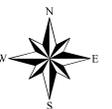


Case File No. 23-0012
Jonathan Homes of MN, LLC



BlaineMN.gov

Blaine Planning Department / 10801 Town Square Dr NE / Blaine, MN 55449 / (763) 785-6180





February 2, 2023

Sheila Sellman, City Planner
City of Blaine
10801 Town Square Drive NE
Blaine, MN 55449

RE: CUP Amendment Request

Dear Lori,

Jonathan Homes is requesting a one-time conditional use permit amendment to the side yard setback at 13109 Coral Sea Ct NE in Wagamon Ranch 3rd Addition. The garage portion of the home sits 5' from the south property line. However, the sport court portion of the home (considered living space) sits 8' from the south property line. Our request is to allow for the 8' setback versus the required 10'. In this specific instance, the living space of the home next door is a minimum of 18' from the sport court. Given this is greater than the current standard of 15' total minimum separation between the living space of both homes, we find a one-time exception to be very reasonable.

Should you have any questions or need further information, please do not hesitate to call me at 763-360-8454.

Sincerely,
Jonathan Homes of MN

A handwritten signature in black ink that reads 'Matt Johnson'.

Matthew Johnson
Operations Manager

Builder License no. BC633111 

THE WOW COMES STANDARD

13432 Hanson Blvd. NW | Andover, MN 55304 | 763.200.1969 | www.jonathanhomesmn.com

Property Description: Lot 19, Block 2, WAGAMON RANCH 3RD ADDITION, according to the recorded plat thereof, Anoka County, Minnesota.

1. Address: 13109 Coral Sea Court N.E., Blaine, Minnesota 55449
2. We have shown the location of utilities on the surveyed property by observed evidence only and by available plans. Please note that we have not placed a Gopher State One Call for this survey. There may or may not be underground utilities in the mapped area, therefore extreme caution must be exercised before any excavation takes place on or near this site. Also, please note that seasonal conditions may inhibit our ability to visibly observe all the utilities located on the subject property. Before digging, you are required by law to notify Gopher State One Call at least 48 hours in advance at 651/454-0002. The contractor shall determine the exact location of any and all existing utilities before commencing work and is responsible for any and all damages arising out of his failure to exactly locate and preserve any and all existing utilities.
3. Must maintain a minimum 2% slope gradient to accommodate positive drainage.
4. All set offset irons are measured to hundredths of a foot and can be used as benchmarks.
5. The proposed driveway shown is conceptual only and does not purport to show exactly how the driveway shall be built.
6. A title opinion was not furnished to the surveyor as part of this survey. Only easements per the recorded plat are shown unless otherwise denoted hereon.
7. Proposed grades shown adjacent to building foundation refers to top of black dirt.
8. Verify sanitary service invert prior to any concrete work.
9. Benchmark:
TNH @ Lot 1 & 2, Block 3, WAGAMON RANCH 3RD ADDITION = 907.91 Feet

Development Plan Data - WO

Garage Floor Elevation = 906.8
Basement Floor Elevation = 899.3

Proposed Elevations

Proposed Garage Floor Elevation = 906.8
Proposed Top of Foundation Elevation = 907.3
Proposed Basement Floor Elevation = 899.3

Setbacks

Min. Front Yard Setback = 25'
Min. Side Yard Setback = 5' Garage, 10' Living
Min. Rear Yard Setback = 20'
Min. Corner Lot Side Setback = 20'

Offset Irons

(elevations are to the top of pipe)
OS #1= 905.91 OS #2= 899.19
OS #4= 906.12 OS #3= 901.42



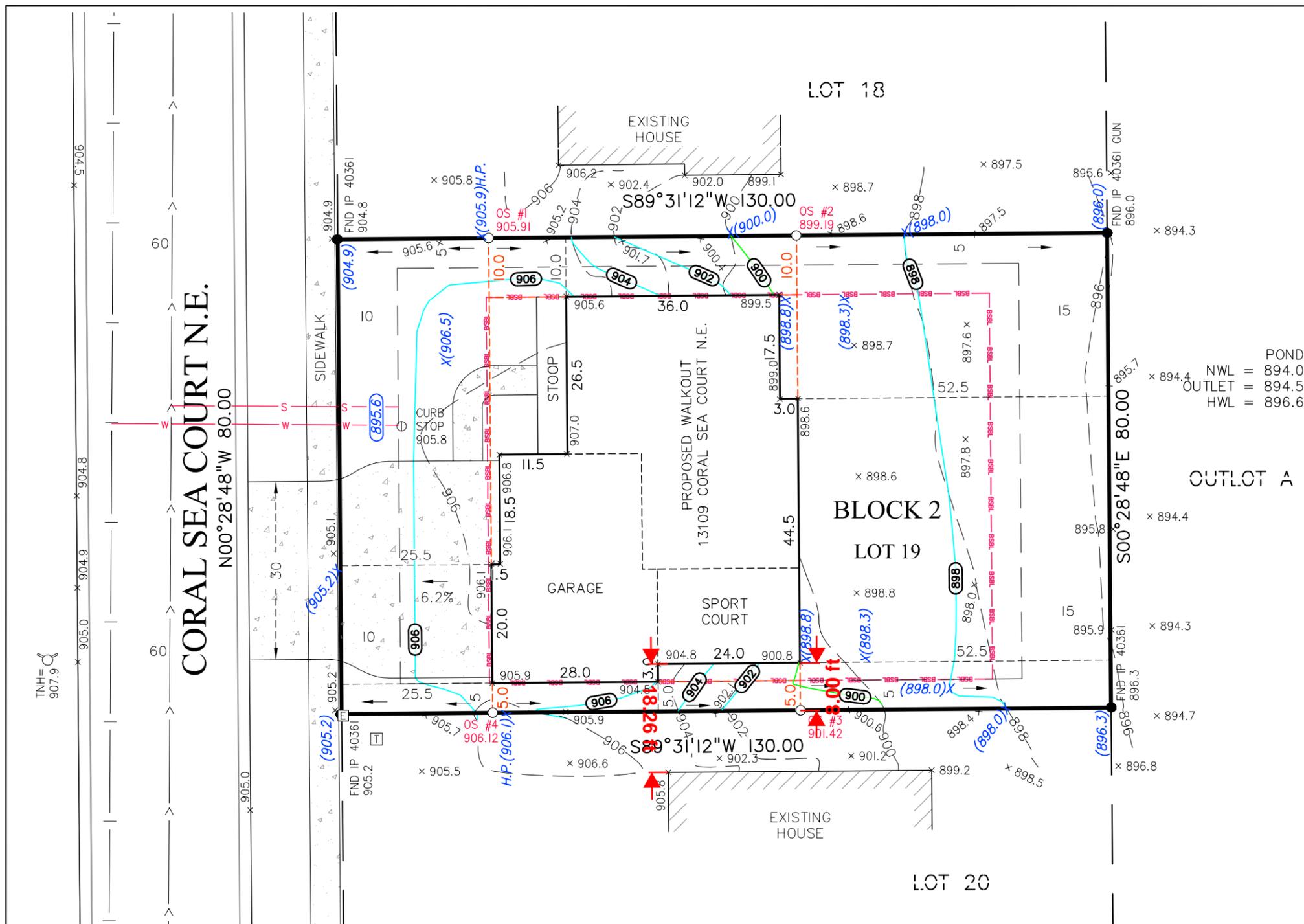
DRAINAGE AND UTILITY EASEMENTS ARE SHOWN HEREON FROM RECORDED PLAT AND LABELED AS SHOWN

I hereby certify that this survey, plan, or report was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota.

Dated this 18th day of January, 2023.

Daniel L. Schmidt

Daniel L. Schmidt, PLS Minnesota License No. 26147
schmidt@sathre.com



POND
NWL = 894.0
OUTLET = 894.5
HWL = 896.6

OUTLOT A

SURVEY LEGEND

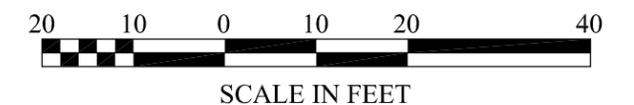
<ul style="list-style-type: none"> ⊗ STORM DRAIN ⊠ CATCH BASIN ⊗ GATE VALVE ⊗ HYDRANT ○ IRON PIPE SET ● IRON PIPE FOUND ⊙ SANITARY MANHOLE ⊙ SP DENOTES SUMP PUMP 	<ul style="list-style-type: none"> 972.5 GROUND ELEVATION (972.5) PROPOSED ELEVATION ⊙ WETLAND BUFFER POST H HAND HOLE E ELECTRIC TRANSFORMER T TELEPHONE PEDESTAL U UTILITY PEDESTAL ⊙ SEWER SERVICE ELEVATION 	<ul style="list-style-type: none"> ☁ EXISTING TREE ☁ PROPOSED TREE ☁ PROPOSED TREE ▨ BITUMINOUS ▨ CONCRETE ▨ CONTOUR PROPOSED ▨ CONTOUR EXISTING → DRAINAGE ARROW 	<ul style="list-style-type: none"> ▬ CONCRETE CURB —>— SANITARY SEWER —>>— STORM SEWER — I — WATERMAIN ▬ PROPOSED SILT FENCE — DT — DRAIN TILE — x — x — FENCE — BSBL — BUILDING SETBACK LINE
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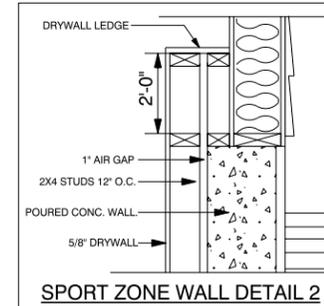
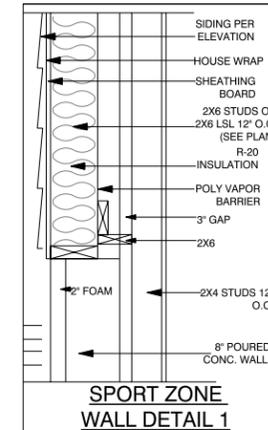
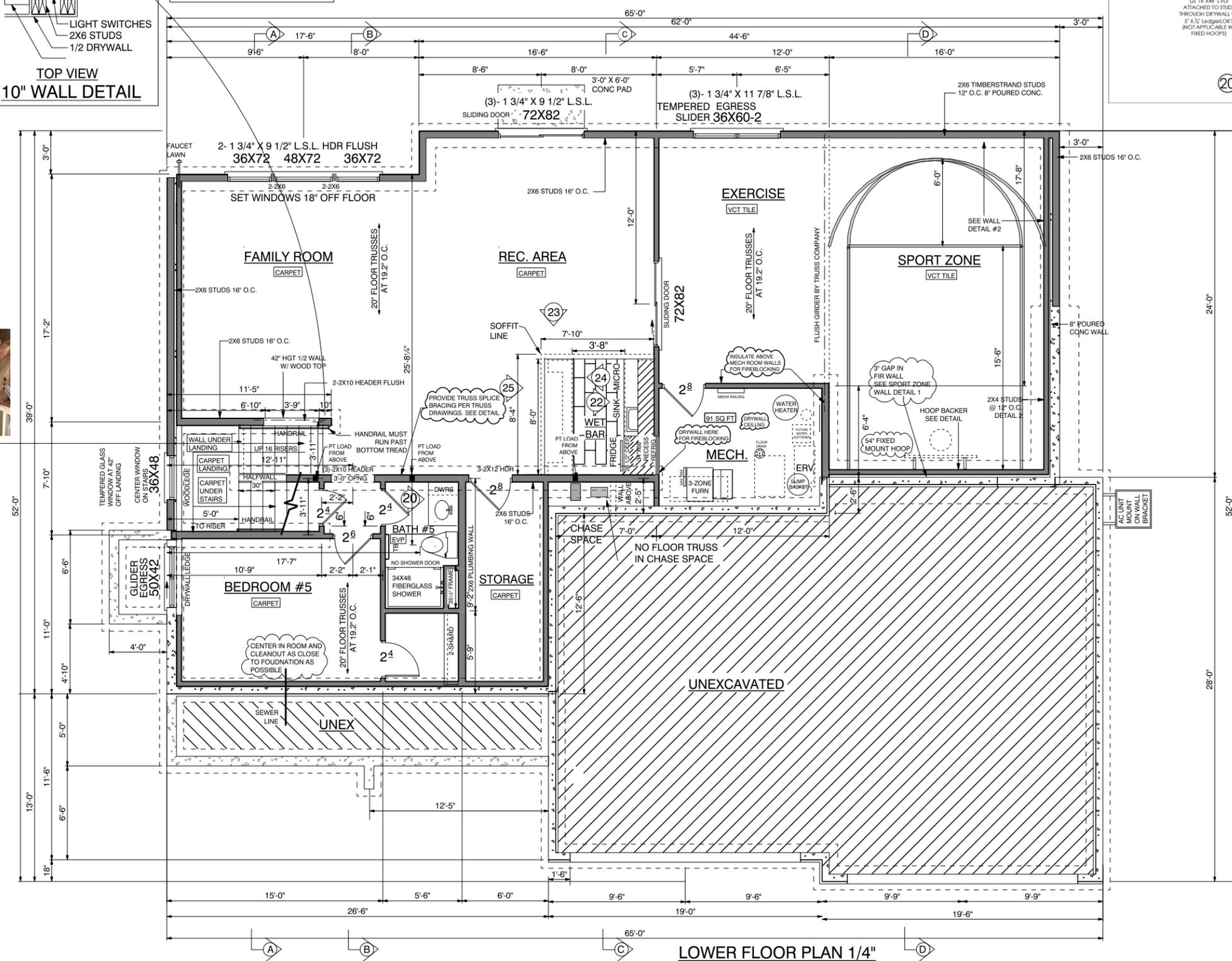
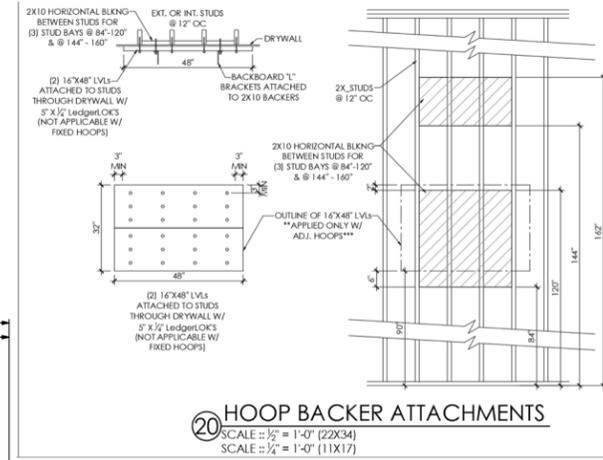
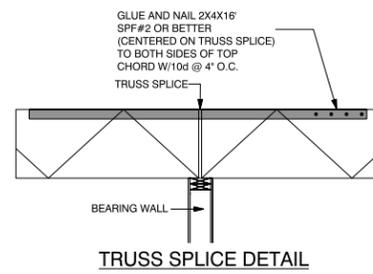
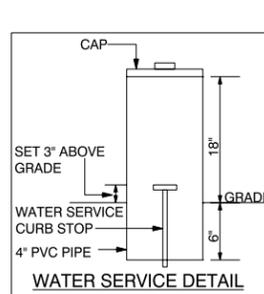
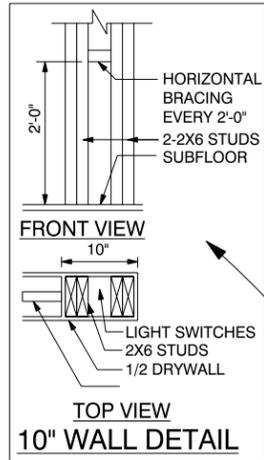
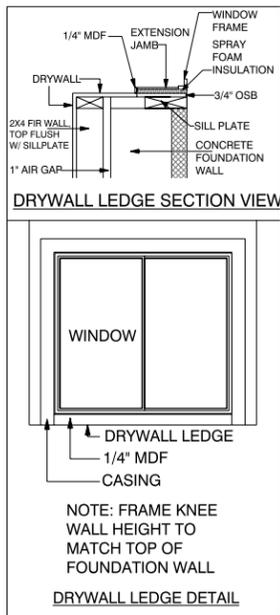
JOB #: 32795-381	REVISIONS
FIELD CREW: JD	
DRAWN BY: JPR	
CHECKED BY: DLS	
DATE: 1/11/23	


SATHRE-BERGQUIST, INC.
 150 SOUTH BROADWAY WAYZATA, MN. 55391 (952) 476-6000

CERTIFICATE OF SURVEY
 PREPARED FOR
JONATHAN HOMES

Section 3 - Township 31 - Range 23

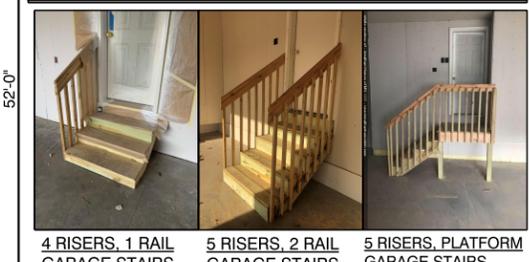
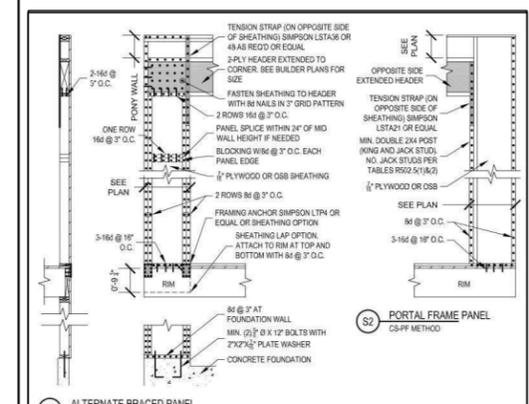
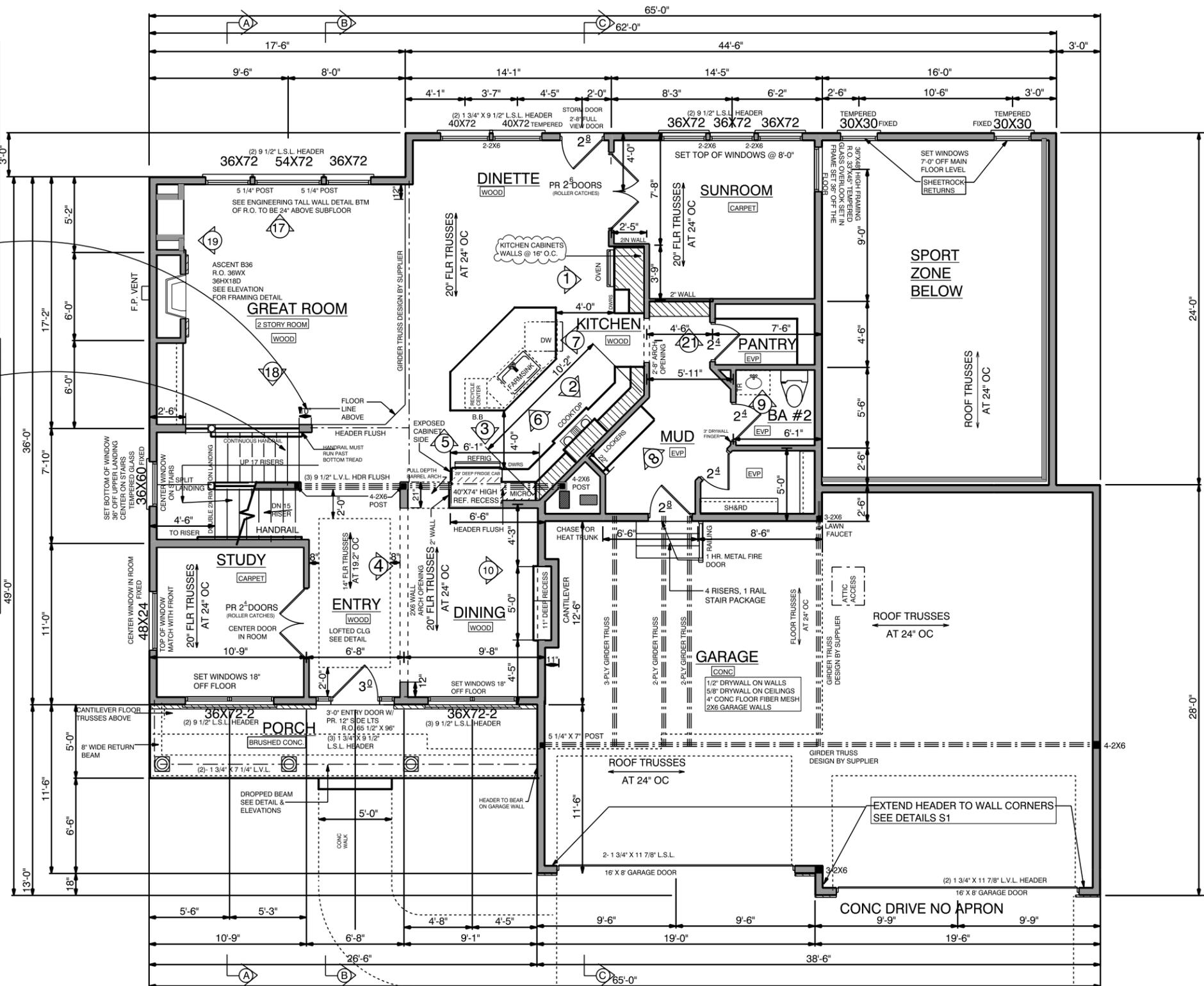
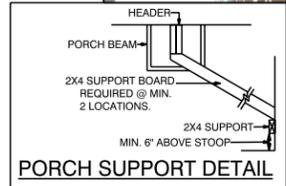
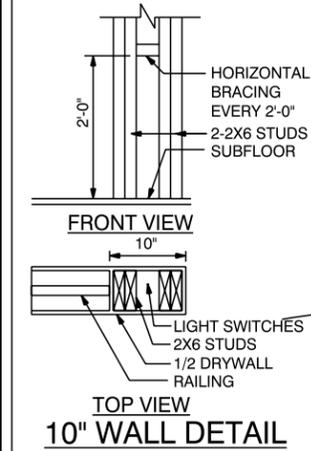




LOWER FLOOR PLAN NOTES

- 8'-4" HGT. POURED WALLS, 8'-1" +/- FINISHED CEILING
- UNDERSIZE FOUNDATION 2" EACH SIDE FROM EXTERIOR FOR EXTERIOR FOAM, EXCEPT AT WALKOUT WALL. SEE SHEETS E1 AND E2 FOR DETAILS.

REVISIONS	1/24/2023
PRELIM. REVISIONS	
PRELIM DATE	1/19/2023
PLOT DATE	1/19/2023
<p>COPYRIGHT NOTICE</p> <p>THE FLOOR PLANS AND ELEVATIONS OF ALL JONATHAN HOMES SERIES HOMES ARE COPYRIGHTED BY DEAN HANSON DBA HANSON COMPANIES, LLC. OUR COPYRIGHTS HAVE BEEN ENFORCED AND WILL CONTINUE TO BE ENFORCED. THESE PLANS MAY NOT BE GIVEN OR USED BY ANY OTHER PERSON OR COMPANY WITHOUT WRITTEN PERMISSION.</p>	
<p>RESIDENCE FOR: 13109 CORAL SEA CT NE VAIL SPORT COTTAGE</p>	
<p>JONATHAN HOMES</p>	
<p>763-286-1810 LIC. # BC633111</p>	
<p>3 SHEET OF 14</p>	



4 RISERS, 1 RAIL GARAGE STAIRS | 5 RISERS, 2 RAIL GARAGE STAIRS | 5 RISERS, PLATFORM GARAGE STAIRS

- UPGRADES**
1. WOOD FLOOR IN GREAT ROOM
 2. FARM SINK
 3. MUDROOM LOCKERS
 4. FIREPLACE STONE TO CEILING

- MAIN FLOOR PLAN NOTES**
1. 9'-0" CEILING HGT. AT THIS LEVEL UNLESS NOTED
 2. CABINET DIMS. ARE FROM FACE-OF CABINETS

PRELIM DATE	1/19/2023
PRELIM REVISIONS	1/24/2023

ALL MEASUREMENTS AND LOCATIONS OF ALL OBJECTS HAVE BEEN PLACED AS ACCURATELY AS POSSIBLE. SOME ADJUSTMENTS MAY BE NECESSARY IN THE ACTUAL CONSTRUCTION DUE TO STRUCTURAL FRAMING AND OTHER FIELD CONSIDERATIONS.

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RESIDENCE FOR:
 13109 CORAL SEA CT NE
 VAIL SPORT
 COTTAGE

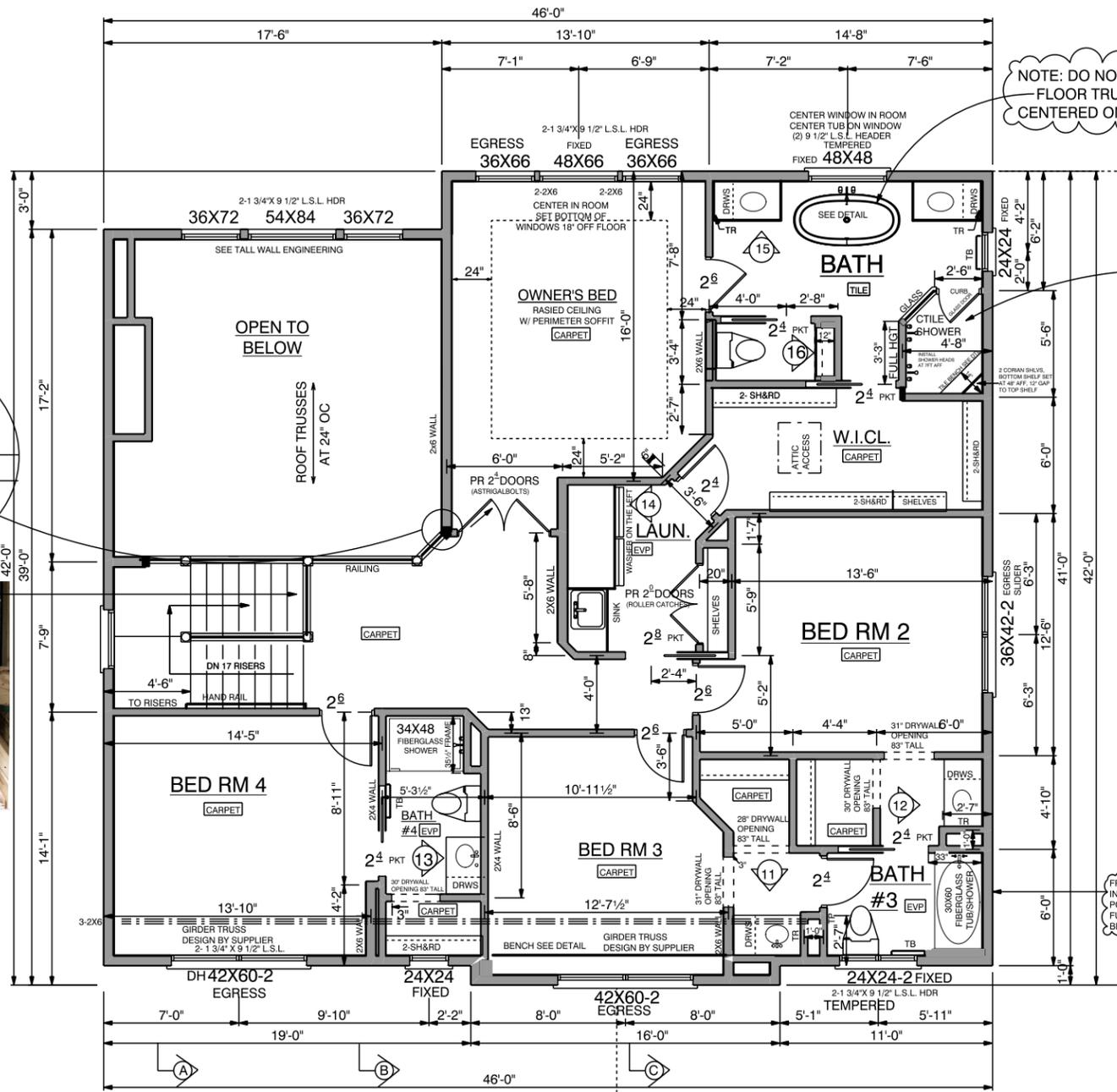


763-286-1810
 LIC. # BC633111

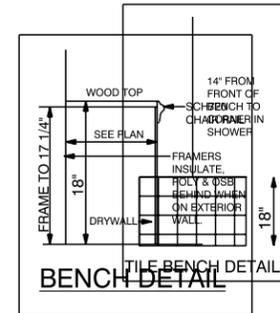
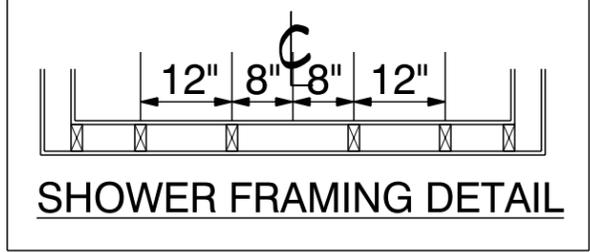
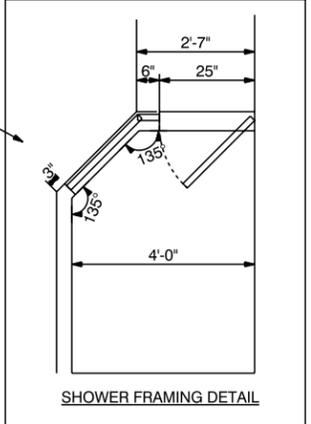
4 SHEETS OF 14

MAIN FLOOR PLAN 1/4"

© COPYRIGHT HANSON COMPANIES, LLC.



**COTTAGE
UPPER FLOOR PLAN 1/4"**
© COPYRIGHT HANSON COMPANIES, LLC.



NOTE: DO NOT PUT
FLOOR TRUSS
CENTERED ON TUB

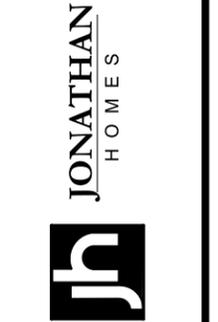
FRAMERS
INSULATE,
POLY & OSB
(FULL HEIGHT
BEHIND TUB)

PRELIM DATE	PLOT DATE
	1/19/2023
PRELIM. REVISIONS	REVISIONS
	1/24/2023

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RESIDENCE FOR:
13109 CORAL SEA CT NE
VAIL SPORT
COTTAGE



763-286-1810
LIC. # BC633111

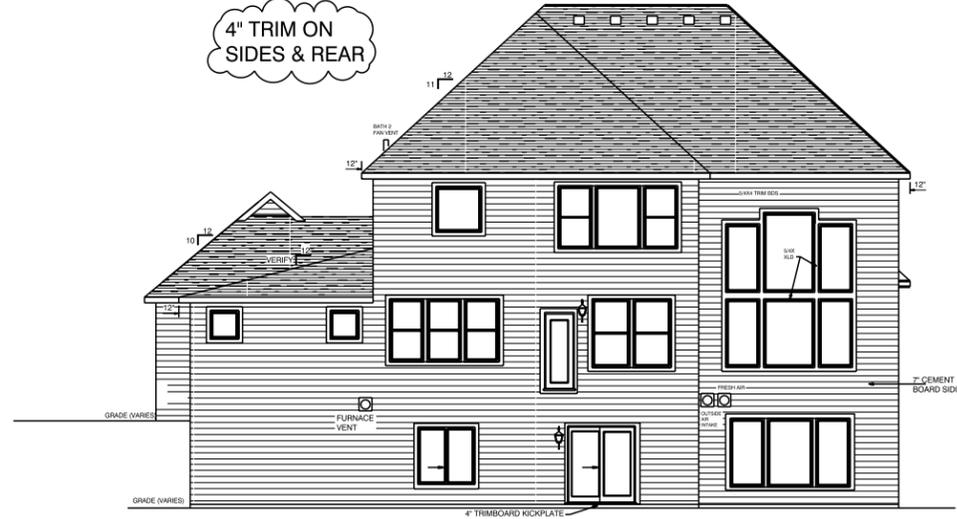
5 SHEET
OF 14

UPPER FLOOR PLAN NOTES
1. 8'-0" CEILING HGT. AT THIS LEVEL UNLESS NOTED

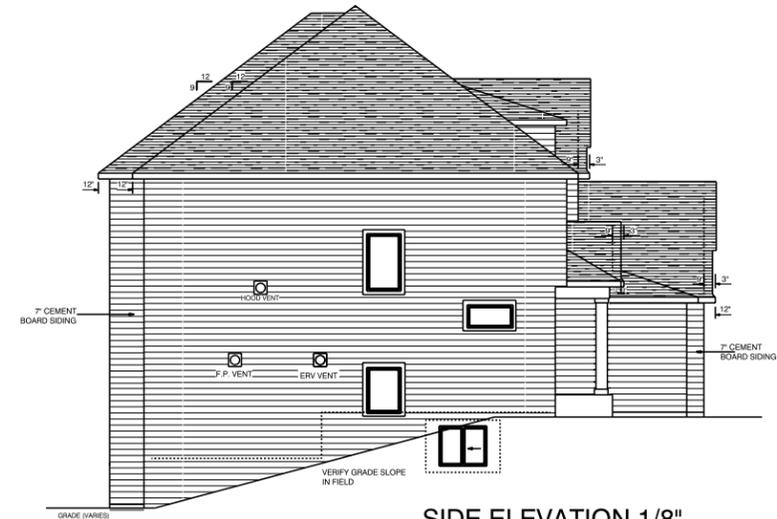


SIDE ELEVATION 1/8"

© COPYRIGHT HANSON COMPANIES, LLC.



REAR ELEVATION 1/8"



SIDE ELEVATION 1/8"

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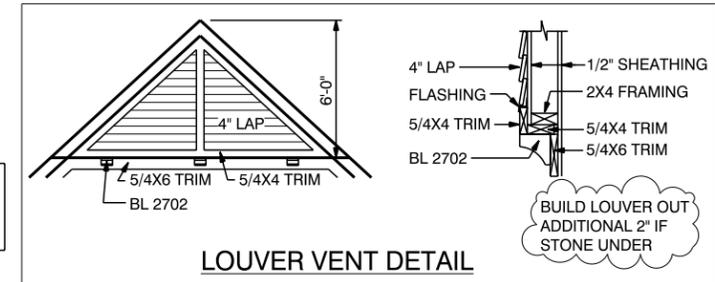
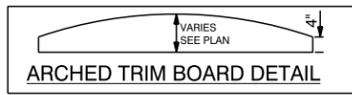
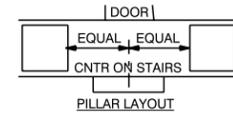
4" TRIM ON SIDES & REAR

PELLA 250 SERIES BLACK EXTERIOR/ WHITE INTERIOR FRONT OF HOUSE ONLY

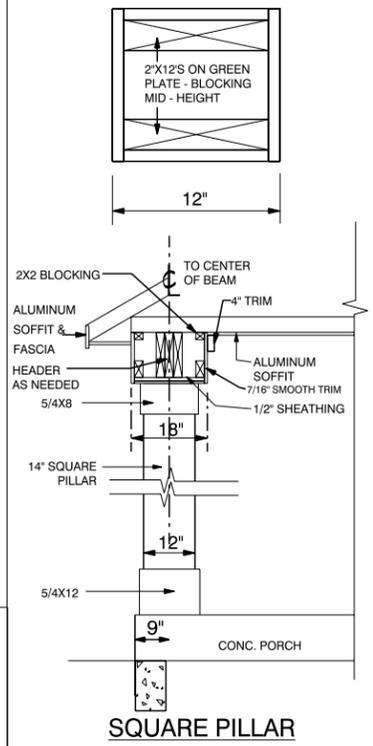
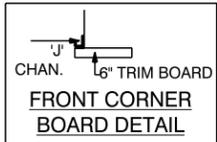


COTTAGE ELEVATION 1/4"

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- FRONT ELEVATION NOTES**
- FRONT**
- 7" CEMENT BOARD SIDING
 - SHAKE SIDING (STRAIGHT EDGE)
 - B&B (1X3 RUSTIC BATTEN STRIPS 16" O.C.)
 - STONE VENEER (NO CORNER PIECES)
 - 5/4" X 6" FRIEZE BOARDS UNLESS NOTED
 - 5/4" X 6" CORNER BOARDS
 - 5/4" X 4" TRIM OPENINGS
 - FILL IN OPENING OVER ALL BRACKETS
- REAR & SIDES**
- 7" CEMENT BOARD SIDING
 - CORNERS UNLESS NOTED
 - 5/4" X 4" TRIM OPENINGS (OAKS AT BAUER FARM ONLY)
- OTHER**
- ASPHALT SHINGLES
 - ALUM SOFFIT AND FASCIA
 - ALL INSIDE CORNERS TO BE FBD PRE-BENT METAL, PAINTED TO MATCH HARDIE SIDING COLOR.
 - ALL ARCHED TRIM BOARDS TO BE MIRATEC
 - INSTALL DRIP CAP ABOVE ALL WINDOWS WHERE SIDING IS CEMENT BOARD.



PRELIM DATE	1/19/2023
REVISIONS	1/24/2023

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RESIDENCE FOR:
 13109 CORAL SEA CT NE
 VAIL SPORT
 COTTAGE



763-286-1810
 LIC. # BC633111



City of Blaine
Anoka County, Minnesota
Signature Copy

10801 Town Square
Drive
Blaine MN 55449

Resolution: RES 15-044

File Number: RES 15-044

**GRANTING A CONDITIONAL USE PERMIT TO ALLOW FOR
CONSTRUCTION OF 105 SINGLE FAMILY LOTS IN A DF
(DEVELOPMENT FLEX) ZONING DISTRICT FOR WAGAMON
RANCH AT HARPERS STREET/131ST AVENUE NE. (CASE FILE NO.
14-0068/LSJ)**

WHEREAS, an application has been filed by Gorham Communities, LLC as Conditional Use Permit Case File No. 14-0068; and

WHEREAS, a public hearing has been held by the Blaine Planning Commission on February 10, 2015; and

WHEREAS, the Blaine Planning Commission recommends said Conditional Use Permit be approved; and

WHEREAS, the Blaine City Council has reviewed said case on March 3 and 19, 2015.

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Blaine that a Conditional Use Permit is hereby approved per Section 29.80 of the Zoning Ordinance to allow for 105 single family homes in a DF (Development Flex) zoning district based on the following conditions:

Single Family - DF Development Standards

Permitted Uses

1. Single-family detached dwellings.
2. Group family daycare.

Accessory Uses

1. Private garages-attached. One detached accessory structure, with area less than 120 square feet, will be permitted.
2. Private swimming pools/meeting the requirements of Blaine Municipal Code Section 6-121.

3. Keeping of not more than two (2) boarders and/or roomers per dwelling unit.

Conditional Uses

1. Home occupations as regulated by Zoning Chapter 33.11 (d) (3).

Standards

1. Setbacks shall be as follows:

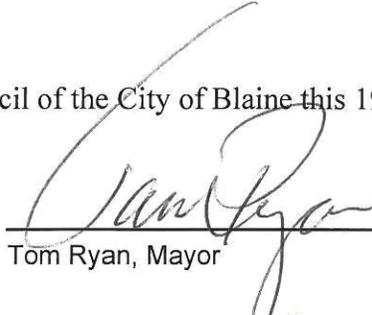
Front Yard	25 Feet
Rear Yard	30 Feet
Side Yard Interior	5 Feet (Garage) 10 Feet (Living Space)
Side Yard Corner	20 Feet

2. Maximum building height - 2 1/2 stories or 35 feet.
3. It shall be required for all single-family dwellings that there be an attached garage constructed of a minimum of four hundred (400) square feet, with no dimension less than 20 feet. Total garage space shall not exceed one thousand (1,200) square feet. Detached garages or accessory storage buildings above 120 square feet are not permitted.
4. Accessory storage buildings below 120 square feet must meet 5-foot side and rear yard setbacks and be located within the rear yard.
5. The minimum finished floor area above grade for all homes shall be 1,800 square feet for single level and 2,400 square feet for two story. All homes shall have a minimum depth and width of 24 feet.
6. All homes to be constructed are to be consistent in architecture, materials and style with the drawings/elevations attached to this CUP amendment. All exterior home fronts must include brick, stone or cement board products. Vinyl, aluminum and steel siding are allowed only on the sides and rear of the homes.
7. All residential dwellings must be built in conformance with the current edition of the Minnesota State Building Code.
8. Driveways shall not be constructed closer than 3 feet to the property line. All driveways and approaches shall be hard surfaced using concrete, bituminous asphalt or other City approved material that is consistent in durability and quality.
9. It shall be required that all yards of a new single-family dwelling be sodded over a minimum of 4 inches of topsoil (black dirt containing not more than 35 percent sand). Yards may be seeded over 4 inches of black dirt if underground irrigation is installed with the home.
10. Each lot shall contain one front yard tree and one boulevard tree. All trees to be overstory deciduous with a minimum of 2½-inch caliper. Corner lots to receive one additional boulevard tree.
11. Developer to execute and record, with the sale of each single family lot, an affidavit indicating to homebuyers that the soils located in the rear and side yards

of the single family lots have not been corrected to accommodate general building construction or pools and that additional effort may be required, by the homeowner, to stabilize those soils before additional construction could occur.
12. Fences are allowed in the rear yard only and must utilize maintenance free materials.

PASSED by the City Council of the City of Blaine this 19th day of March, 2015.

Signed by



Tom Ryan, Mayor

Date

3/19/15

Attest by



Catherine Ekstrand, CMC, Deputy City Clerk

Date

3/19/15