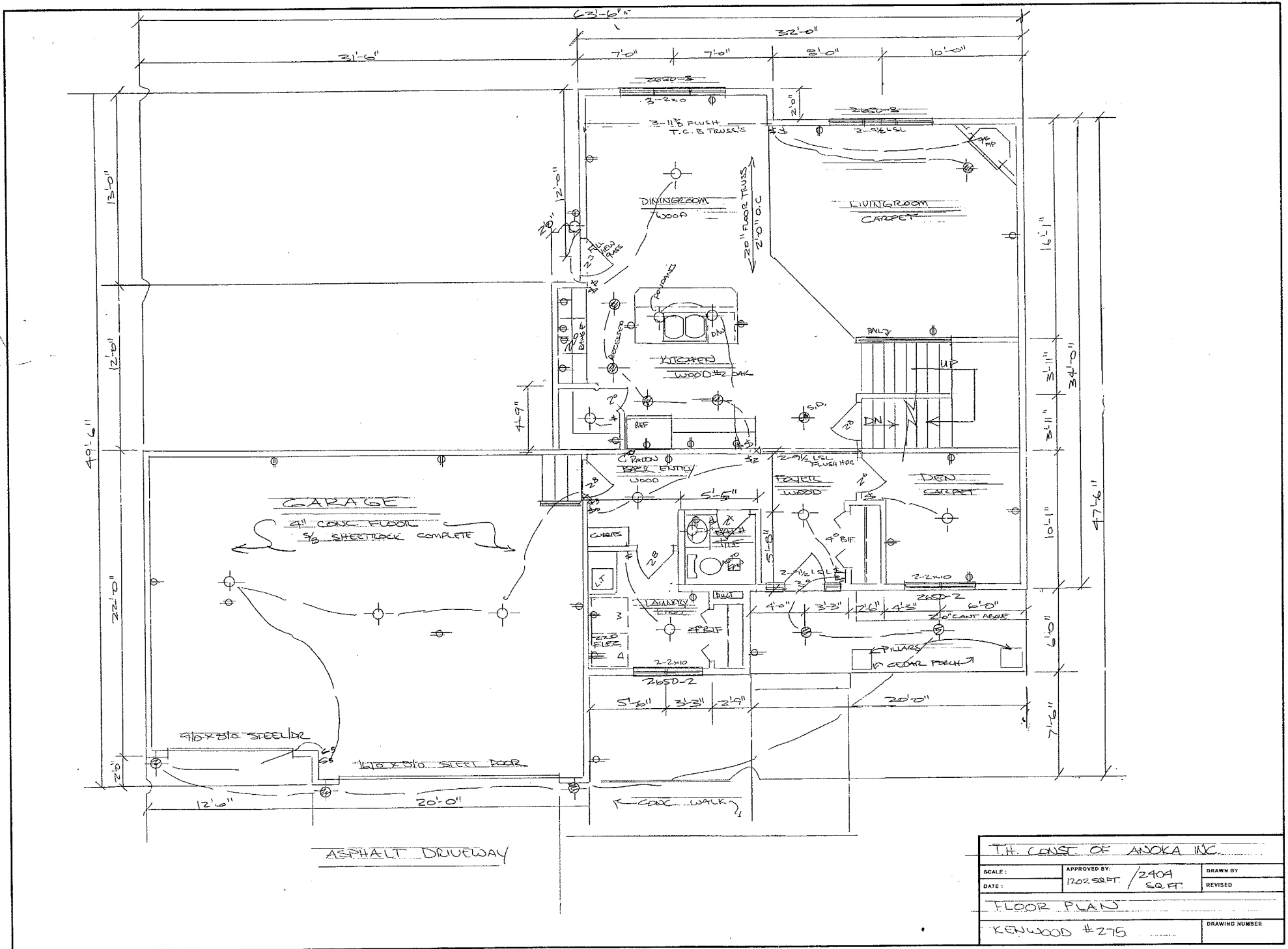
OUTLOT C





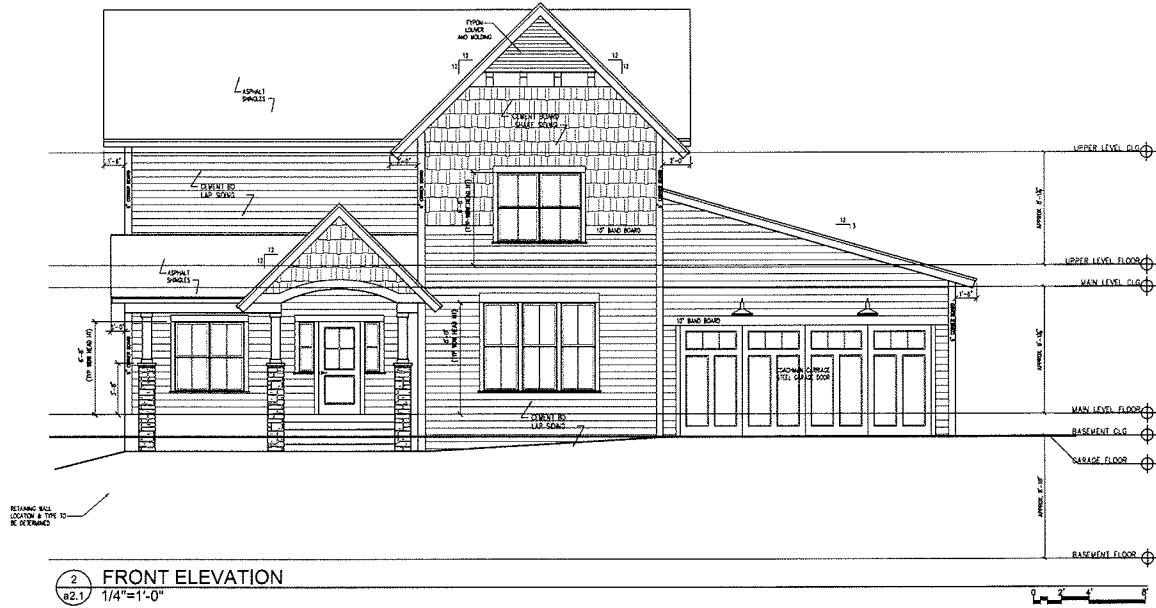
|                            |              |                |
|----------------------------|--------------|----------------|
| J.P.H. CONST. OF ANOKA INC |              |                |
| SCALE:                     | APPROVED BY: | DRAWN BY:      |
| DATE:                      |              | REVISED:       |
| BASEMENT PLAN              |              |                |
| KENWOOD #413               |              | DRAWING NUMBER |

Outlot C

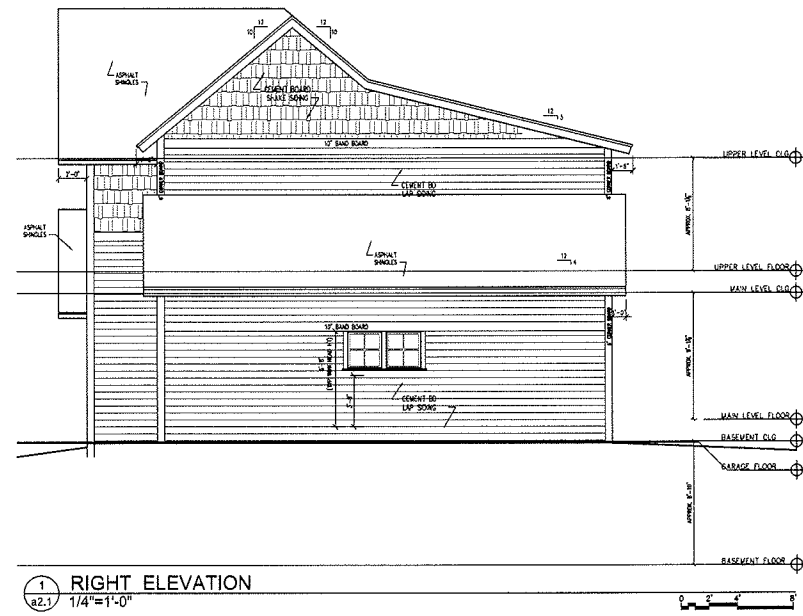


|                           |                             |                |
|---------------------------|-----------------------------|----------------|
| T.H. CONST. OF ANOKA INC. |                             |                |
| SCALE:                    | APPROVED BY:                | DRAWN BY:      |
| DATE:                     | 1202 SQ. FT. / 2409 SQ. FT. | REVISED:       |
| FLOOR PLAN                |                             |                |
| KENWOOD #275              |                             | DRAWING NUMBER |

Outlet C



2 FRONT ELEVATION  
a2.1 1/4"=1'-0"

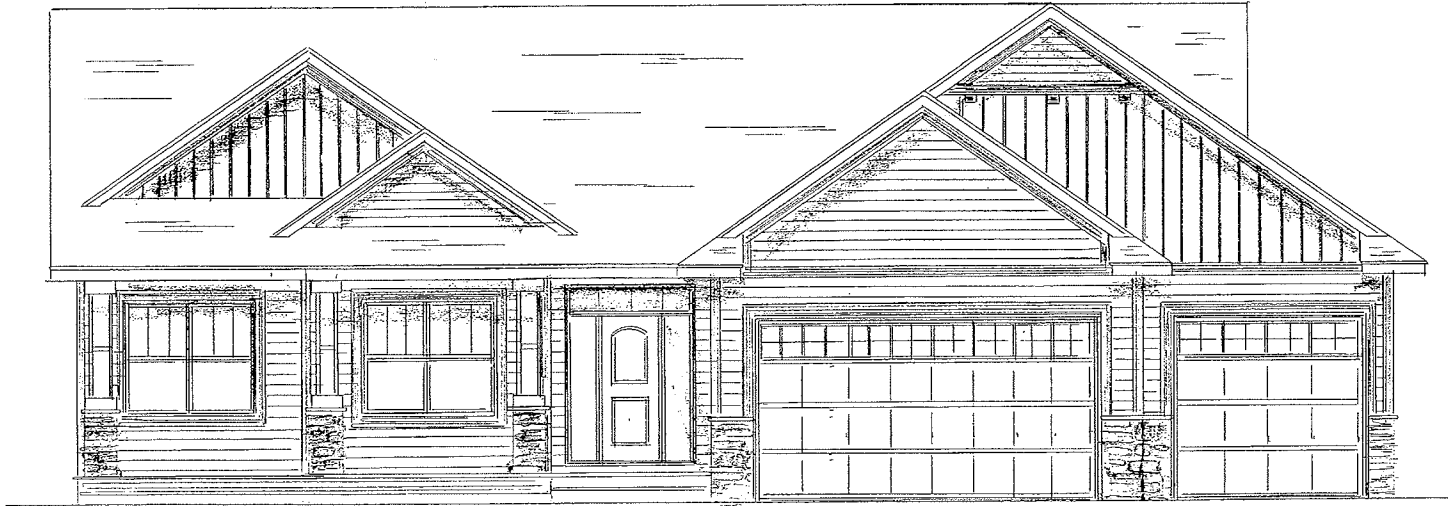


1 RIGHT ELEVATION  
a2.1 1/4"=1'-0"

EXTERIOR ELEVATIONS

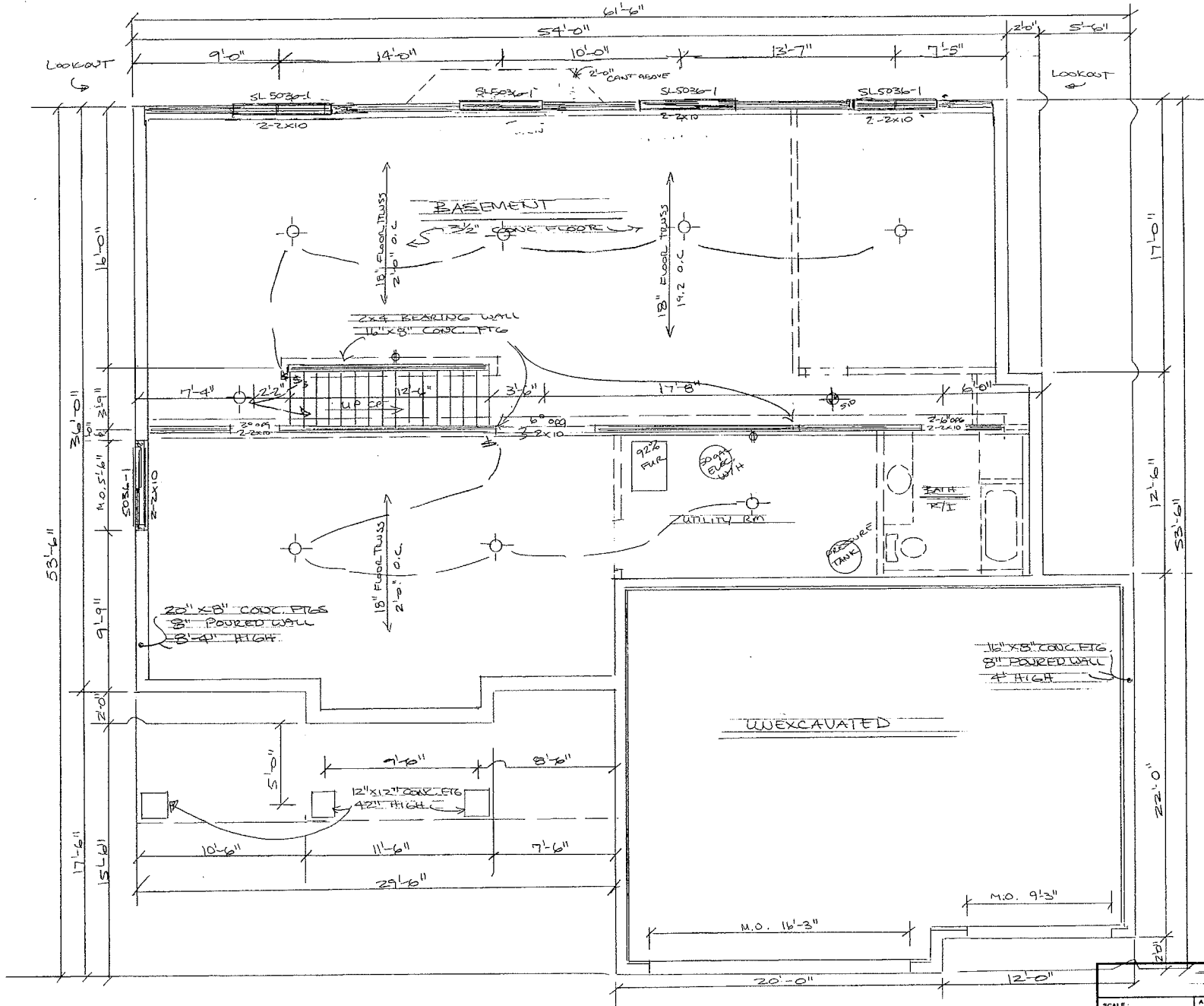
a2.1

Outlot C



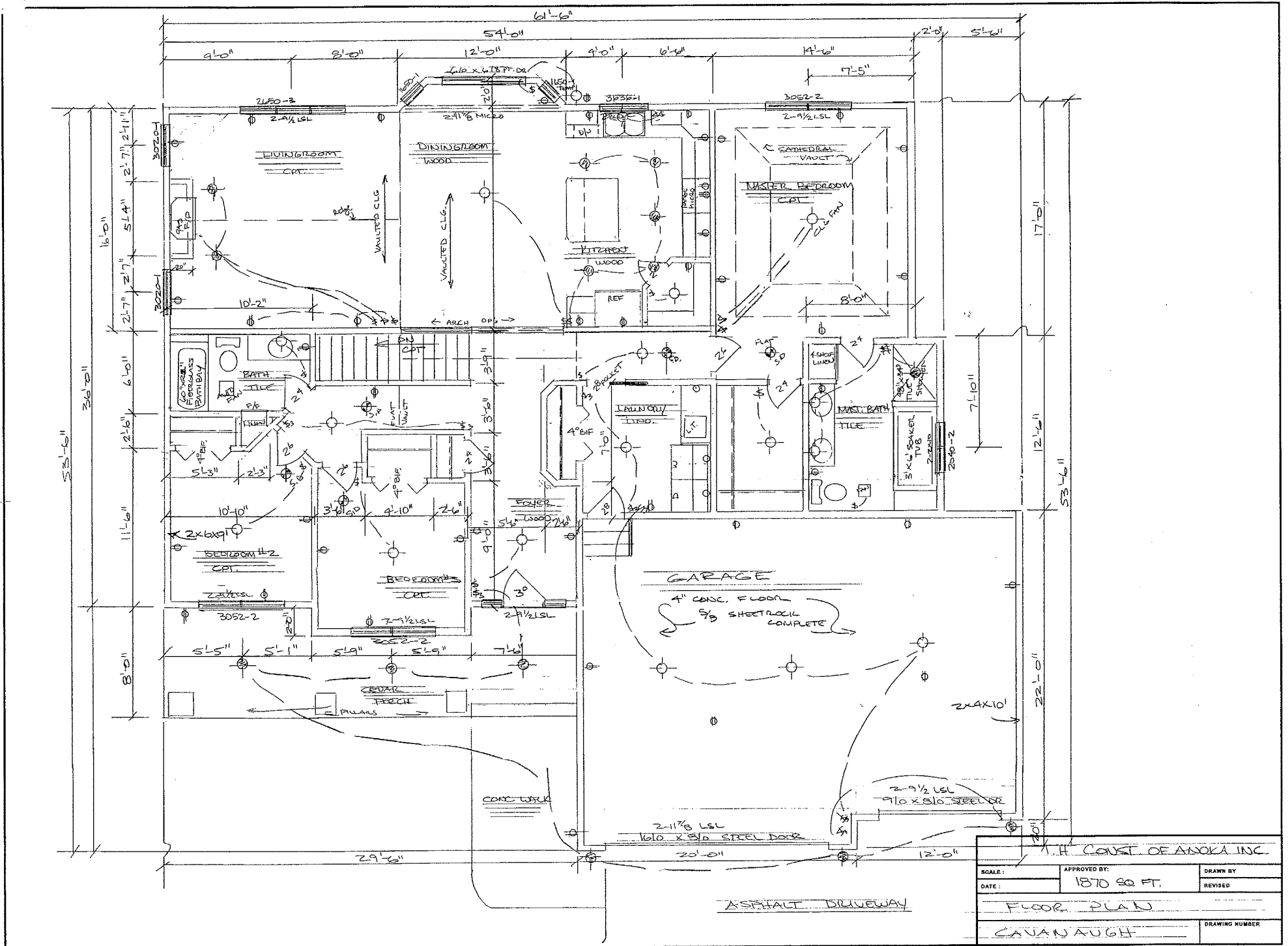
|                            |              |                |
|----------------------------|--------------|----------------|
| T.H. CONST. OF ANOKA, INC. |              |                |
| SCALE:                     | APPROVED BY: | DRAWN BY:      |
| DATE:                      |              | REVISED:       |
| ELEVATIONS                 |              |                |
| CAVANAUGH                  |              | DRAWING NUMBER |

OUTLOT C



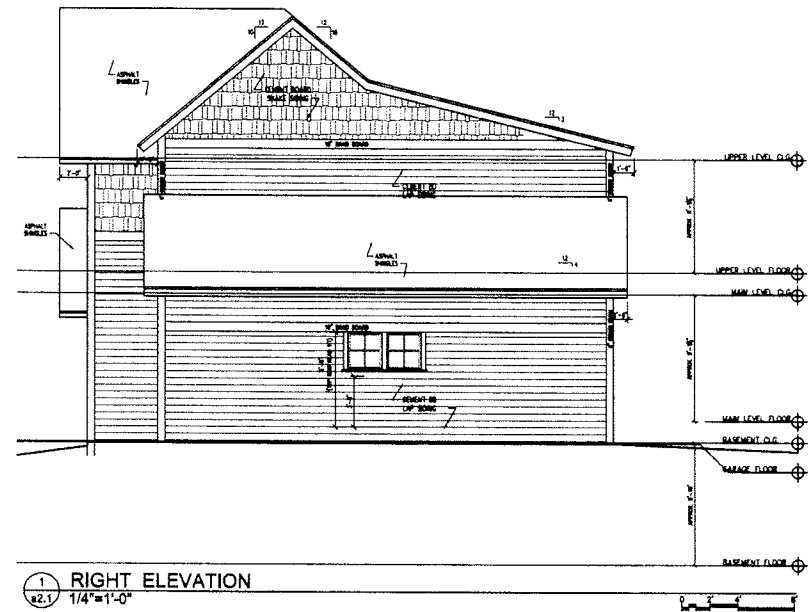
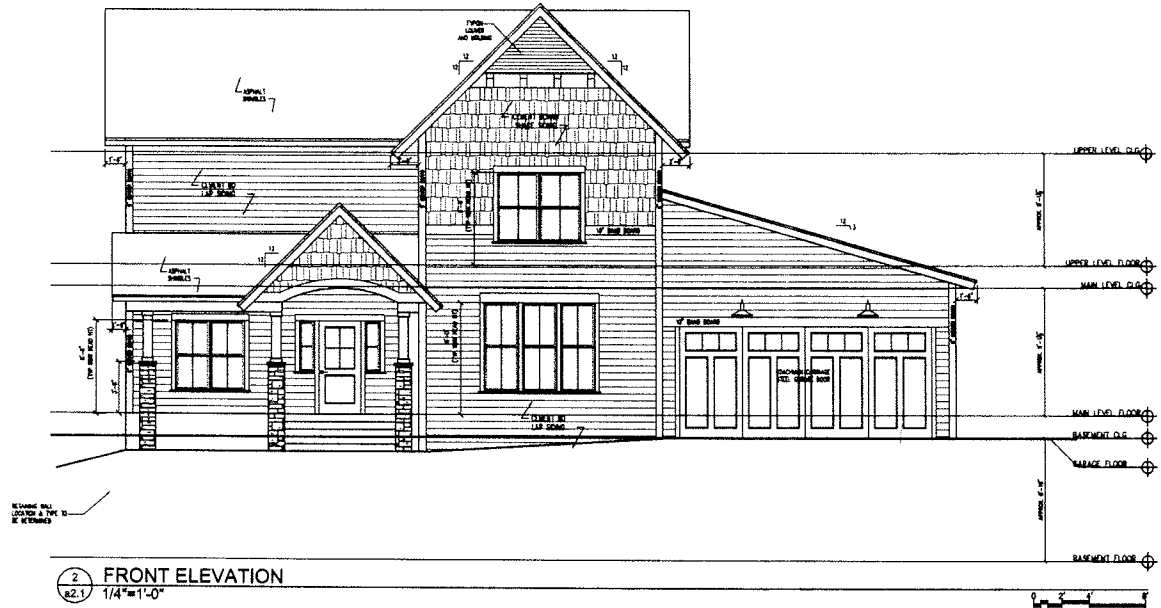
|                          |                 |                |
|--------------------------|-----------------|----------------|
| J.H. COAST OF ANOKA INC. |                 |                |
| SCALE:                   | APPROVED BY:    | DRAWN BY:      |
| DATE:                    | 18ED FOUNDATION | REVISED:       |
| BASEMENT PLAN            |                 |                |
| CAVAUGHN                 |                 | DRAWING NUMBER |

Outlot C



|                         |              |                |
|-------------------------|--------------|----------------|
| H. CONST. OF ANOKA INC. |              |                |
| SCALE:                  | APPROVED BY: | DRAWN BY:      |
| DATE:                   | 1870 SQ. FT. | REVISED:       |
| FLOOR PLAN              |              |                |
| CAVANAGH                |              | DRAWING NUMBER |

Outlot C



EXTERIOR ELEVATIONS

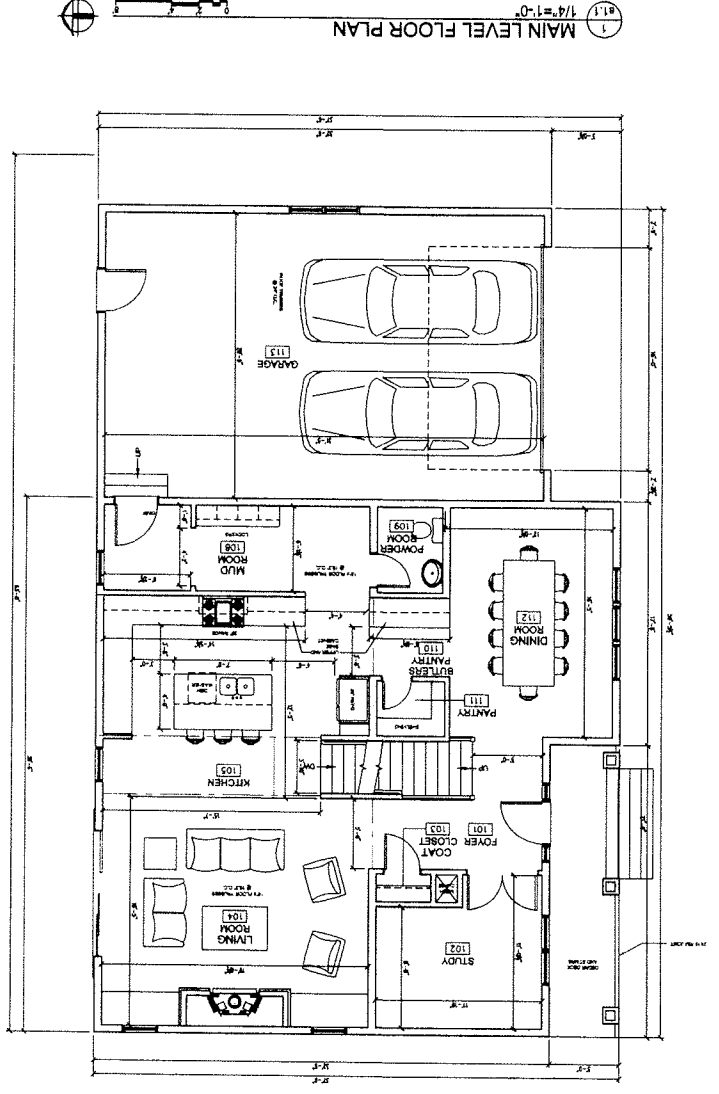
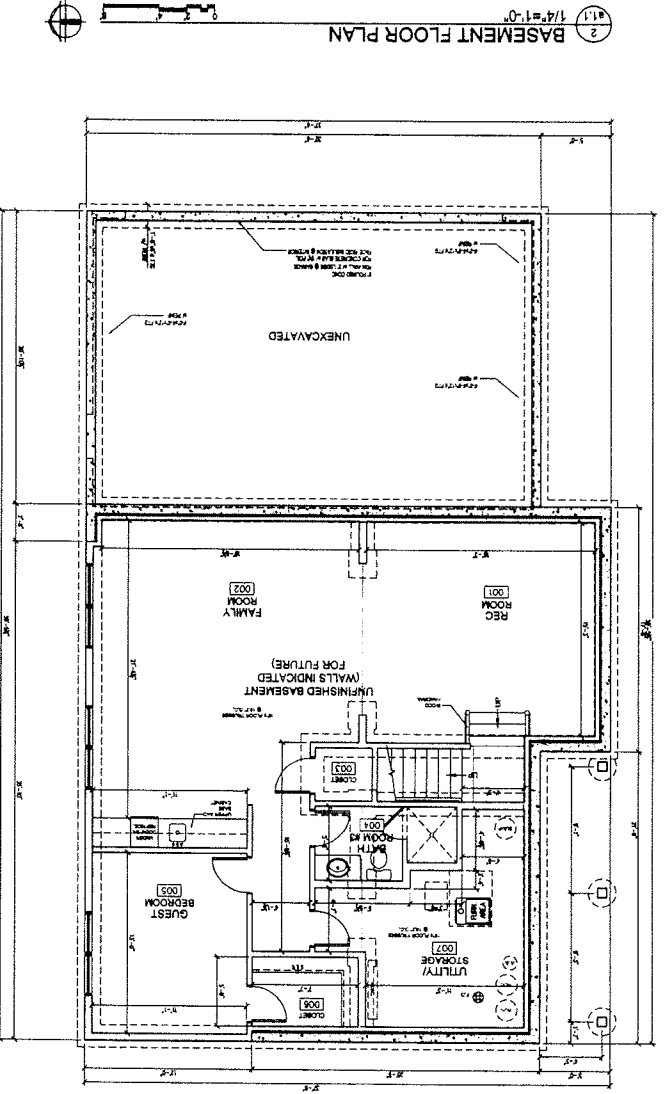
a2.1

A

Priorities Defined

Outlet C

712-8340



PRELIMINARY - NOT FOR CONSTRUCTION

SHEET NUMBER  
 MAIN LEVEL  
 AND  
 BASEMENT  
 FLOOR PLANS  
 at 1/4"

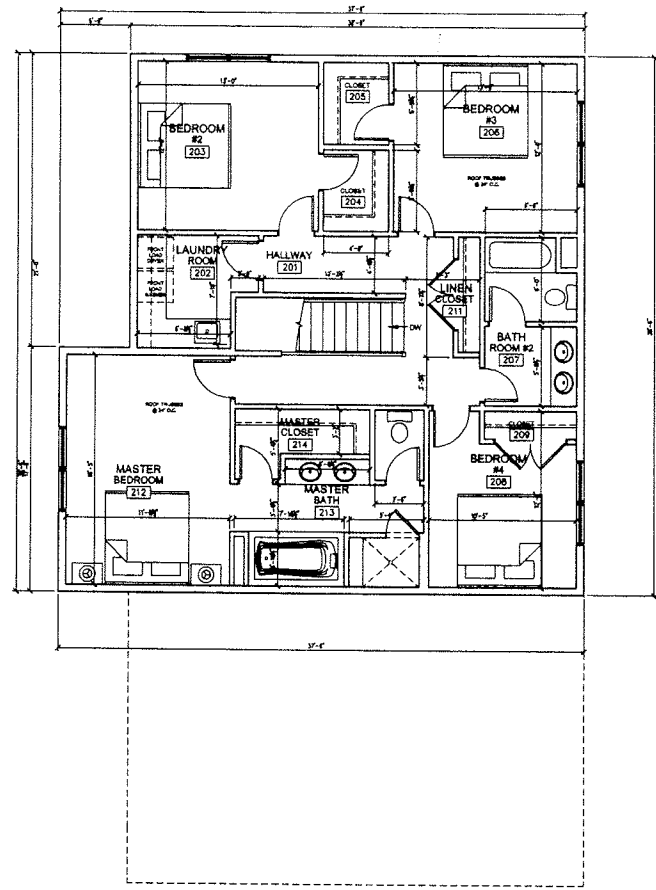
BLAINE, MN  
 NEW HOME  
 PRIORITIES  
 DEFINED



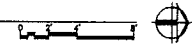
(A)



A



1  
a1.2  
BASEMENT FLOOR PLAN  
1/4"=1'-0"



PRELIMINARY - NOT FOR CONSTRUCTION



PRIORITIES  
DEFINED  
NEW HOME  
BLAINE, MN

|     |      |
|-----|------|
| Rev | Date |
|     |      |
|     |      |
|     |      |
|     |      |
|     |      |
|     |      |
|     |      |
|     |      |
|     |      |

UPPER LEVEL  
FLOOR PLAN &  
ROOF PLAN

SHEET NUMBER

a1.2

001lot C

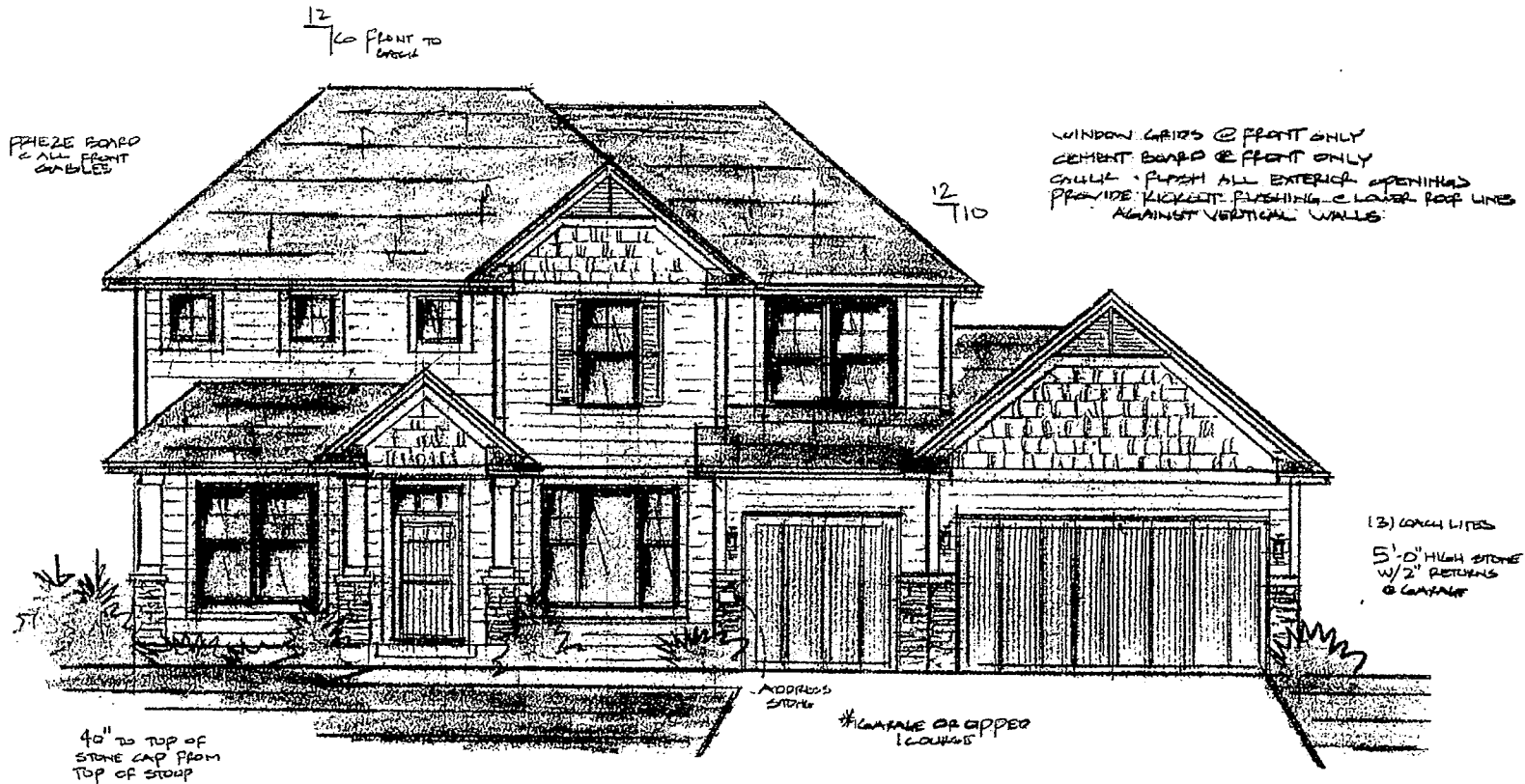
**John Pribyl**  
 One Horse Productions  
 design production performance  
 888/424-9772

These drawings are design concept only. Responsibility for all information here in is by the general contractor. Conform to State and Local Codes  
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Project 441119th Circle  
 Blaine, MN  
 General Contractor Simmer Bros. Homes

DATE \_\_\_\_\_  
 SHEET 1  
 OF 6

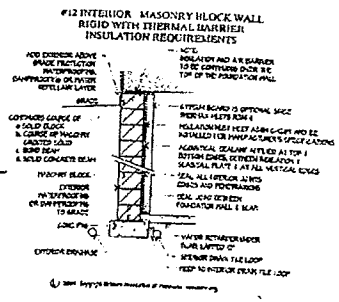
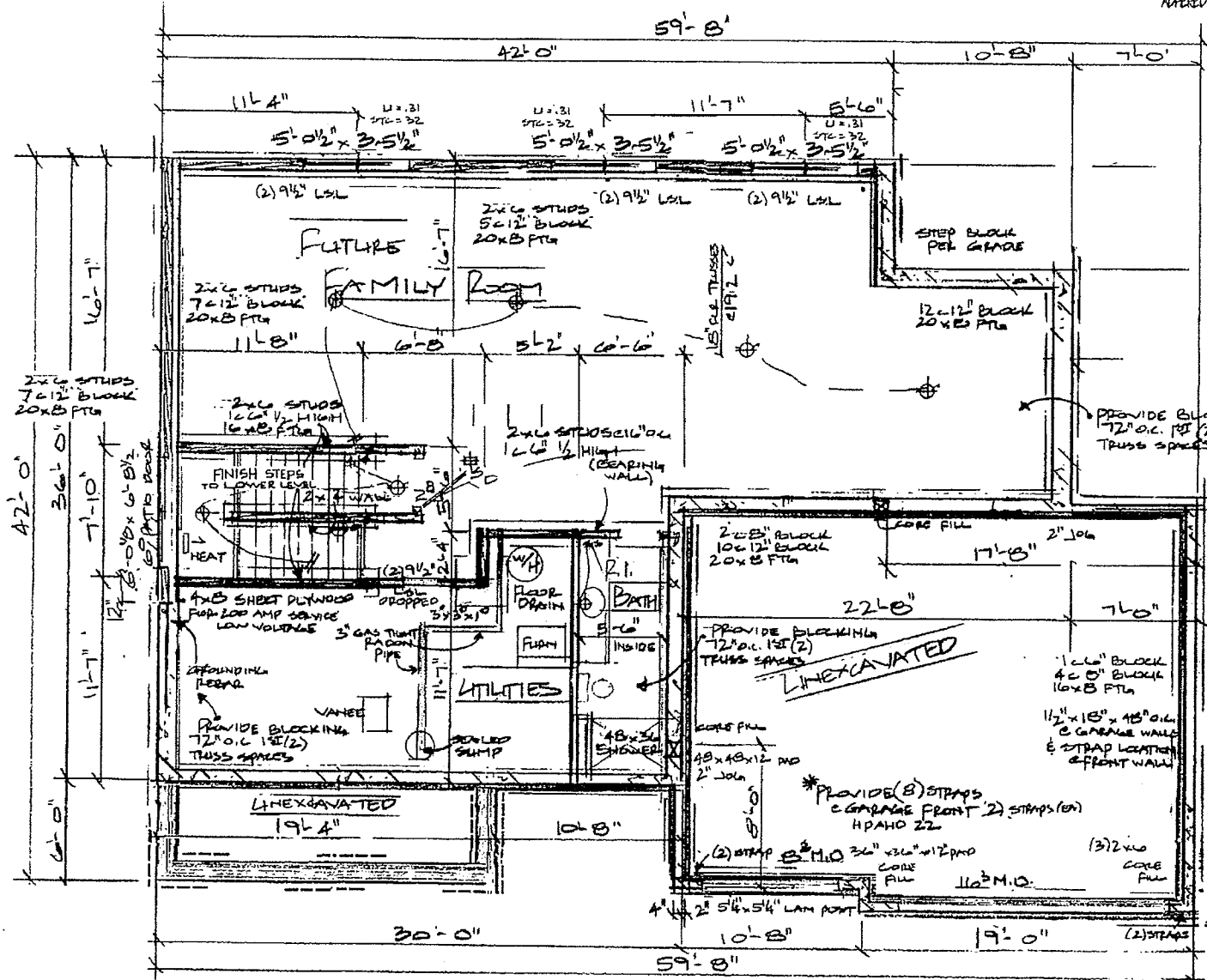


Front Elevation 1/4" = 1'-0"



We Have The Key  
 To Your Dream  
**SIMMER BROS.  
 HOMES**

WINDOW INSTALLATION: REFER TO INSTALL STICKER  
 AFFIXED TO EACH UNIT



NOTE  
 ALL HEADERS TO BE:  
 - (2) 2x10 UNLESS NOTED

- SD  
 (1) SMOKE DETECTOR
- FRONT BEAMS CALL  
 12 CENTRE WALLS
- PROVIDE 1/2" TREEMAX  
 CALL EXPOSED BLOCK
- ALL FRAMING TO BE  
 2" OFF TREEMAX
- ALL PLUMBING SUPPLY  
 CONNECTIONS ON  
 INTERIOR WALLS ONLY
- ALL WASTE PIPES  
 KEPT 1 1/2" OFF EXPOSED  
 BLOCK
- \* TO MEET ASTM C 1289  
 STANDARDS
- SEAL ALL INTERIOR  
 JOINTS, EDGES AND  
 PENETRATIONS
- SEAL ALL TOP  
 & BOTTOM EDGES

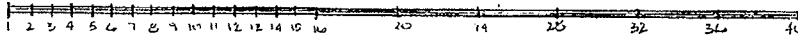
2x6 BLOCK  
 3x6 BLOCK  
 16x8 PTL  
 2 GARAGE FRONT WALL

|              |      |
|--------------|------|
| SHEET 2      | OF 6 |
| PUN # 13-055 |      |

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Lower Level | 1/4" = 1'-0"

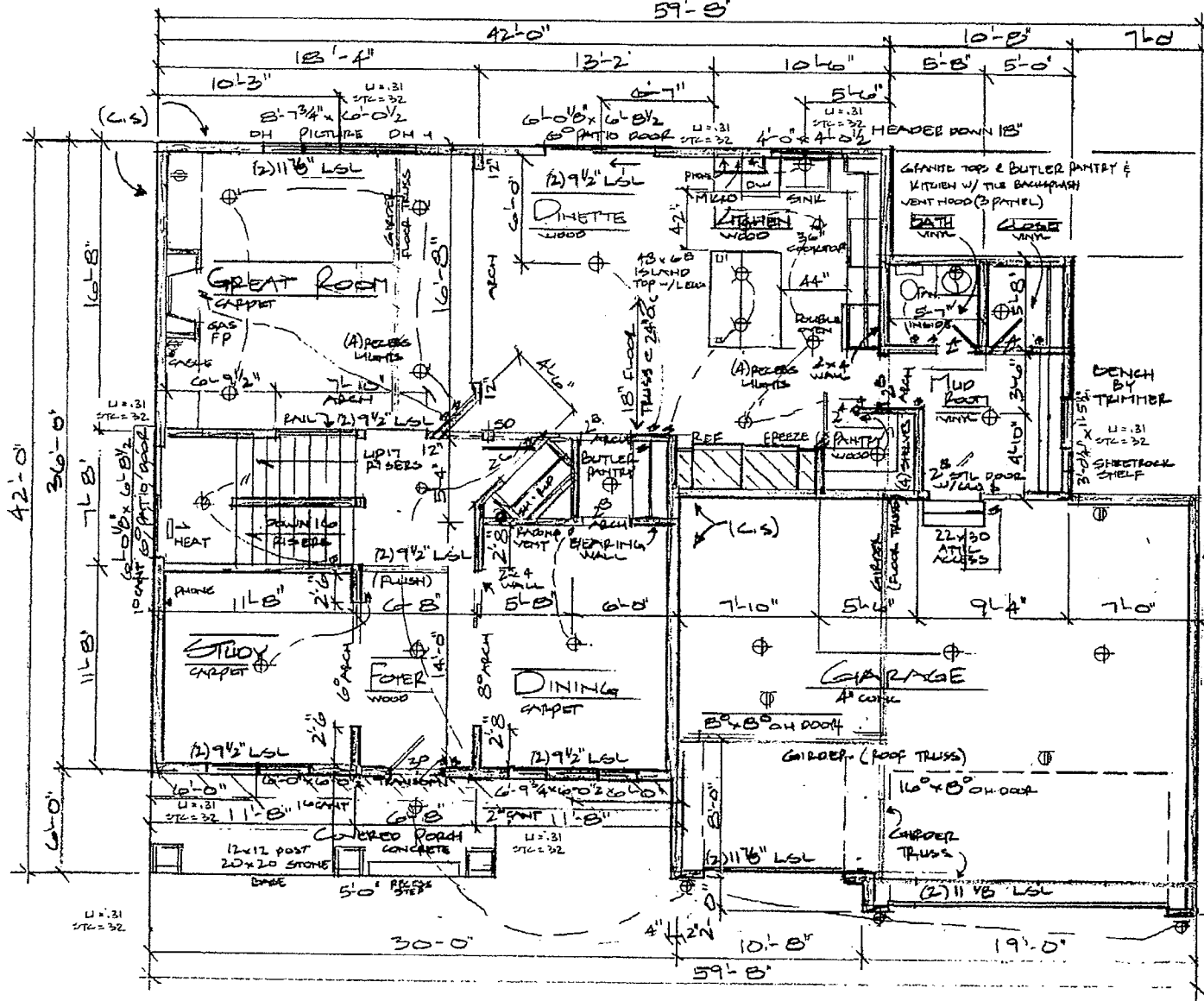
outlot C



WINDOW INSTALLATION - REFER TO INSTALL STICKER ADHERED TO EACH UNIT

**NOTE**

- ALL HEADERS TO BE:**
- (2) 2x10 UNLESS NOTED
  - 7'10 1/2" HEIGHT
- WINDOWS**
- ANDERSON SILVERLINE
  - TEMPERED PICTURE UNITS
  - C-STAIRS & TUB
- CONCRETE**
- 2x6 STRIPS @ 16" O.C. (EXTERIOR)
  - 2x4 STRIPS @ 16" O.C. (INTERIOR)
  - CONTINUOUS OSB SHEATHING (C/S) TYPICAL
  - 30" SMOKE DETECTOR



**MAIN LEVEL PLAN**

9'-11/8" PLATE HEIGHT

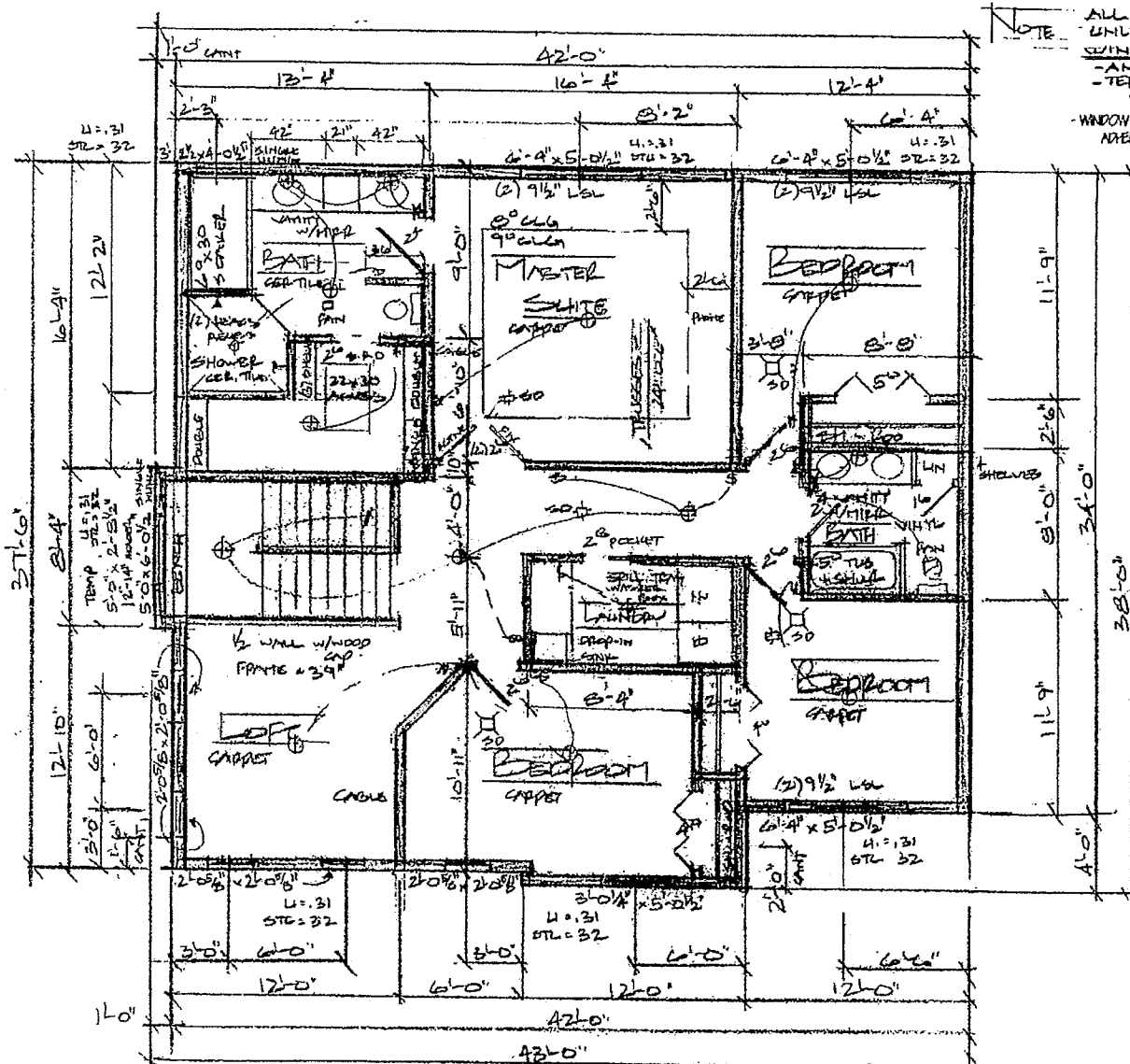
1467 SQUARE FEET

1/4" = 1'-0"

SHEET 3 of 6  
PLAN # 13-055

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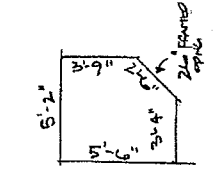
Outlot C



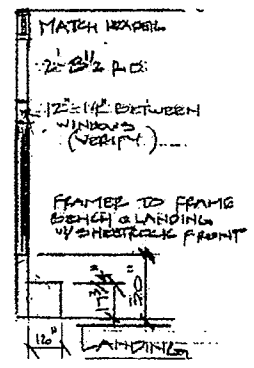
NOTE ALL HEADERS TO BE (2) 2x10 UNLESS NOTED  
 WINDOWS  
 - ANDERSON SILVERLINE  
 - TEMPERED WINDOWS  
 & STAIRS & TUB  
 WINDOW INSTALLATION: REFER TO INSTALL STICKER ADHERED TO EACH UNIT

SMOKE DETECTOR  
 w/ CARBON MONOXIDE  
 ALARM IN EACH BED ROOM  
 OF EACH BED ROOM

WALLS  
 2x6 STUDS @ 16" O.C. (EXTERIOR)  
 2x4 STUDS @ 16" O.C. (INTERIOR)  
 CONTINUOUS OSB SHEATHING (C/S)  
 TYPICAL



SHOWER FLOOR



FRAMED TO FRAM  
 BECH & LANDING  
 w/ SHEETROCK FRONT

SHEET 4 OF 6  
 PLAN # 13-055

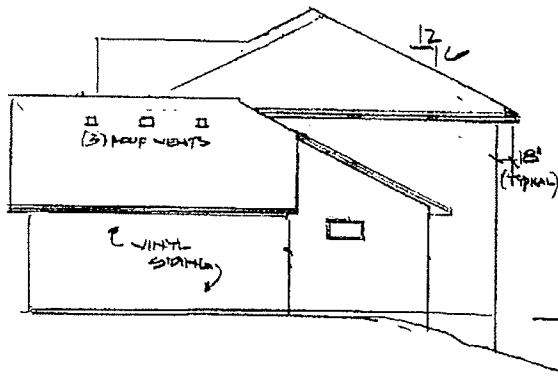
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# UPPER LEVEL PLAN

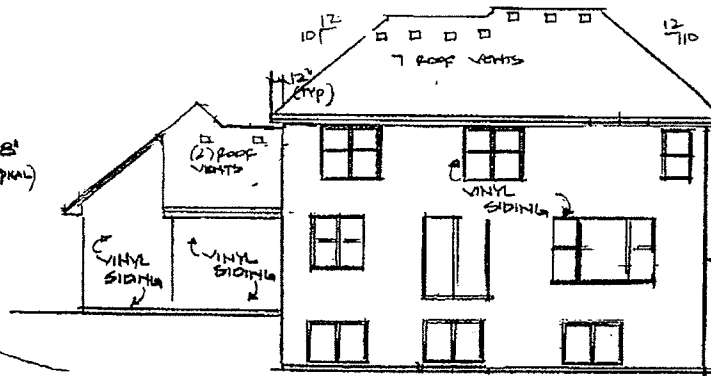
1539 SQ. FT.

1/4" = 1'-0"

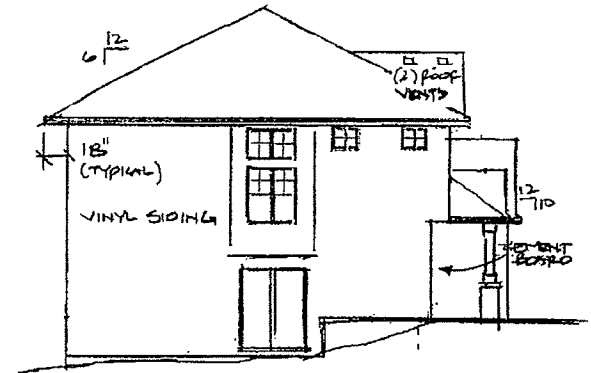
0040+c



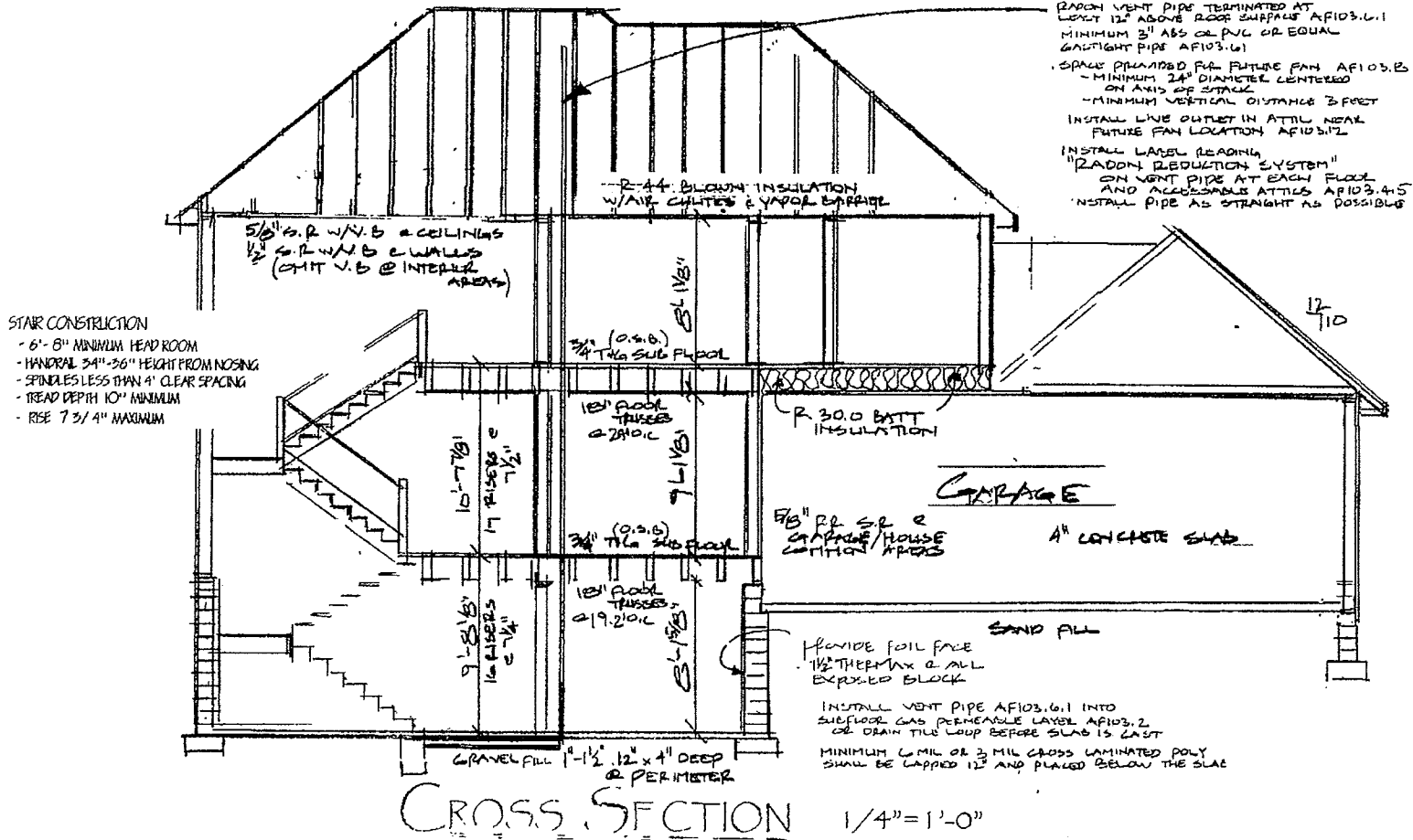
Right Elevation 1/8"=1'-0"



Rear Elevation 1/8"=1'-0"



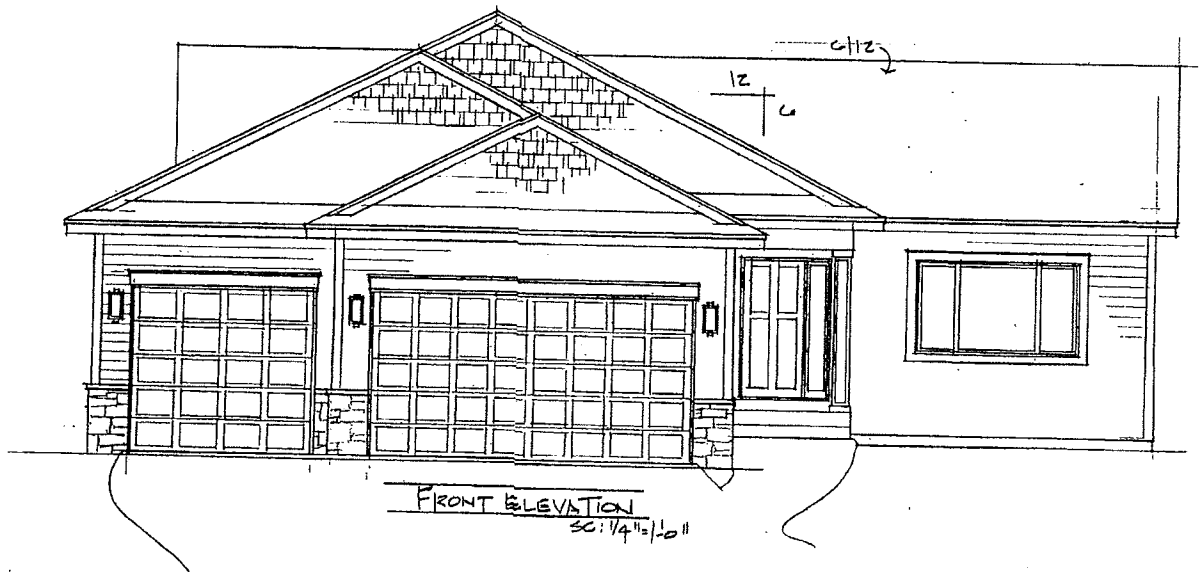
Left Elevation 1/8"=1'-0"



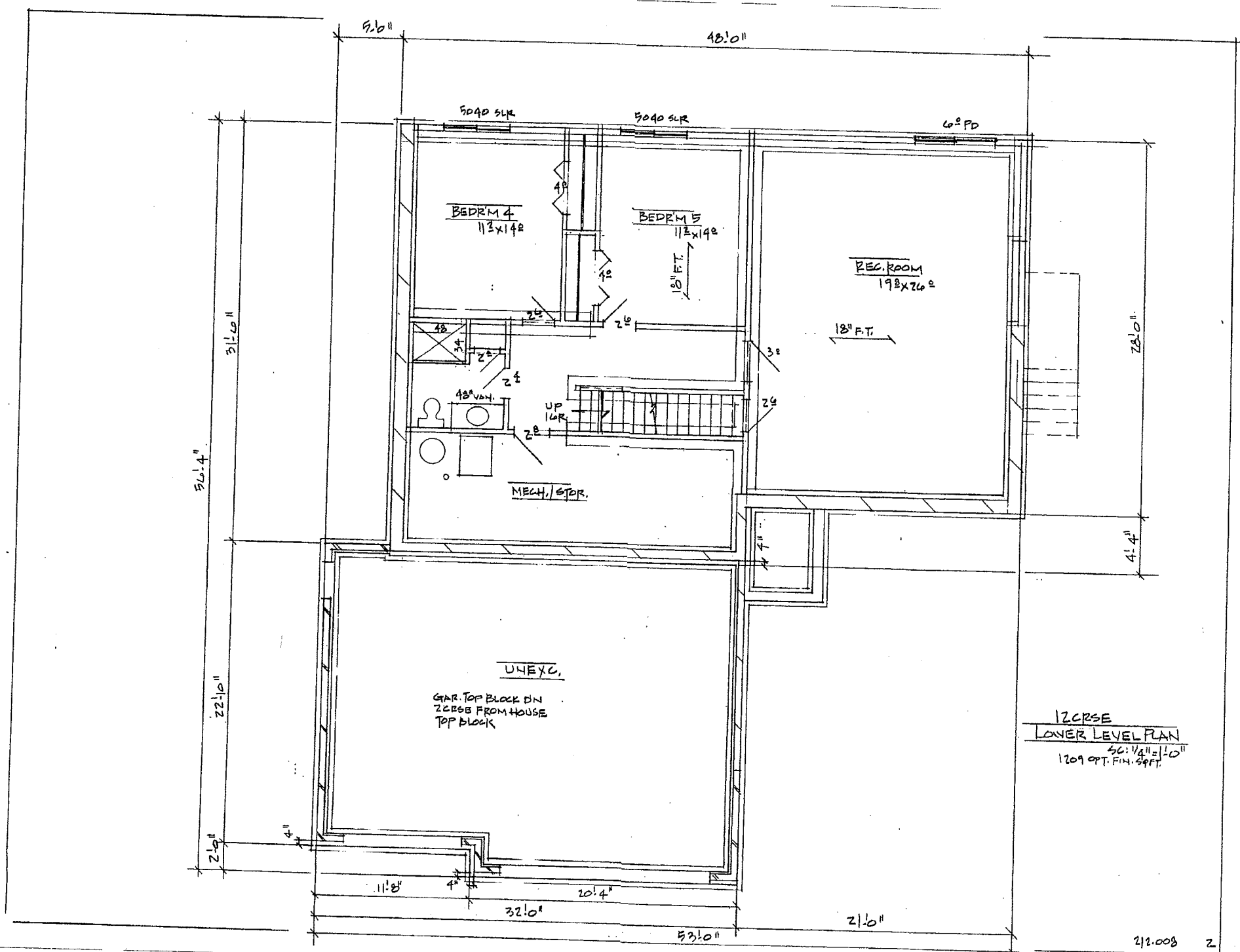
|               |      |
|---------------|------|
| SHEET 5       | OF 6 |
| PLAN #113-055 |      |

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00410f C



Proposed Rambler Plan:  
Woodland Development & Regency Homes



BEDRM 4  
11'2" x 14'2"

BEDRM 5  
11'2" x 14'2"

REG. ROOM  
19'8" x 26'2"

MECH./STOR.

UNEXC.

GAR. TOP BLOCK DN  
2'0" FROM HOUSE  
TOP BLOCK

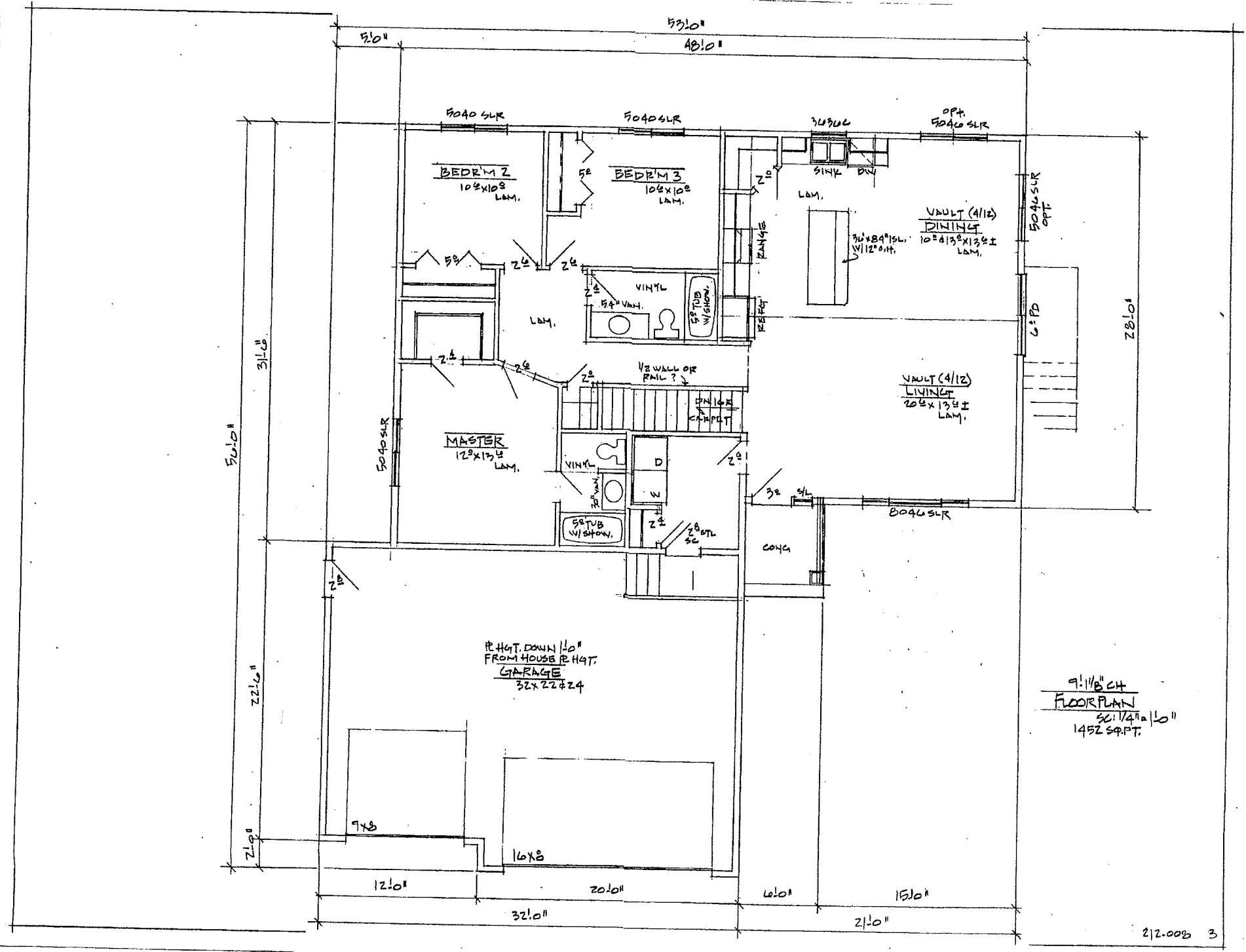
12CRSE  
LOWER LEVEL PLAN

56' 1/4" = 11' 0"  
1209 OPT. FIN. 59 FT.

212.008 2

Parkway West





ROOF:  
 SHINGLES: \_\_\_\_\_  
 PITCH:  
 \*\*MAIN HOUSE PITCH IS 8/12  
 FRONT GABLE PITCH IS: 8/12  
 OVERHANG: 1'-4"  
 GABLE RAKE: 1'-0" UNLESS NOTED

PLATE HEIGHT:  
 MAIN FLOOR: FRAMING PLATE HEIGHT  
 9'-1 1/8"  
 GARAGE PLATE HEIGHT MATCHES  
 THAT OF HOUSE MAIN FLOOR  
 SECOND FLOOR: FRAMING PLATE HEIGHT  
 8'-1 1/8"

SOFFIT & FASCIA:  
 ALUMINUM SOFFIT AND FASCIA

SIDING:  
 FRONT ELEVATION AS SHOWN  
 AND NOTED

SIDES & REAR ELEVATIONS:  
 HORIZONTAL LAP VINYL

CORNERS:

WINDOW TRIM:  
 FRONT: \_\_\_\_\_  
 SIDES AND REAR: NONE

FRIEZE BOARDS: (FRONT)  
 \_\_\_\_\_

ALL DIMENSIONS ARE BLUEPRINT REQUIREMENTS  
 LOCATION AND PLACEMENT OF WALLS,  
 WINDOWS, LIGHTS AND OUTLETS CAN VARY  
 WITHIN NORMAL CONSTRUCTION TOLERANCES.  
 SOME REQUIREMENTS ARE NORMAL REQUIREMENTS  
 AS COMMONLY USED IN CONSTRUCTION TRADES



REAR ELEVATION  
 SCALE: 1/8" = 1'-0"

(B) Woodland Development  
 Registry

BID PLAN ONLY  
 \*\*NOT FOR SUPPLY OR CONSTRUCTION\*\*

14-005 3BR BID PLAN

DATE: BASE  
 10/10/2013  
 05/12/2014

14-005  
 SHEET NO.  
 A-1

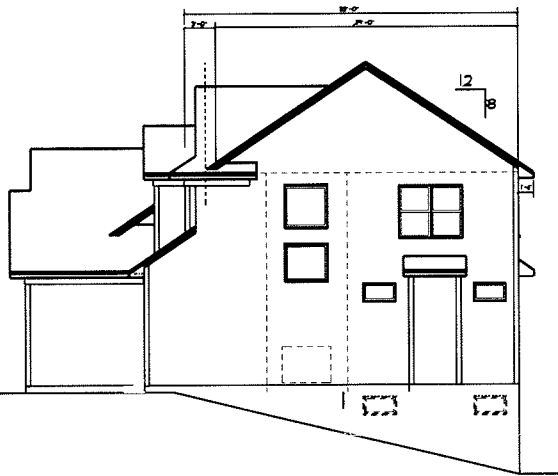
Parkway W/ST



Parkway West

*HERITAGE SERIES: VERMONT*  
*3 BEDROOM VERSION WITH PORCH*

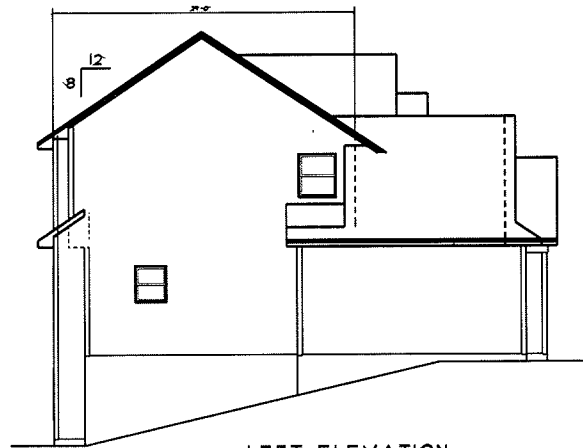




**RIGHT ELEVATION**  
SCALE: 1/8" = 1'-0"



**REAR ELEVATION**  
SCALE: 1/8" = 1'-0"



**LEFT ELEVATION**  
SCALE: 1/8" = 1'-0"

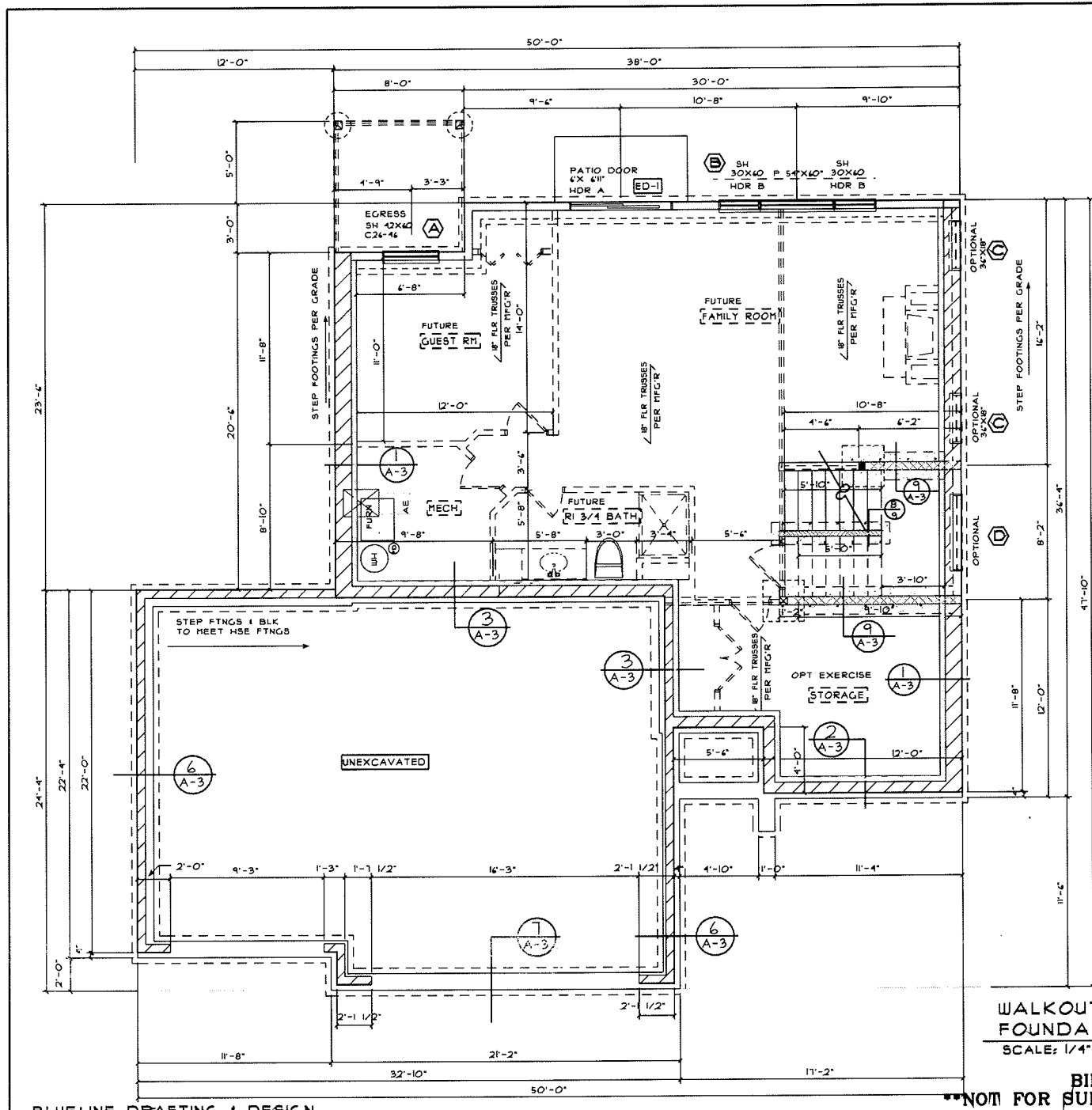
ALL DIMENSIONS ARE CURRENT MEASUREMENTS  
LOCATION AND PLACEMENTS OF WALLS,  
WINDOWS, LIGHTS AND OUTLETS CAN VARY  
WITHIN NORMAL CONSTRUCTION TOLERANCES.  
SOME MEASUREMENTS ARE NORMAL MEASUREMENTS  
AS COMMONLY USED IN CONSTRUCTION TRADES

14-005 3BR BID PLAN

|            |      |
|------------|------|
| DATE       | BASE |
| 10/10/2013 |      |
| 05/12/2014 |      |

|           |
|-----------|
| 14-005    |
| SHEET NO. |
| A-2       |

BID PLAN ONLY  
\*\*NOT FOR SUPPLY OR CONSTRUCTION\*\*



**GENERIC WINDOW SIZES**

| UNIT SIZE                         | RO.              | QUANTITY |
|-----------------------------------|------------------|----------|
| A SH UNIT 12' X 10'               | GUEST RM         | 1        |
| B SH-PIC-T-SH 30' X 54' X 30/10'  | FUTURE FAMILY RM | 1        |
| C OPTIONAL TRANSOM UNIT 34" X 18" | FIREPLACE WALL   | 2        |
| D OPT. STAIRWAY PICTURE UNIT      | OPT              | 1        |

**EXTERIOR DOORS**

| ED-1 | PATIO DOOR 6 FT X 6-8 | FAMILY RM | QUANTITY |
|------|-----------------------|-----------|----------|
|      |                       |           | 1        |

**GENERAL CONSTRUCTION NOTES:**

- ONE WINDOW IN EACH SLEEPING ROOM SHALL HAVE 5.7 SQ FT OF NET OPENABLE AREA AND MINIMUM OF 20" WIDTH, MAXIMUM SILL HEIGHT OFF OF FLOOR IS 4"
- 4" MAXIMUM OPENING IN ALL GUARDRAILS.
- GUARDRAILS REQUIRED ON THE OPEN SIDE OF ANY STAIR OR PLATFORM MORE THAN 30" OFF OF OR ABOVE THE FLOOR.

NOTE ON ALL PLANS: \*OBL STUDS \*ALL OF THE WINDOW AND PATIO DOOR HORS & POINT LOADS UNLESS NOTED OTHERWISE.

PROVIDE SOLID BEARING UNDER ENDS OF BEAMS, POINT LOADS, GIRDER TRUSSES, ETC. TRANSFER LOADS WITH BLOCKING ALL THE WAY DOWN TO FOUNDATION & FOOTINGS. SIZE FOOTINGS WITH THE SOIL BEARING CAPACITY AT THE SITE.

**SMOKE ALARMS;**

PROVIDED AND INSTALLED PER IRC SECTION 903.2.1  
 PROVIDE SMOKE DETECTORS IN EVERY BEDROOM AND IN THE CORRIDOR GIVING ACCESS TO THE BEDROOM, ON ALL FLOORS, INCLUDING THE BASEMENT. ADD A SMOKE DETECTOR IN ANY ROOM WITH A CEILING HEIGHT MORE THAN 24" HIGHER THAN THE CORRIDORS ACCESSING THE BEDROOMS.

**CARBON MONOXIDE ALARMS;**

PROVIDED AND INSTALLED PER MINNESOTA STATUTE 249F.50

ALL DIMENSIONS ARE BLUEPRINT MEASUREMENTS. LOCATION AND PLACEMENTS OF WALLS, WINDOWS, LIGHTS AND OUTLETS CAN VARY WITHIN NORMAL CONSTRUCTION TOLERANCES. SEE GENERAL NOTES FOR FURTHER INFORMATION. AS COMMONLY USED IN CONSTRUCTION TRADES.

14-005 3 BR BID PLAN

DATE: BASE  
10/10/2015

**WALKOUT BASEMENT & FOUNDATION PLAN**  
 SCALE: 1/4" = 1'-0"

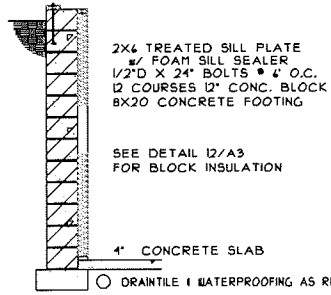
**BID PLAN ONLY**

**\*\*NOT FOR SUPPLY OR CONSTRUCTION\*\***

14-005  
SHEET NO.  
**A-3**

Parkway West

NOTE: ANCHOR BOLTS TO EXTEND DOWN INTO THE 3RD COURSE OF BLK



2X4 TREATED SILL PLATE  
w/ FOAM SILL SEALER  
1/2"Ø X 24" BOLTS @ 4" O.C.  
12 COURSES 12" CONC. BLOCK  
8X20 CONCRETE FOOTING

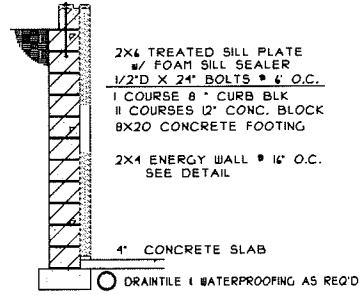
SEE DETAIL 12/A3  
FOR BLOCK INSULATION

4" CONCRETE SLAB

○ DRAINTILE & WATERPROOFING AS REQ'D

1 TYPICAL  
12 COURSE FOUNDATION

SCALE: 3/8"=1'-0"



2X4 TREATED SILL PLATE  
w/ FOAM SILL SEALER  
1/2"Ø X 24" BOLTS @ 4" O.C.  
1 COURSE 8" CURB BLK  
11 COURSES 12" CONC. BLOCK  
8X20 CONCRETE FOOTING

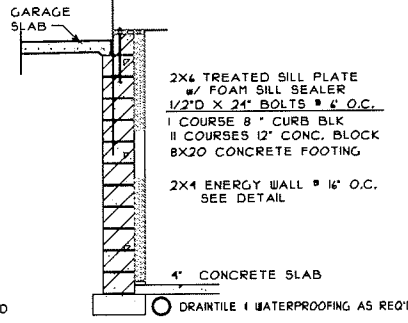
2X4 ENERGY WALL @ 16" O.C.  
SEE DETAIL

4" CONCRETE SLAB

○ DRAINTILE & WATERPROOFING AS REQ'D

2 12 COURSE FOUNDATION  
WITH BRICK LEDGE

SCALE: 3/8"=1'-0"



2X4 TREATED SILL PLATE  
w/ FOAM SILL SEALER  
1/2"Ø X 24" BOLTS @ 4" O.C.  
1 COURSE 8" CURB BLK  
11 COURSES 12" CONC. BLOCK  
8X20 CONCRETE FOOTING

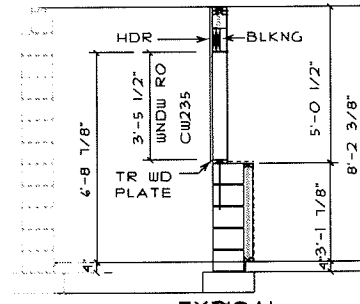
2X4 ENERGY WALL @ 16" O.C.  
SEE DETAIL

4" CONCRETE SLAB

○ DRAINTILE & WATERPROOFING AS REQ'D

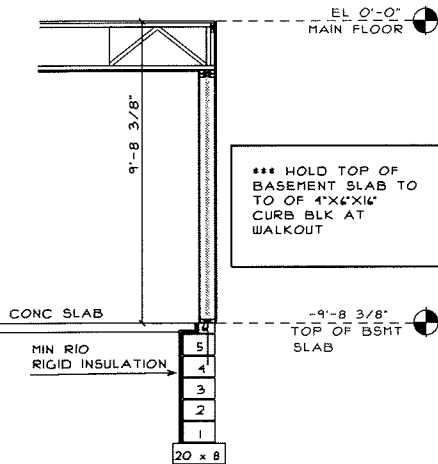
3 12 COURSE FOUNDATION  
HOUSE TO GARAGE

SCALE: 3/8"=1'-0"



4 TYPICAL  
KNEEWALL

SCALE: 3/8"=1'-0"



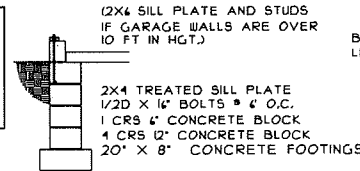
\*\*\* HOLD TOP OF  
BASEMENT SLAB TO  
TO OF 4"X4"X16"  
CURB BLK AT  
WALKOUT

5 BASEMENT SLAB  
& WALKOUT DTL

SCALE: 3/8"=1'-0"

**GARAGE FOOTINGS**

\*\* WATCH GRADE AND STEP FTNGS  
TO MAINTAIN BOTTOM OF FTNGS  
BELOW (42") FROST LINE

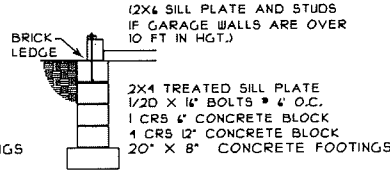


(2X4 SILL PLATE AND STUDS  
IF GARAGE WALLS ARE OVER  
10 FT IN HGT.)

2X4 TREATED SILL PLATE  
1/2"Ø X 16" BOLTS @ 4" O.C.  
1 CRS 4" CONCRETE BLOCK  
4 CRS 12" CONCRETE BLOCK  
20" X 8" CONCRETE FOOTINGS

6 5 COURSE GARAGE

SCALE: 3/8"=1'-0"

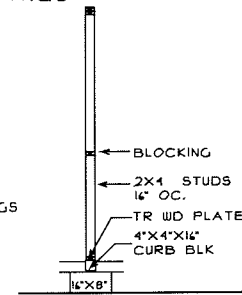


(2X4 SILL PLATE AND STUDS  
IF GARAGE WALLS ARE OVER  
10 FT IN HGT.)

2X4 TREATED SILL PLATE  
1/2"Ø X 16" BOLTS @ 4" O.C.  
1 CRS 4" CONCRETE BLOCK  
4 CRS 12" CONCRETE BLOCK  
20" X 8" CONCRETE FOOTINGS

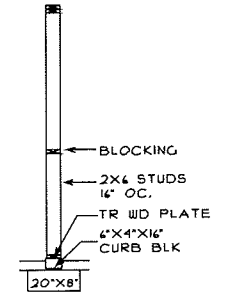
7 BRICK LEDGE  
AT GARAGE WALL

SCALE: 3/8"=1'-0"



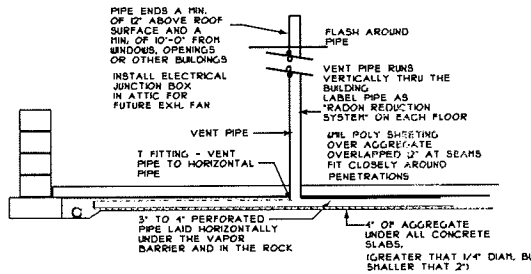
8 2X4 BRNG WALL

SCALE: 3/8"=1'-0"



9 2X6 BRNG WALL

SCALE: 1/4"=1'-0"



PASSIVE RADON SYSTEM

SCALE: 3/8"=1'-0"

ALL DIMENSIONS ARE BLUEPRINT REQUIREMENTS  
LOCATION AND PLACEMENTS OF WALLS  
WINDOWS, LIGHTS AND OUTLETS CAN VARY  
WHEN IN CONFLICT WITH NORMAL REQUIREMENTS.  
SUCH AS: CONCRETE, BLOCK, BRICK, INSULATION,  
AS COMMONLY USED IN CONSTRUCTION TRADES.

LOTS 314,  
RAVENWOOD ADDITION TO WAYZATA

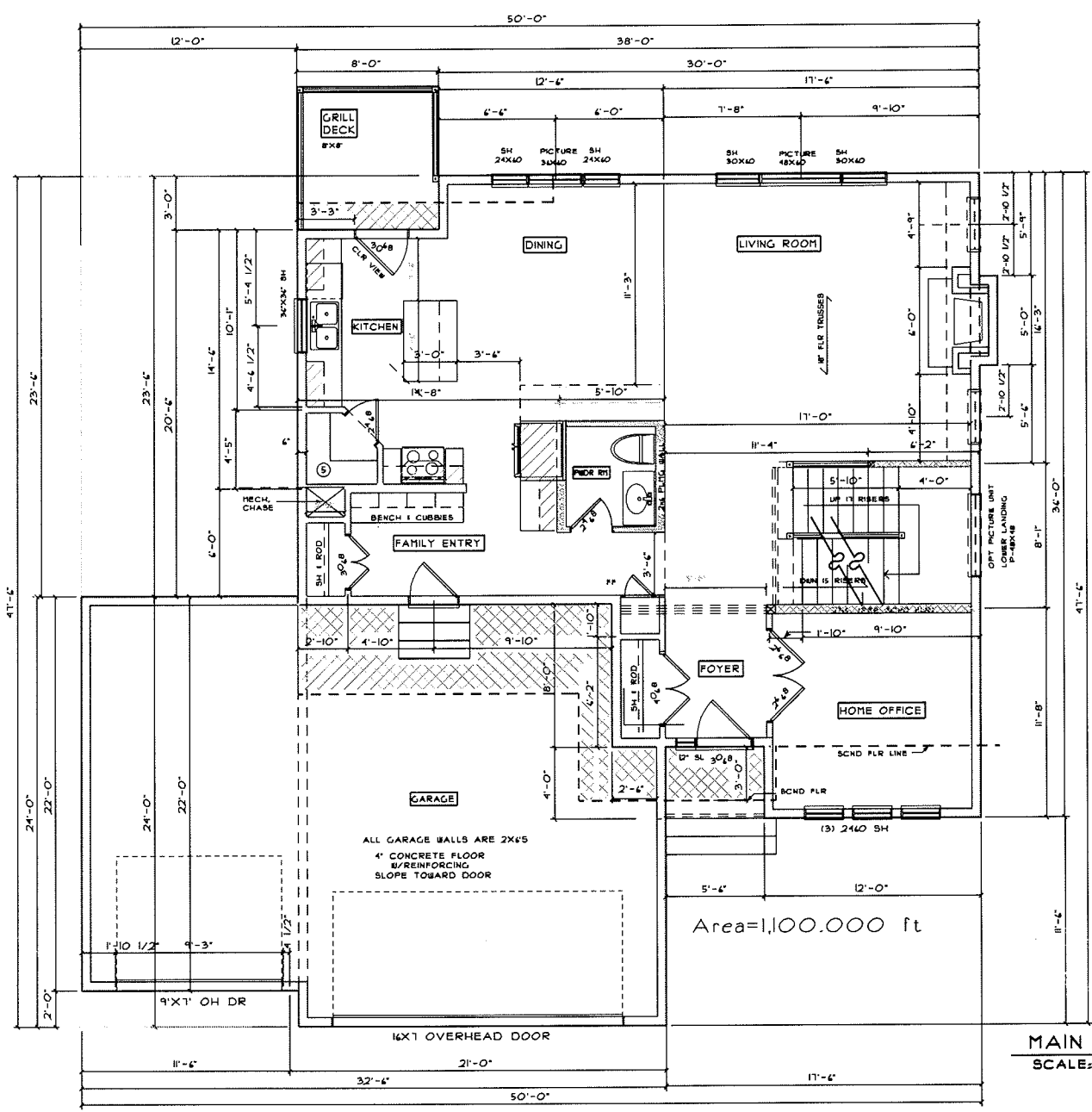
14-005-3 BR BID PLAN  
sheet address  
CITY, MN ZIP

DATE: BASE  
10/10/2013  
5/12/2014

14-005  
A-3BR

SHEET NO.

A-4



**GENERAL CONSTRUCTION NOTES:**

- 1.) ONE WINDOW IN EACH SLEEPING ROOM SHALL HAVE 5.7 SQ FT OF NET OPENABLE AREA AND MINIMUM OF 20" WIDTH, MAXIMUM SILL HEIGHT OFF OF FLOOR IS 44"
- 2.) 4" MAXIMUM OPENING IN ALL GUARDRAILS.
- 3.) GUARDRAILS REQUIRED ON THE OPEN SIDE OF ANY STAIR OR PLATFORM MORE THAN 30" OFF OF OR ABOVE THE FLOOR.

NOTE ON ALL PLANS:  
 \*DBL STUDS \*ALL OF THE WINDOW AND PATIO DOOR SIDES 1 POINT LOADS UNLESS NOTED OTHERWISE.

PROVIDE SOLID BEARING UNDER ENDS OF BEAMS, POINT LOADS, GIRDER TRUSSES, ETC. TRANSFER LOADS WITH BLOCKING ALL THE WAY DOWN TO FOUNDATION 1 FOOTINGS, SIZE FOOTINGS WITH THE SOIL BEARING CAPACITY AT THE SITE.

**SMOKE ALARMS:**  
 PROVIDED AND INSTALLED PER IRC SECTION 903.2.1

PROVIDE SMOKE DETECTORS IN EVERY BEDROOM AND IN THE CORRIDOR GIVING ACCESS TO THE BEDROOM, ON ALL FLOORS, INCLUDING THE BASEMENT. ADD A SMOKE DETECTOR IN ANY ROOM WITH A CEILING HEIGHT MORE THAN 24" HIGHER THAN THE CORRIDORS ACCESSING THE BEDROOMS.

**CARBON MONOXIDE ALARMS:**  
 PROVIDED AND INSTALLED PER MINNESOTA STATUTE 249F.50

ALL DIMENSIONS ARE BLUEPRINT MEASUREMENTS  
 LOCATION AND PLACEMENTS OF WALLS,  
 WINDOWS, LIGHTS AND OUTLETS CAN VARY  
 WITHIN NORMAL CONSTRUCTION TOLERANCES.  
 SOME MEASUREMENTS ARE NORMAL MEASUREMENTS  
 AS COMMONLY USED IN CONSTRUCTION TRADES

14-005 3BR BID PLAN

DATE: BASE  
 10/10/2013  
 05/12/2014

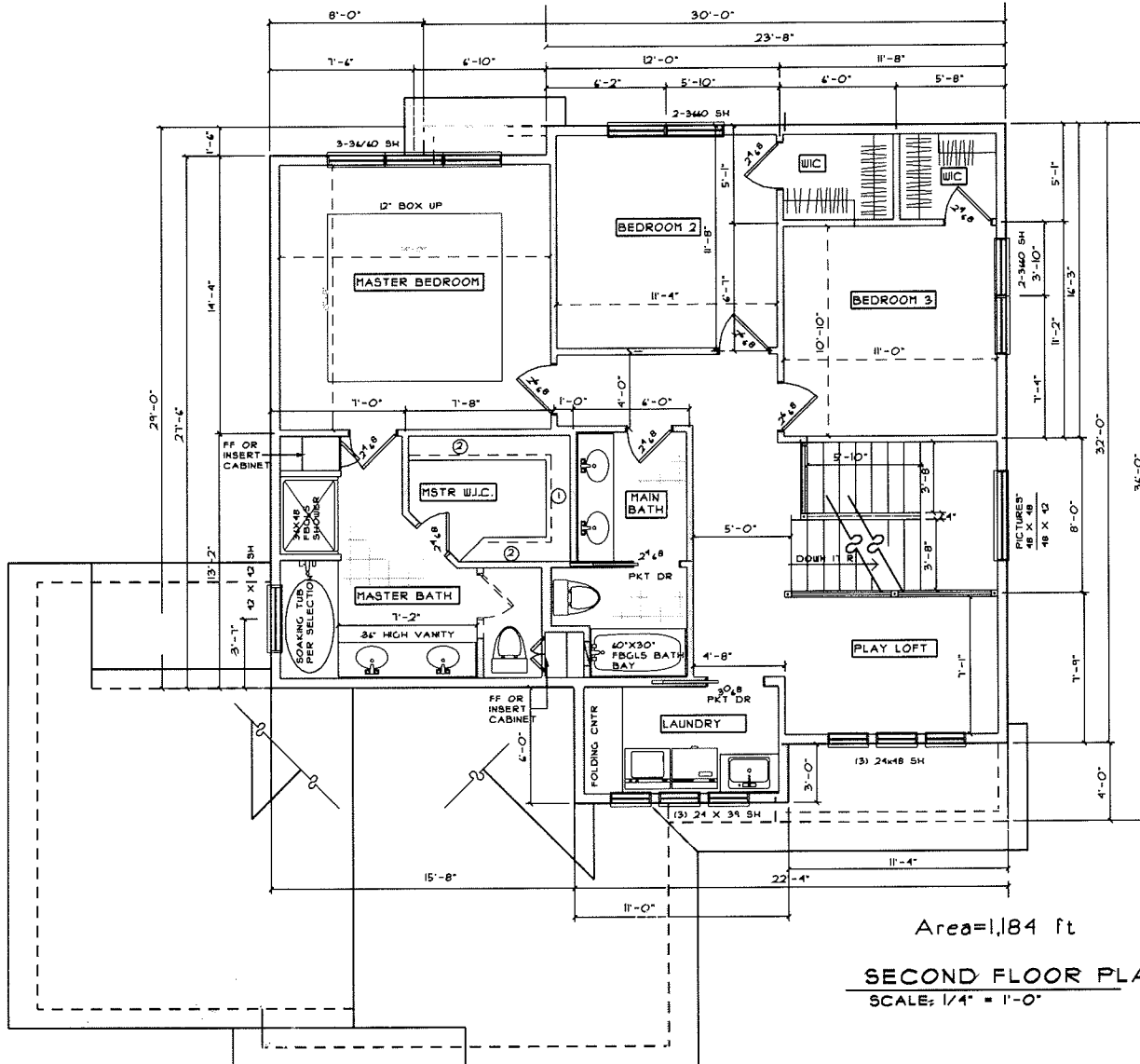
**MAIN FLOOR PLAN**  
 SCALE: 1/4" = 1'-0"

**BID PLAN ONLY**  
**\*\*NOT FOR SUPPLY OR CONSTRUCTION\*\***

14-005  
 SHEET NO.  
 A-5

Parkway West





Area=1,184 ft

**SECOND FLOOR PLAN**

SCALE: 1/4" = 1'-0"

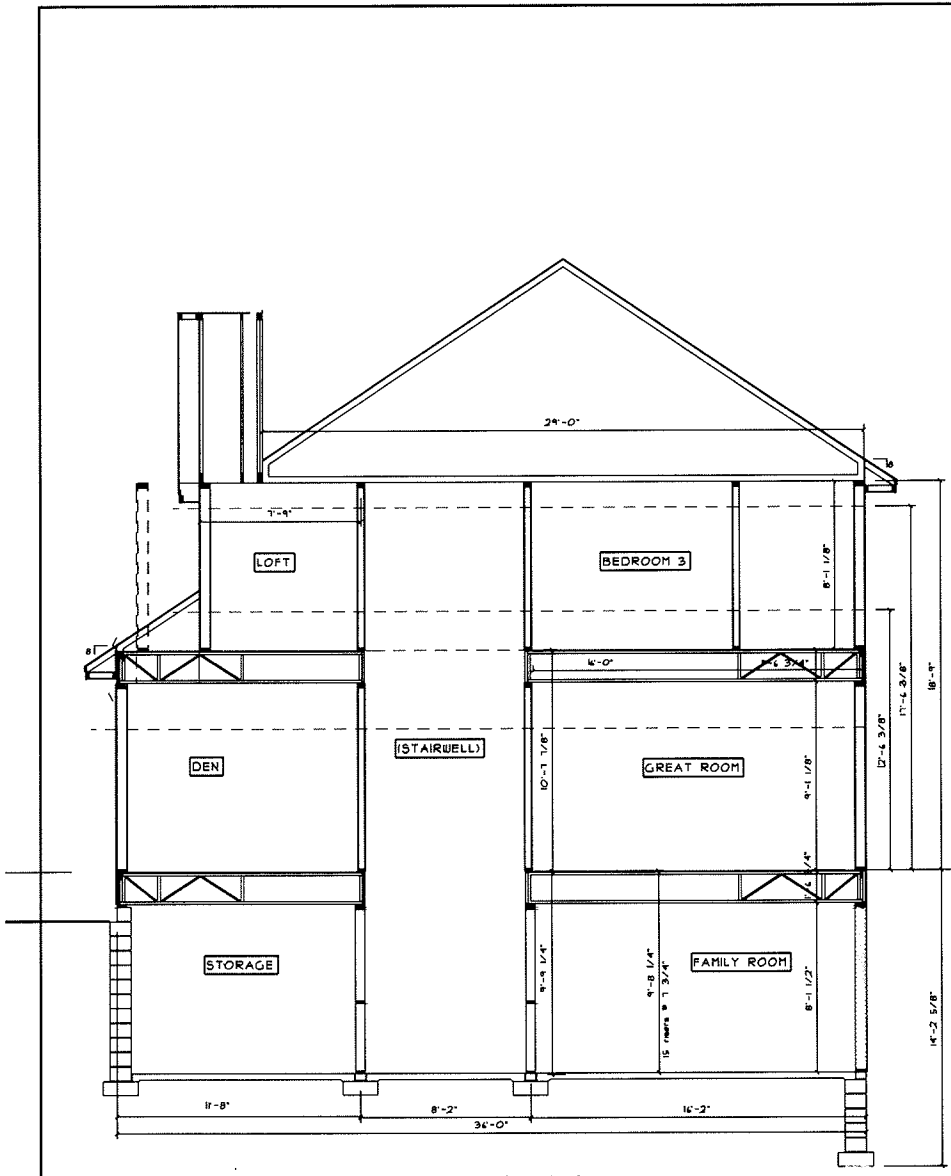
ALL DIMENSIONS ARE BLUEPRINT MEASUREMENTS  
 LOCATION AND PLACEMENTS OF WALLS,  
 WINDOWS, LIGHTS AND OUTLETS CAN VARY  
 WITHIN NORMAL CONSTRUCTION TOLERANCES.  
 SOME MEASUREMENTS ARE NORMAL MEASUREMENTS  
 AS COMMONLY USED IN CONSTRUCTION TRADES

**14-005 3BR BID PLAN**

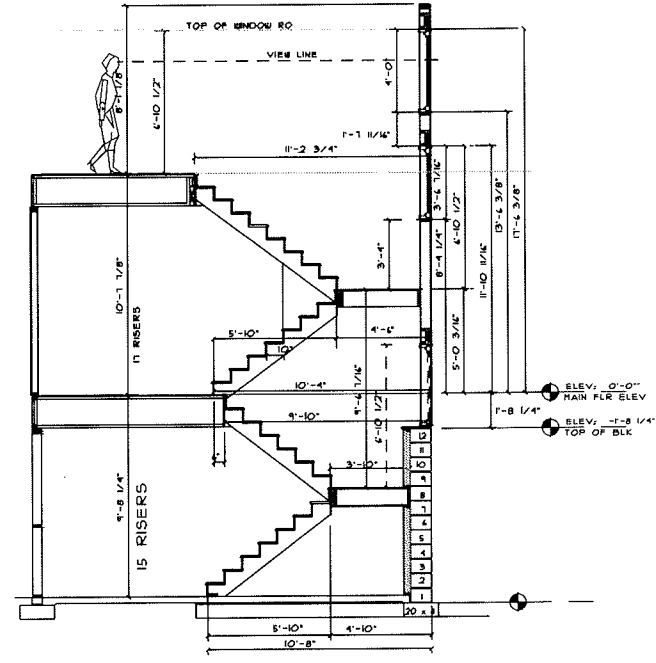
DATE: BASE  
 10/10/2013  
 05/12/2014

14-005  
 SHEET NO.

A-6



**BUILDING SECTION**  
SCALE: 1/4" = 1'-0"



**STAIR SECTION**  
SCALE: 1/4" = 1'-0"

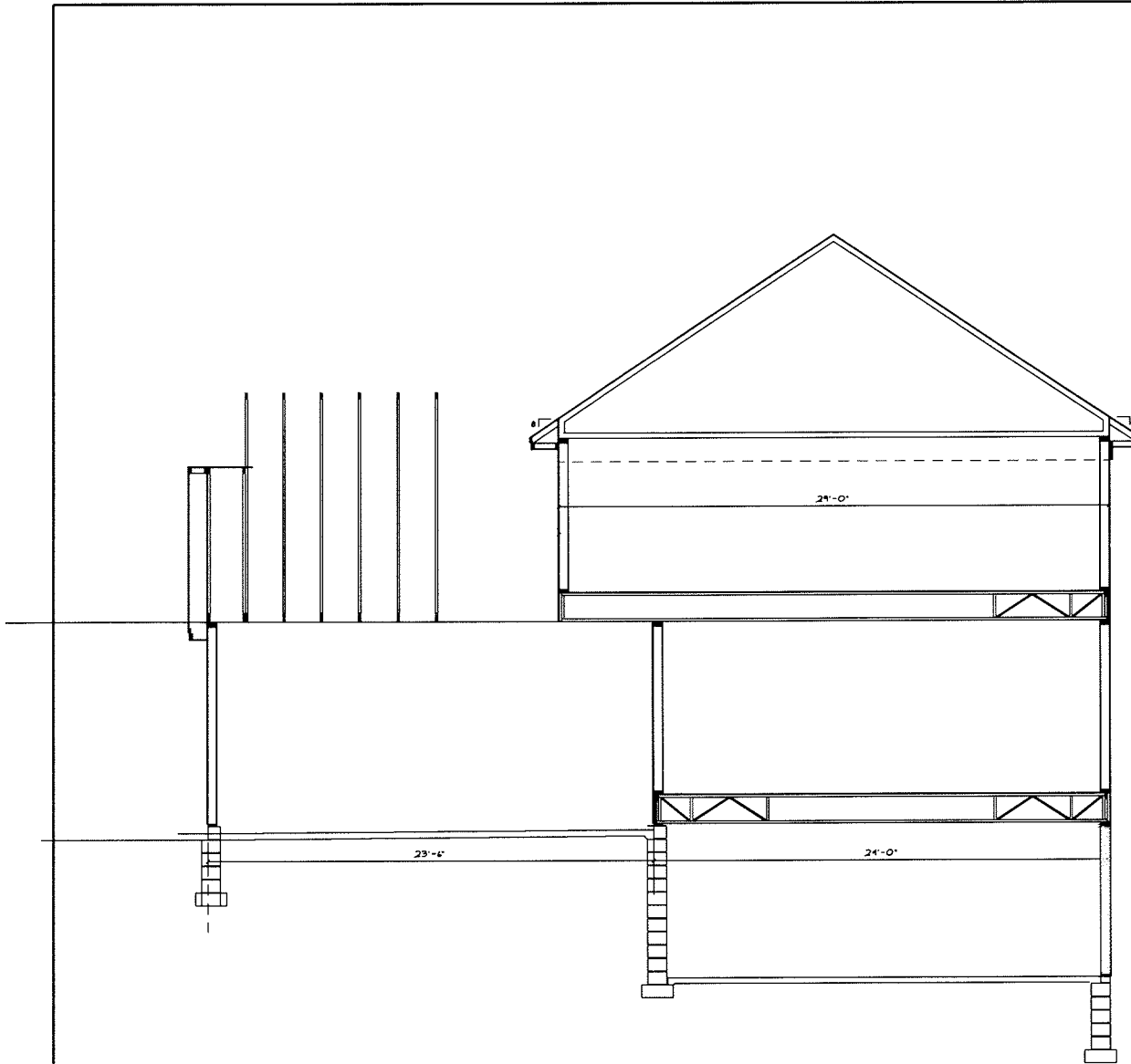
ALL DIMENSIONS ARE BLUEPRINT REQUIREMENTS  
LOCATION AND PLACEMENTS OF WALLS,  
WINDOWS, LIGHTS AND OUTLETS CAN VARY  
SLIGHTLY FROM THESE DIMENSIONS.  
SOME REQUIREMENTS ARE NORMAL REQUIREMENTS  
AS COMMONLY USED IN CONSTRUCTION TRADES

**14-005 3 BR BID PLAN**

DATE: BASE  
10/10/2013  
05/12/2014

**14-005**  
SHEET NO.  
**A-7**

Parkway West



ALL DIMENSIONS ARE BLUEPRINT MEASUREMENTS  
 LOCATION AND PLACEMENT OF WALLS,  
 ROOFING, FLOORING, AND FINISHES SHALL BE  
 WITHIN NORMAL CONSTRUCTION TOLERANCES.  
 SOME MEASUREMENTS ARE NORMAL MEASUREMENTS  
 AS COMMONLY USED IN CONSTRUCTION TRADES

14-005 3 BR BID PLAN

DATE: BASE  
 0/10/2013  
 05/12/2014

14-005  
 SHEET NO.  
 A-8

Parkway West