

Case File No. 15-0041

Blaine Planning Department / 10801 Town Square Dr NE / Blaine, MN 55449 / (763) 785-6180



REVISIONS

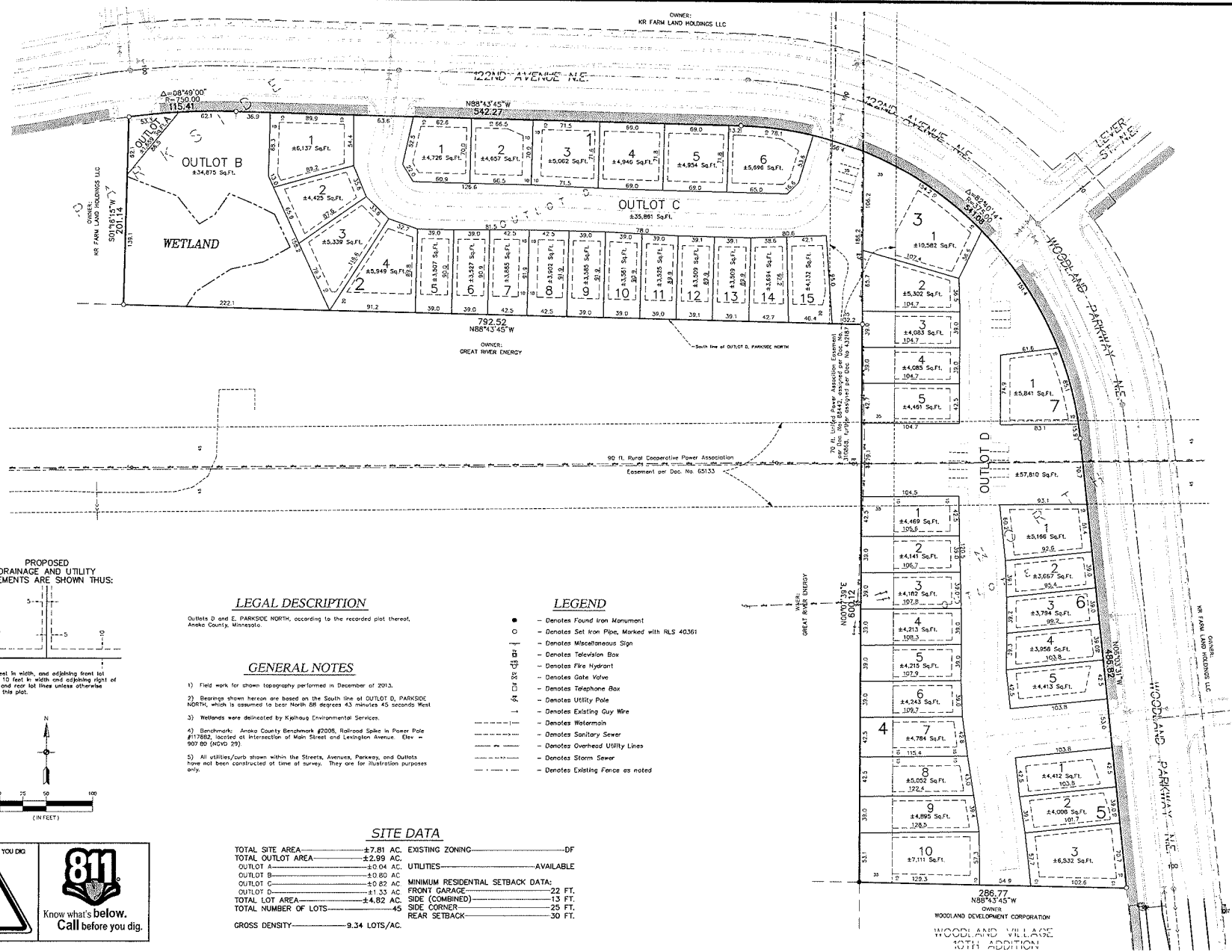
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5.	
6.	

DRAWN BY: C.V.
ISSUE DATE: 06/22/15
FILE NO: 373

I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota.

Name: Thomas S. Bell
Signature: *Thomas S. Bell*
Date: 06/22/15, License #: 42361

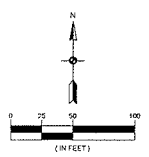
3 of 6



PROPOSED DRAINAGE AND UTILITY EASEMENTS ARE SHOWN THUS:



being 5 feet in width, and adjoining front lot lines, and 10 feet in width and adjoining right of way lines and rear lot lines unless otherwise shown on this plat.



LEGAL DESCRIPTION

Outlots D and E, PARKSIDE NORTH, according to the recorded plat thereof, Anoka County, Minnesota.

GENERAL NOTES

- Field work for shown topography performed in December of 2013.
- Bearings shown hereon are based on the South line of OUTLOT D, PARKSIDE NORTH, which is assumed to bear North 68 degrees 43 minutes 45 seconds West.
- Wetlands were delineated by Kjelhaus Environmental Services.
- Benchmark: Anoka County Benchmark #2008, Railroad Spike in Power Pole #117882, located at intersection of Main Street and Lexington Avenue. Elev = 507.80 (GNDM 23).
- All utilities/curb shown within the Streets, Avenues, Parkway, and Outlots have not been constructed at time of survey. They are for illustration purposes only.

LEGEND

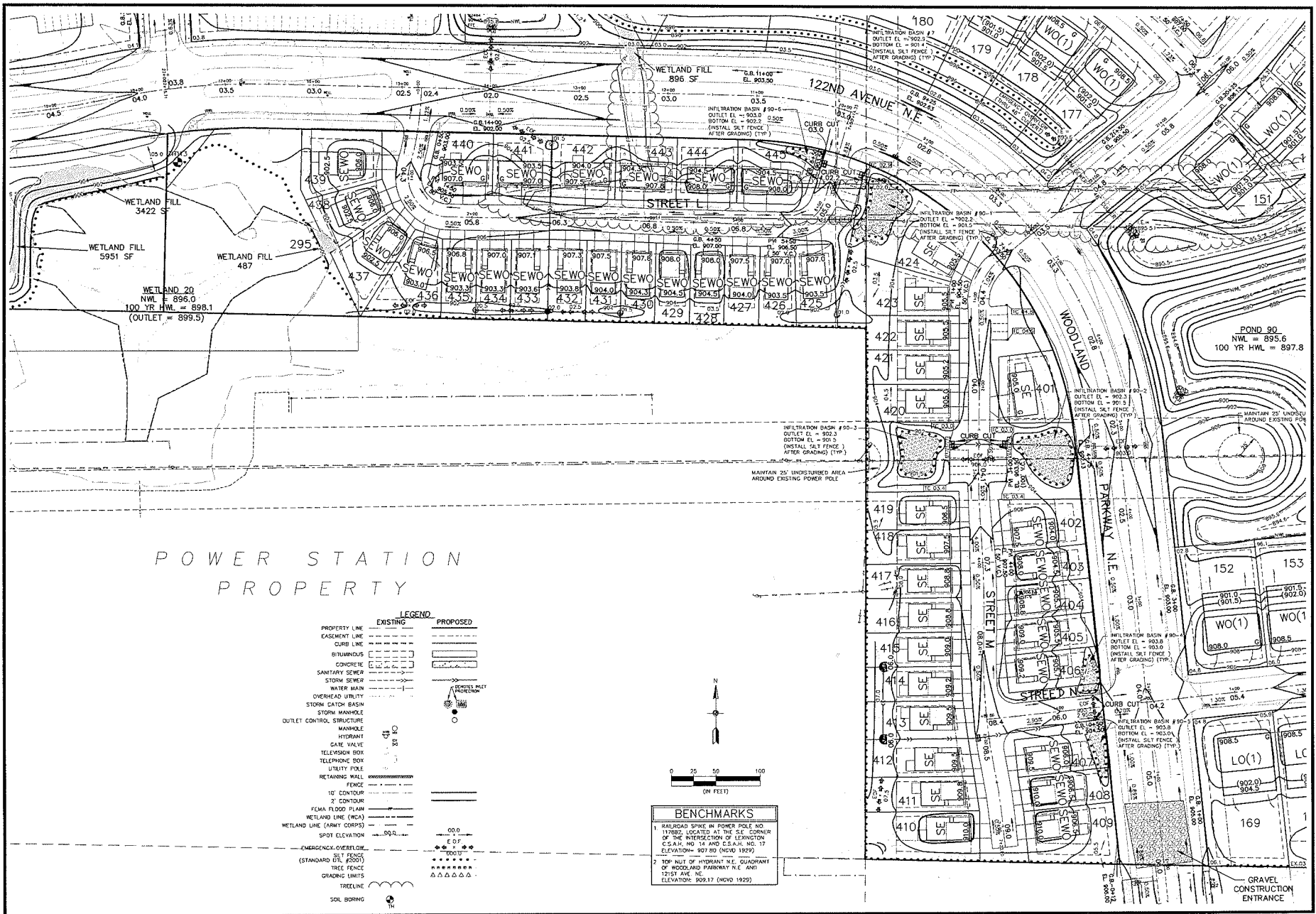
- - Denotes Found Iron Monument
- - Denotes Set Iron Pipe, Marked with RLS 40361
- ⊠ - Denotes Miscellaneous Sign
- - Denotes Television Box
- ⊕ - Denotes Fire Hydrant
- ⊖ - Denotes Gate Valve
- ⊗ - Denotes Telephone Box
- ⊘ - Denotes Utility Pole
- ⊙ - Denotes Existing Guy Wire
- ⊚ - Denotes Well/mon
- ⊛ - Denotes Sanitary Sewer
- ⊜ - Denotes Overhead Utility Lines
- ⊝ - Denotes Storm Sewer
- ⊞ - Denotes Existing Force as noted

SITE DATA

TOTAL SITE AREA	±7.81 AC.	EXISTING ZONING	DF
TOTAL OUTLOT AREA	±2.99 AC.	UTILITIES	AVAILABLE
OUTLOT A	±3.04 AC.		
OUTLOT B	±0.80 AC.		
OUTLOT C	±0.82 AC.	MINIMUM RESIDENTIAL SETBACK DATA:	
OUTLOT D	±1.53 AC.	FRONT GARAGE	22 FT.
TOTAL LOT AREA	±4.82 AC.	SIDE (COMBINED)	13 FT.
TOTAL NUMBER OF LOTS	45	SIDE CORNER	25 FT.
GROSS DENSITY	9.34 LOTS/AC.	REAR SETBACK	30 FT.

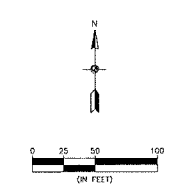
CALL BEFORE YOU DIG

Know what's below.
Call before you dig.



POWER STATION
PROPERTY

LEGEND	
EXISTING	PROPOSED
PROPERTY LINE	---
EASEMENT LINE	---
CURB LINE	---
BITUMINOUS	---
CONCRETE	---
SANITARY SEWER	---
STORM SEWER	---
WATER MAIN	---
OVERHEAD UTILITY	---
STORM CATCH BASIN	---
STORM MANHOLE	---
OUTLET CONTROL STRUCTURE	---
MANHOLE	---
HYDRANT	---
GATE VALVE	---
TELEVISION BOX	---
TELEPHONE BOX	---
UTILITY POLE	---
RETAINING WALL	---
FENCE	---
10' CONTOUR	---
2' CONTOUR	---
FEMA FLOOD PLAIN	---
WETLAND LINE (WCLA)	---
WETLAND LINE (ARMY CORPS)	---
SPOT ELEVATION	---
EMERGENCY OVERFLOW	---
(STANDARD UTL #2007)	---
TREE	---
TREE FENCE	---
GRADING LIMITS	---
TREELINE	---
SDI BORING	---



BENCHMARKS

- RAILROAD SPIKE IN POWER POLE NO. 137850 LOCATED AT THE S.E. CORNER OF THE INTERSECTION OF LEWINGTON C.S.A.M. NO. 14 AND C.S.A.M. NO. 17 ELEVATION = 807.80 (MVD 1929)
- TOP NAIL OF HYDRANT N.E. QUADRANT OF WOODLAND PARKWAY N.E. AND 121ST AVE. N.E. ELEVATION = 809.17 (MVD 1929)

**Carlson
McCain**
ENVIRONMENTAL ENGINEERING SURVEYING
248 Apollo Dr., Suite 100, Lino Lakes, MN 55014
Phone: 763-489-7900 Fax: 763-489-7959

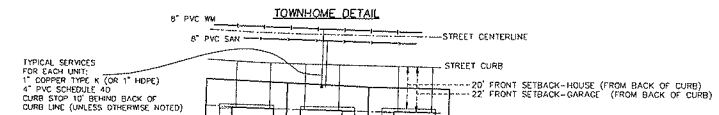
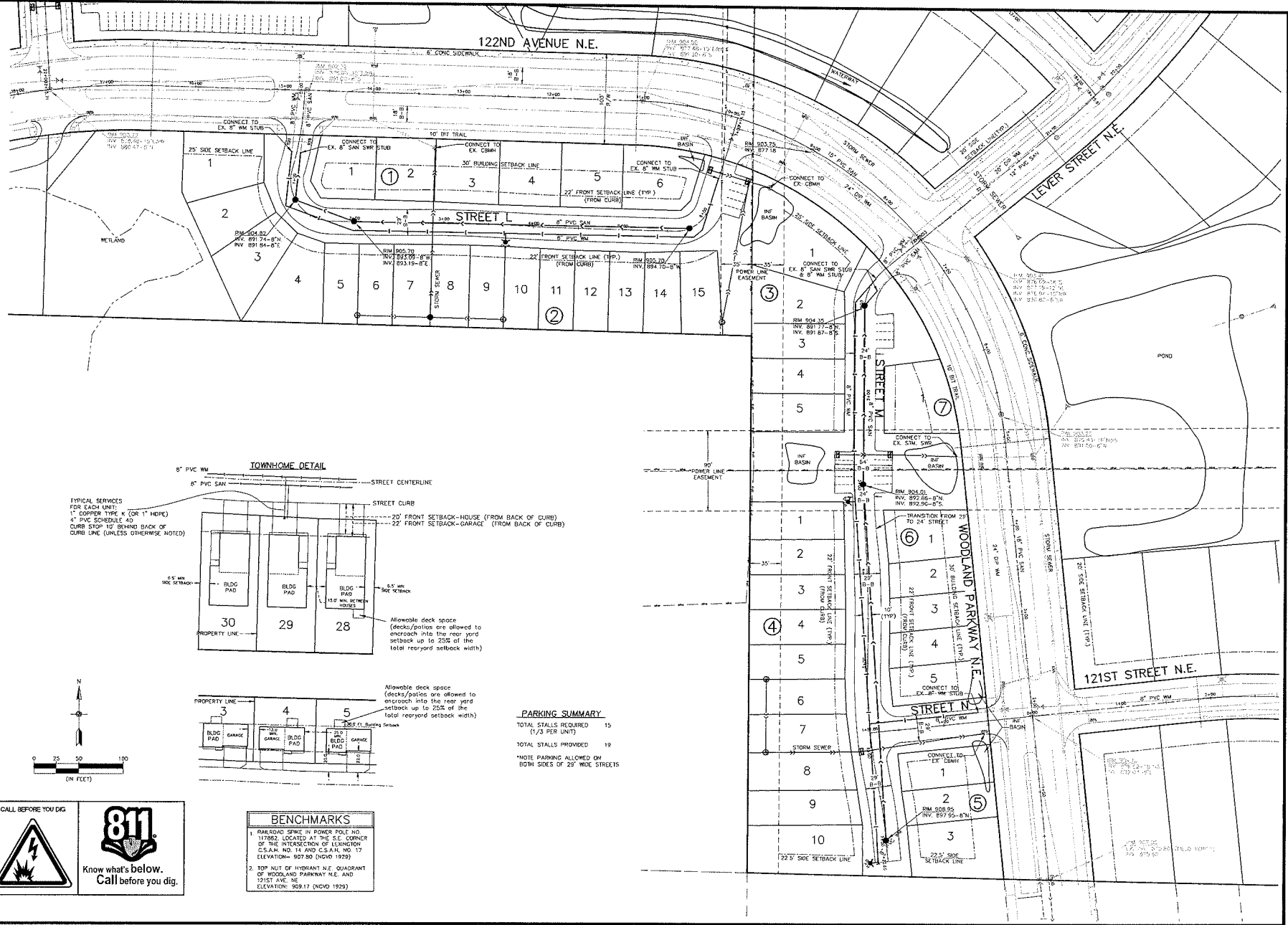
**PRELIMINARY GRADING DRAINAGE
& EROSION CONTROL PLAN**

PARKSIDE NORTH 3RD ADDITION
Blaine, Minnesota

PARKSIDE NORTH, LLC.
51160 Viking Boulevard
Anoka, MN 55303

DRAWN BY: LC
CHECKED BY: JSC
ISSUE DATE: 6/22/15

Name: Robin J. Krystofek, P.E.
Signature: *Robin J. Krystofek*
Date: 6/22/15 License # 25053

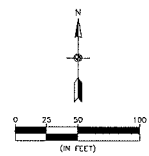


TYPICAL SERVICES FOR EACH UNIT:
 1" COPPER TYPE K (OR 1" HDPE)
 4" PVC SCHEDULE 40
 CURB STOP 10' BEHIND BACK OF CURB LINE (UNLESS OTHERWISE NOTED)

Allowable deck space (decks/patios are allowed to encroach into the rear yard setback up to 20% of the total rear yard setback width)

Allowable deck space (decks/patios are allowed to encroach into the rear yard setback up to 25% of the total rear yard setback width)

PARKING SUMMARY
 TOTAL STALLS REQUIRED: 15 (1/3 PER UNIT)
 TOTAL STALLS PROVIDED: 19
 *NOTE PARKING ALLOWED ON BOTH SIDES OF 29' WIDE STREETS



BENCHMARKS
 1. BENCHMARK SPICE IN POWER POLE NO. 117882 LOCATED AT THE S.E. CORNER OF THE INTERSECTION OF LEVINGTON C.S.A.H. NO. 14 AND C.S.A.H. NO. 17 (ELEVATION= 907.80 (NGVD 1929))
 2. TOP NUT OF HYDRANT N.E. QUADRANT OF WOODLAND PARKWAY N.E. AND 121ST AVE. NE (ELEVATION: 909.17 (NGVD 1929))

CALL BEFORE YOU DIG

Know what's below.
Call before you dig.

Carlson McCain
 ENVIRONMENTAL-ENGINEERING-SURVEYING
 248 Apollo Dr, Suite 100, Lino Lakes, MN 55014
 Phone: 763-489-7900 Fax: 763-489-7959

PRELIMINARY SITE & UTILITY PLAN
PARKSIDE NORTH 3RD ADDITION
 Blaine, Minnesota

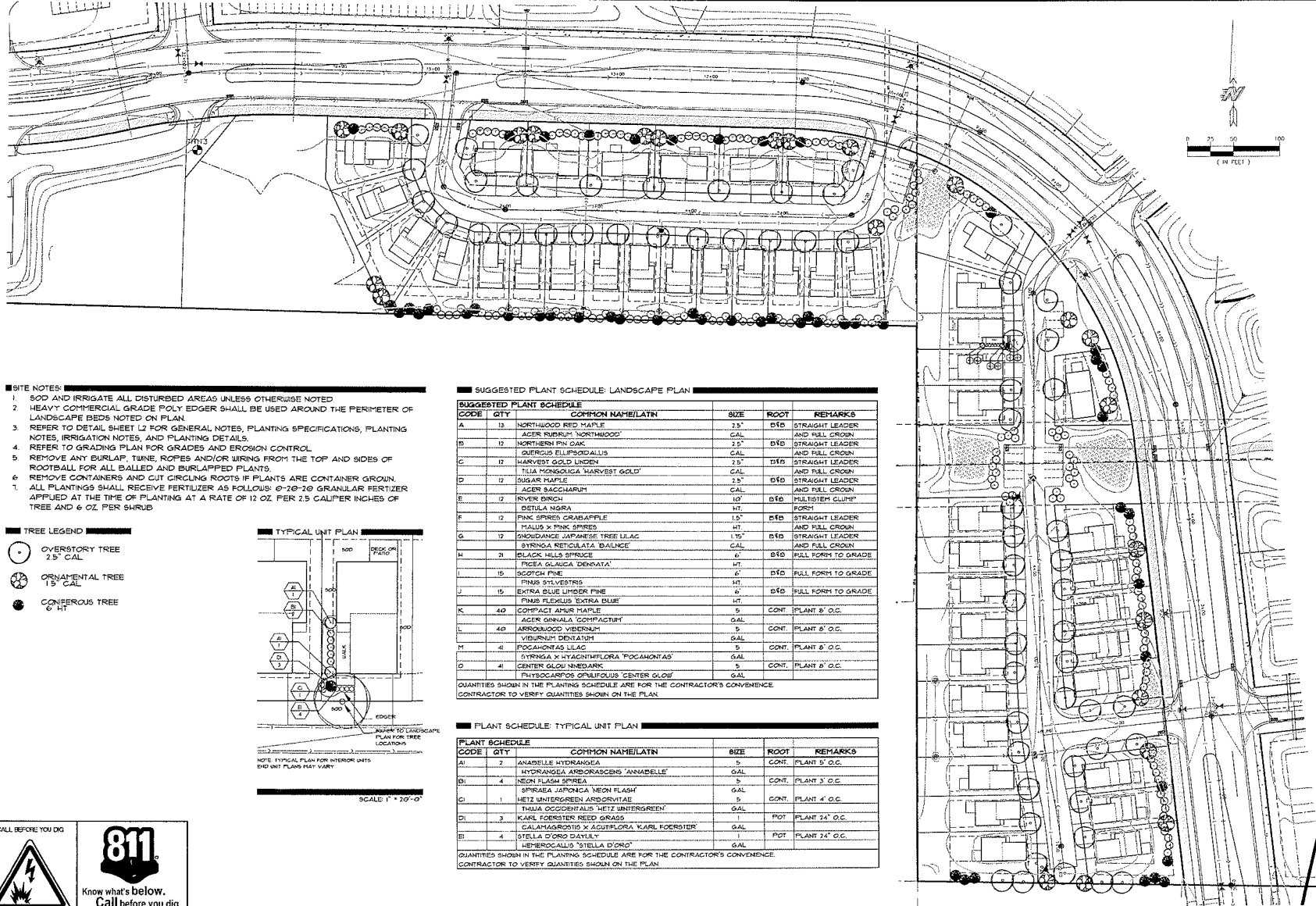
PARKSIDE NORTH, LLC.
 5160 Viking Boulevard
 Anoka, MN 55303

REVISIONS

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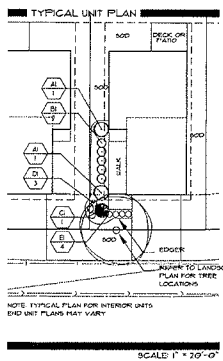
DRAWN BY: L.C.
 DESIGNED BY: B.K.
 ISSUE DATE: 6/23/15

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.
 Name: Brian J. Krystofek, P.E.
 Signature: *Brian J. Krystofek*
 Date: 6/23/15 License #: 25663



- SITE NOTES:**
1. SOD AND IRRIGATE ALL DISTURBED AREAS UNLESS OTHERWISE NOTED
 2. HEAVY COMMERCIAL GRADE POLY EDGER SHALL BE USED AROUND THE PERIMETER OF LANDSCAPE BEDS NOTED ON PLAN.
 3. REFER TO DETAIL SHEET L2 FOR GENERAL NOTES, PLANTING SPECIFICATIONS, PLANTING NOTES, IRRIGATION NOTES, AND PLANTING DETAILS.
 4. REFER TO GRADING PLAN FOR GRADES AND EROSION CONTROL.
 5. REMOVE ANY BURLAP, TUNE, ROPES AND/OR WIRING FROM THE TOP AND SIDES OF ROOTBALL FOR ALL BALLED AND BURLAPPED PLANTS.
 6. REMOVE CONTAINERS AND CUT CIRCLING ROOTS IF PLANTS ARE CONTAINER GROWN.
 7. ALL PLANTINGS SHALL RECEIVE FERTILIZER AS FOLLOWS: 0-20-20 GRANULAR FERTILIZER APPLIED AT THE TIME OF PLANTING AT A RATE OF 12 OZ. PER 2.5 CALIPER INCHES OF TREE AND 6 OZ. PER SHRUB.

- TREE LEGEND**
- OVERSTORY TREE
2.5" CAL
 - ⊗ ORNAMENTAL TREE
1.5" CAL
 - CONIFEROUS TREE
6" HT



SUGGESTED PLANT SCHEDULE: LANDSCAPE PLAN

CODE	QTY	COMMON NAME/LATIN	SIZE	ROOT	REMARKS
A	13	NORTHWOOD RED MAPLE	2.5"	D/D	STRAIGHT LEADER
B	12	ACER RUBRUM 'NORTHWOOD'	CAL	D/D	AND FULL CROWN
C	12	NORTHERN PIN OAK	2.5"	D/D	STRAIGHT LEADER
D	12	QUERCUS ELIPSOIDALIS	CAL	D/D	AND FULL CROWN
E	12	HARVEST GOLD LINDEN	2.5"	D/D	STRAIGHT LEADER
F	12	FLIA MONGOLICA 'HARVEST GOLD'	2.5"	D/D	AND FULL CROWN
G	12	SUGAR MAPLE	2.5"	D/D	STRAIGHT LEADER
H	12	ACER SACCHARUM	CAL	D/D	AND FULL CROWN
I	12	RIVER BIRCH	10'	D/D	MULTI-STEM CLUMP
J	12	BETULA NIGRA	HT	FORM	FORM
K	12	PINK SPINES CRABAPPLE	1.5"	D/D	STRAIGHT LEADER
L	12	MALUS X PINK SPINES	HT	D/D	AND FULL CROWN
M	12	SHOUJUNGE JAPANESE TREE LILAC	1.5"	D/D	STRAIGHT LEADER
N	12	SYRINGA RETICULATA 'BALANCE'	CAL	D/D	AND FULL CROWN
O	21	BLACK HILLS SPRUCE	6"	D/D	FULL FORM TO GRADE
P	15	PICEA GLAUGA 'DENKATA'	HT	D/D	FULL FORM TO GRADE
Q	15	SCOTCH PINE	6"	D/D	FULL FORM TO GRADE
R	15	PINES SILVESTRE	HT	D/D	FULL FORM TO GRADE
S	15	EXTRIA BLUE LIPPER PINE	6"	D/D	FULL FORM TO GRADE
T	15	PINUS FLEXILIS 'EXTRA BLUE'	HT	D/D	FULL FORM TO GRADE
U	40	COMPACT AMUR MAPLE	5"	CONT	PLANT 8' O.C.
V	40	ACER GINNALA 'COMPACTUM'	GAL	CONT	PLANT 8' O.C.
W	40	ARBOREUS VIBURNUM	GAL	CONT	PLANT 8' O.C.
X	40	VIBURNUM DENTATUM	GAL	CONT	PLANT 8' O.C.
Y	40	POCAHONTAS LILAC	5"	CONT	PLANT 8' O.C.
Z	40	SYRINGA X HYACINTHIFLORA 'POCAHONTAS'	GAL	CONT	PLANT 8' O.C.
AA	40	CENTER GLOW NEEDLEBARK	5"	CONT	PLANT 8' O.C.
AB	40	PHYSCOCARPUS OPULIFOLIUS 'CENTER GLOW'	GAL	CONT	PLANT 8' O.C.

QUANTITIES SHOWN IN THE PLANTING SCHEDULE ARE FOR THE CONTRACTOR'S CONVENIENCE. CONTRACTOR TO VERIFY QUANTITIES SHOWN ON THE PLAN.

PLANT SCHEDULE: TYPICAL UNIT PLAN

CODE	QTY	COMMON NAME/LATIN	SIZE	ROOT	REMARKS
AI	2	ANABELLE HYDRANGEA	5"	CONT	PLANT 8' O.C.
BI	4	HYDRANGEA ARBORASCENS 'ANNABELLE'	GAL	CONT	PLANT 3' O.C.
CI	1	NEON FLASH SPINEA	5"	CONT	PLANT 4' O.C.
DI	1	SPREAIA JAPONICA 'NEON FLASH'	GAL	CONT	PLANT 4' O.C.
EI	1	HETZ UNTERGREEN ARBORVITAE	5"	CONT	PLANT 4' O.C.
FI	3	THUJA OCCIDENTALIS 'HETZ UNTERGREEN'	GAL	POT	PLANT 24' O.C.
GI	3	KARL KOERSTER REED GRASS	1"	POT	PLANT 24' O.C.
HI	4	CALAMAGROSTIS X AGUTIFLORA 'KARL KOERSTER'	GAL	POT	PLANT 24' O.C.
II	4	STELLA D'ORO DAYLILY	1"	POT	PLANT 24' O.C.
JI	4	HEBERCALLIS 'STELLA D'ORO'	GAL	POT	PLANT 24' O.C.

QUANTITIES SHOWN IN THE PLANTING SCHEDULE ARE FOR THE CONTRACTOR'S CONVENIENCE. CONTRACTOR TO VERIFY QUANTITIES SHOWN ON THE PLAN.

CALL BEFORE YOU DIG

Know what's below.
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Carlson McCain
ENVIRONMENTAL ENGINEERING SURVEYING
248 Apollo Dr. Suite 100, Lino Lakes, MN 55014
Phone: 763-489-7900 Fax: 763-489-7959

PRELIMINARY
LANDSCAPE PLAN
PARKSIDE NORTH 3RD ADDITION
Blaine, Minnesota

PARKSIDE NORTH, LLC.
5160 Viking Boulevard
Anoka, MN 55303

DRAWN BY: SDB
DESIGNED BY: SDB
ISSUE DATE:
I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Landscape Architect under the laws of the State of Minnesota.
Name: *[Signature]*
Signature:
Date: 6.22.2015 License #: 40567

BLAINE - PARKSIDE NORTH HICKORY II (ELEVATION "A") 1,326 FINISHED SQ. FT.

2'-0" OVERHANGS * EAVES
1'-0" OVERHANGS * GABLE ENDS

ARCHITECTURAL ASPH SHINGLES
ALUMINUM SOFFIT & FASCIA

VINYL SHAKES PER ELEVATION
BOARD & BATON PER ELEVATION

VINYL LAP SIDING

MASONRY PER SELECTION

DUE TO VARIOUS SITE CONDITIONS
OF INDIVIDUAL LOTS, THE GRADE LINES
REPRESENTED BY THIS PRINT ARE FOR
ILLUSTRATIVE PURPOSES ONLY. THEY DO NOT
REFLECT ACTUAL FINISHED GRADE

INSTALL HOUSE NUMBERS:
4" MINIMUM, VISIBLE FROM STREET

Post Address Card:
On Site, Visible from the Street,
Maintain Until House
Numbers are Installed

TOTAL STONE = 6#
(2.4% OF TOTAL)

SHAKES = 36.2#
(14.3% OF TOTAL)

TOTAL STONE = 55.1#
(21.8% OF TOTAL)

TOTAL SQ. FT. OF FRONT WITHOUT
GARAGE DOOR/FRONT DOOR =

20% OF TOTAL SQ. FT. = 50.5

34.6 SQ. FT. OF GLASS (13.7% OF TOTAL)

FLASHING NOTE:
ALL OPENINGS TO EXTERIOR MUST
BE CAULKED & FLASHED
FLASHING IS REQUIRED WHERE ALL
ROOF & VERTICAL SURFACES MEET
OR WHERE SIDING MATERIAL CHANGES

Notice:
This Building Must Not Be Occupied
Until a Certificate of Occupancy
Has Been Issued.

Final Building, Plumbing and Heating
Must be completed Prior to C.O.
Owner or Contractor Must be Present
for Final Building Inspection

ALL JOB DEBRIS MUST BE CONTAINED
DUMPSTER OR COVERED, FURNISHED
BY CONTRACTOR

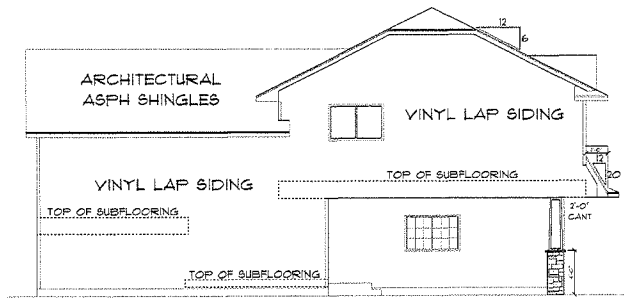
Building Official Review and Authorization
Changes, Modifications, or Additions

EROSION CONTROLS REQUIRED
Install erosion controls per proposed site
inspection. Rock construction entrance
controls such as silt fence are required
controls until landscaping is installed

WARNING:
CALL BEFORE YOU DIG! Gopher
651-454-0002

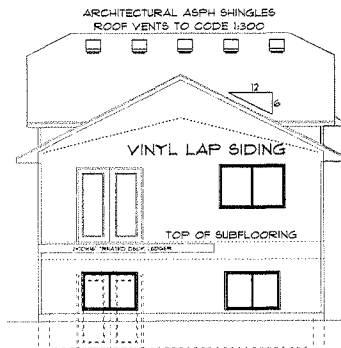


1 FRONT ELEVATION "A"
A1 SCALE: 1/4" = 1'-0"
FINISHED SQ. FT. - 1326
04:00 PM
Wednesday, November 05, 2014

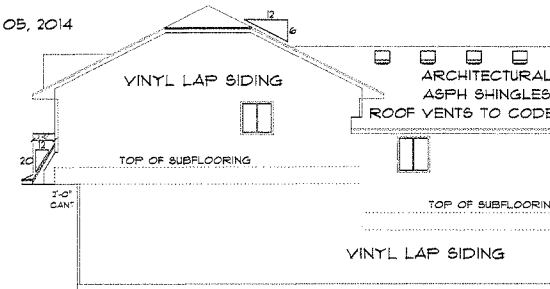


2 LEFT ELEVATION
A1 SCALE: 1/8" = 1'-0"

ATTIC VENTILATION:
NET FREE AREA TO BE EQUAL TO 1/30TH OF THE ATTIC AREA OR 1/30TH OF ATTIC AREA PROVIDED WITH AT LEAST 50% IN THE UPPER PORTION OF ROOF WITH THE BALANCE IN VENTED SOFFIT



3 REAR ELEVATION
A1 SCALE: 1/8" = 1'-0"



4 RIGHT ELEVATION
A1 SCALE: 1/8" = 1'-0"

DASHED LINES REPRESENT
WALK-OUT FOUNDATION OPTION

BLAINE - PARKSIDE NORTH HICKORY II (ELEVATION "B") 1,351 FINISHED SQ. FT.

TOTAL SQ. FT. OF FRONT (WITHOUT GARAGE DOOR/FRONT DOOR) = 31
20% OF TOTAL SQ. FT. = 63
52.2 SQ. FT. OF GLASS (16.7% OF TOTAL)

2'-0" OVERHANGS @ EAVES
1'-0" OVERHANGS @ GABLE ENDS

ARCHITECTURAL ASPH SHINGLES
ALUMINUM SOFFIT & FASCIA

VINYL SHAKES PER ELEVATION
BOARD & BATON PER ELEVATION

VINYL LAP SIDING

MASONRY PER SELECTION

DUE TO VARIOUS SITE CONDITIONS OF INDIVIDUAL LOTS, THE GRADE LINES REPRESENTED BY THIS PRINT ARE FOR ILLUSTRATIVE PURPOSES ONLY. THEY DO NOT REFLECT ACTUAL FINISHED GRADE

INSTALL HOUSE NUMBERS:
4" MINIMUM, VISIBLE FROM STREET

Post Address Card
On Site, Visible from the Street,
Maintain Until House
Numbers are Installed



FLASHING NOTE:
ALL OPENINGS TO EXTERIOR MUST BE CAULKED & FLASHED
FLASHING IS REQUIRED WHERE ALL ROOF & VERTICAL SURFACES MEET, OR WHERE SIDING MATERIAL CHANGES

Notice:
This Building Must Not Be Occupied Until a Certificate of Occupancy Has Been Issued

Final Building, Plumbing and HVAC Must be Complete Prior to Occupancy
Owner or Contractor Must be Present for Final Building Inspection

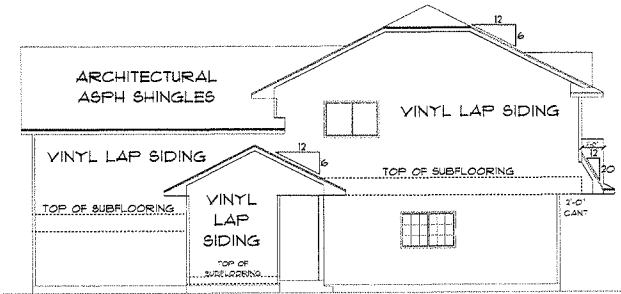
ALL JOB DEBRIS MUST BE CONTAINED IN A DUMPSTER OR COVERED, FENCED OFF, AND MAINTAINED AT ALL TIMES

Building Official Review and Authorization Required for Changes, Modifications, or Additions

EROSION CONTROL: Install erosion controls per proposed site plan. Rock construction retaining walls and other structures such as silt fences are required until landscaping is complete.

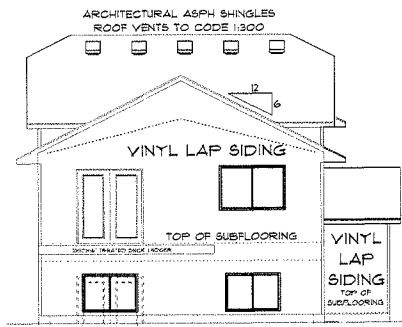
WARNING:
CALL BEFORE YOU DIG! Gopher 651-454-0002

1 FRONT ELEVATION "B"
A2 SCALE: 1/4" = 1'-0"
FINISHED SQ. FT. - 1351
04:01 PM
Wednesday, November 05, 2014

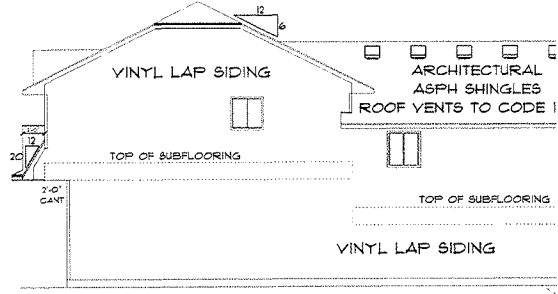


2 LEFT ELEVATION
A2 SCALE: 1/8" = 1'-0"

ATTIC VENTILATION:
NET FREE AREA TO BE EQUAL TO 1/60TH OF THE ATTIC AREA OR 1/60TH OF ATTIC AREA PROVIDED WITH AT LEAST 50% IN THE UPPER PORTION OF ROOF WITH THE BALANCE IN VENTED SOFFIT



3 REAR ELEVATION
A2 SCALE: 1/8" = 1'-0"



4 RIGHT ELEVATION
A2 SCALE: 1/8" = 1'-0"

DASHED LINES REPRESENT WALK-OUT FOUNDATION OPTION

BLAINE - PARKSIDE NORTH HICKORY II (ELEVATION "C") 1,351 FINISHED SQ. FT.

2'-0" OVERHANGS @ EAVES
1'-0" OVERHANGS @ GABLE ENDS

ARCHITECTURAL ASPH SHINGLES
ALUMINUM SOFFIT & FASCIA

VINYL SHAKES PER ELEVATION

VINYL LAP SIDING

MASONRY PER SELECTION

DUE TO VARIOUS SITE CONDITIONS
OF INDIVIDUAL LOTS, THE GRADE LINES
REPRESENTED BY THIS PRINT ARE FOR
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REFLECT ACTUAL FINISHED GRADE

INSTALL HOUSE NUMBERS:
4" MINIMUM, VISIBLE FROM STREET

Post Address Card:
On Site, Visible from the Street,
Maintain Until House
Numbers are Installed

SHAKES = 33.8#
(8.3% OF TOTAL)

SHAKES = 70.4#
(17.2% OF TOTAL)

TOTAL STONE = 81.6#
(19.9% OF FRONT)

TOTAL SQ. FT. OF FRONT WITHOUT
GARAGE DOORS/FRONT DOOR = 4
20% OF TOTAL SQ. FT. = 81.72
34.8 SQ. FT. OF GLASS (8.5% OF TC

FLASHING NOTE:
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BE CAULKED & FLASHED
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ROOF & VERTICAL SURFACES MEET,
OR WHERE SIDING MATERIAL CHANGES

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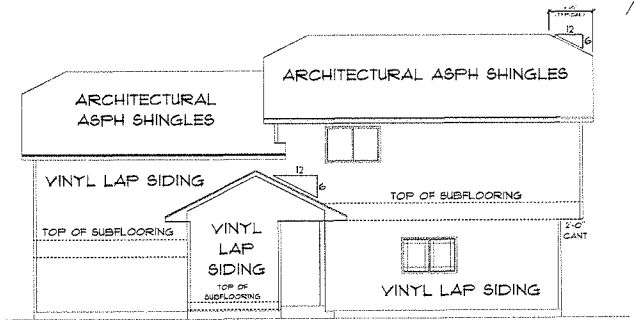
Building Official Review and Authorization
Changes, Modifications, or
Additions Must be Approved
Prior to Construction

EROSION CONTROLS RE
Install erosion controls per proposed submittal
inspection. Rock construction entrance
controls such as silt fence are required
controls until landscaping is

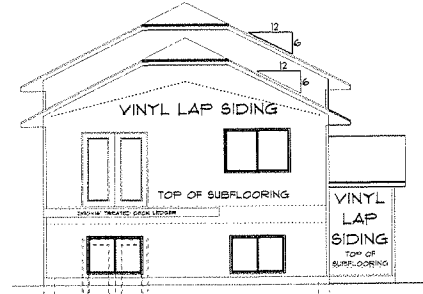
WARNING:
CALL BEFORE YOU DIG! Gopher
651-454-0002

1 FRONT ELEVATION "C"
A3 SCALE: 1/4" = 1'-0"
FINISHED SQ. FT. - 1351
04:02 PM
Wednesday, November 05, 2014

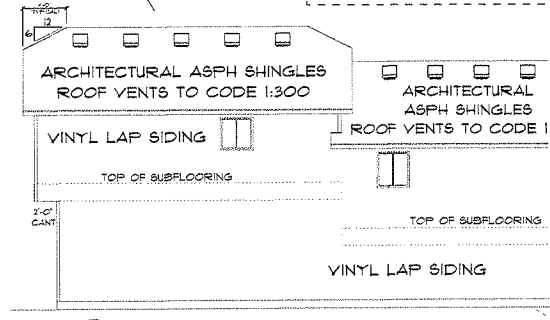
ATTIC VENTILATION:
NET FREE AREA TO BE EQUAL
TO 1/60TH OF THE ATTIC AREA
OR 1/60TH OF ATTIC AREA
PROVIDED WITH AT LEAST 30%
IN THE UPPER PORTION OF ROOF
WITH THE BALANCE IN VENTED SOFFIT



2 LEFT ELEVATION
A3 SCALE: 1/8" = 1'-0"



3 REAR ELEVATION
A3 SCALE: 1/8" = 1'-0"



4 RIGHT ELEVATION
A3 SCALE: 1/8" = 1'-0"

DASHED LINES
WALK-OUT FOUNDATION

DASHED LINES REPRESENT
WALK-OUT FOUNDATION OPTION

BLAINE - PARKSIDE NORTH HICKORY II (ELEVATION "D") 1,351 FINISHED SQ. FT.

2'-0" OVERHANGS @ EAVES
1'-0" OVERHANGS @ GABLE ENDS

ARCHITECTURAL ASPH SHINGLES
ALUMINUM SOFFIT & FASCIA

VINYL SHAKES PER ELEVATION

BOARD & BATON PER ELEVATION

VINYL LAP SIDING

MASONRY PER SELECTION

DUE TO VARIOUS SITE CONDITIONS
OF INDIVIDUAL LOTS, THE GRADE LINES
REPRESENTED BY THIS PRINT ARE FOR
ILLUSTRATIVE PURPOSES ONLY. THEY DO NOT
REFLECT ACTUAL FINISHED GRADE

INSTALL HOUSE NUMBERS:
4" MINIMUM, VISIBLE FROM STREET

Post Address Card:
On Site, Visible from the Street.
Maintain Until House
Numbers are Installed

SHAKES = 33.8#
(9.8% OF TOTAL)

SHAKES = 41.1#
(11.9% OF TOTAL)

TOTAL SQ. FT. OF FRONT WITHOUT
GARAGE DOORS/FRONT DOOR
20% OF TOTAL SQ. FT. = 69.1
34.8 SQ. FT. OF GLASS (10.1% OF

FLASHING NOTE:
ALL OPENINGS TO EXTERIOR MUST
BE CAULKED & FLASHED
FLASHING IS REQUIRED WHERE ALL
ROOF & VERTICAL SURFACES MEET,
OR WHERE SIDING MATERIAL CHANGES

Notice:
This Building Must Not Be
Until a Certificate of Occ
Has Been Issued.

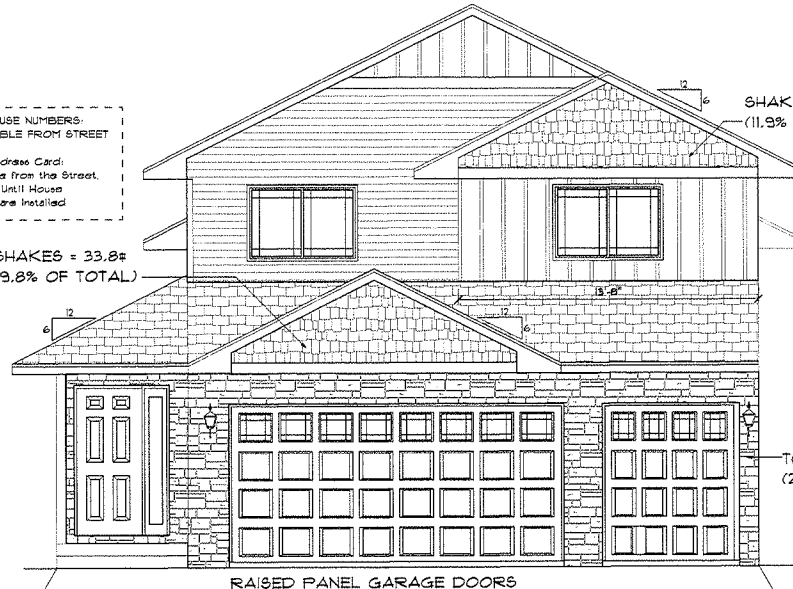
Final Building, Plumbing and Heat
Must be complete Prior to
Owner or Contractor Must be
for Final Building Inspe

ALL JOB DEBRIS MUST BE CONTAIN
DUMPSTER OR COVERED, I

Building Official Review and Authoriz
Changes, Modifications, or

EROSION CONTROLS R
Install erosion controls per proposed s
Inspection. Rock construction eras
controls such as silt fence are requi
controls until landscaping I

WARNING:
CALL BEFORE YOU DIG! Goph
651-454-0002

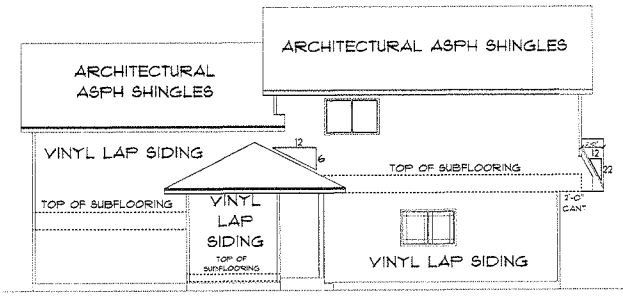


RAISED PANEL GARAGE DOORS

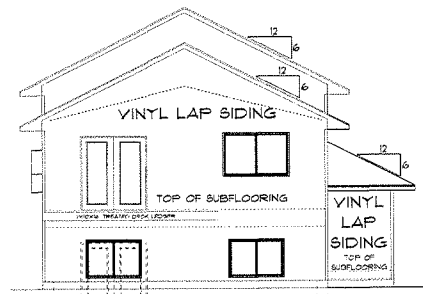
TOTAL STONE = 81.6#
(23.6% OF TOTAL)

1 FRONT ELEVATION "D"
A4 SCALE: 1/4" = 1'-0"
FINISHED SQ. FT. - 1351
04:03 PM
Wednesday, November 05, 2014

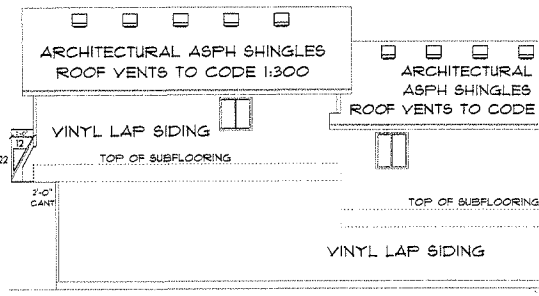
ATTIC VENTILATION:
NET FREE AREA TO BE EQUAL
TO 1/30TH OF THE ATTIC AREA
OR 1/200TH OF ATTIC AREA
PROVIDED WITH AT LEAST 30%
IN THE SPREAD PORTION OF ROOF
WITH THE BALANCE IN VENTED ROFFIT



2 LEFT ELEVATION
A4 SCALE: 1/8" = 1'-0"



3 REAR ELEVATION
A4 SCALE: 1/8" = 1'-0"



4 RIGHT ELEVATION
A4 SCALE: 1/8" = 1'-0"

DASHED LINES REPRESENT
WALK-OUT FOUNDATION OPTION

DASHED LINE
WALK-OUT FOUR

BLAINE - PARKSIDE NORTH HICKORY II (ELEVATION "E") 1,351 FINISHED SQ. FT.

Notice:
This Building Must Not Be Occupied
Until a Certificate of Occupancy
Has Been Issued.

Final Building, Plumbing and heating Impact
Must be complete Prior to Occupancy.
Owner or Contractor Must be Present
for Final Building Inspection.

2'-0" OVERHANGS @ EAVES
1'-0" OVERHANGS @ GABLE ENDS
(UNLESS OTHERWISE NOTED)

ARCHITECTURAL ASPH SHINGLES
ALUMINUM SOFFIT & FASCIA

VINYL SHAKES PER ELEVATION

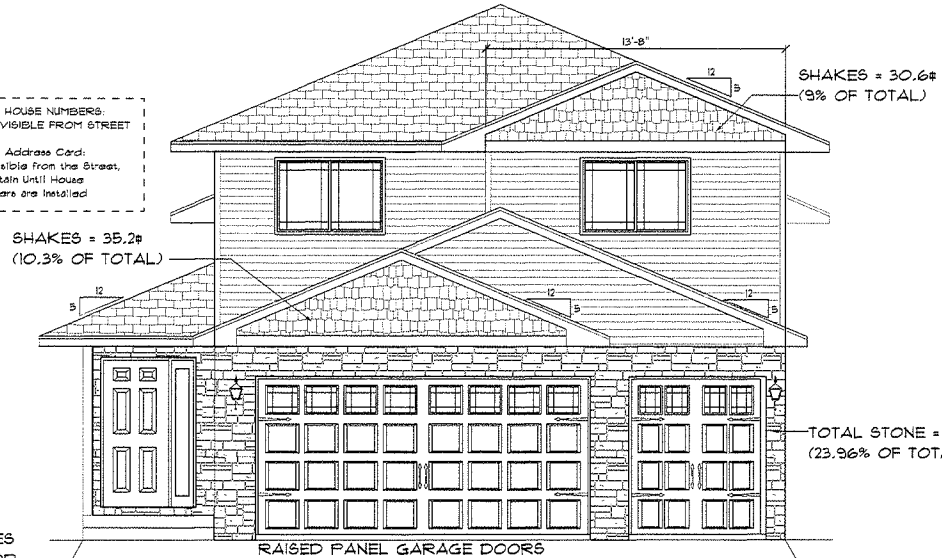
VINYL LAP SIDING

MASONRY PER SELECTION

DUE TO VARIOUS SITE CONDITIONS
OF INDIVIDUAL LOTS, THE GRADE LINES
REPRESENTED BY THIS PRINT ARE FOR
ILLUSTRATIVE PURPOSES ONLY. THEY DO NOT
REFLECT ACTUAL FINISHED GRADE

INSTALL HOUSE NUMBERS:
4" MINIMUM, VISIBLE FROM STREET

Post Address Card:
On Site, Visible from the Street,
Maintain Until House
Numbers are Installed



TOTAL SQ. FT. OF FRONT WITH
GARAGE DOORS/FRONT DOOR

20% OF TOTAL SQ. FT. = 68.1

34.8 SQ. FT. OF GLASS (10.2% OF TOTAL)

FLASHING NOTE:
ALL OPENINGS TO EXTERIOR MUST
BE CAULKED & FLASHED
FLASHING IS REQUIRED WHERE ALL
ROOF & VERTICAL SURFACES MEET,
OR WHERE SIDING MATERIAL CHANGES

ALL JOB DEBRIS MUST BE CONTAINED
DUMPSTER OR COVERED PILE

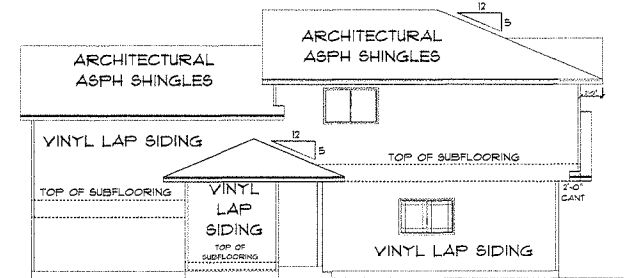
Building Official Review and Authorization
Changes, Modifications, or A

EROSION CONTROLS REC
Install erosion controls per proposed survey
inspection. Rock construction entrance
controls such as silt fence are required
controls until landscaping is in

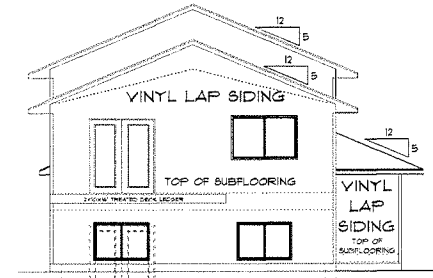
WARNING:
CALL BEFORE YOU DIG! Gopher
651-454-0002

1 FRONT ELEVATION "E"
A5 / SCALE: 1/4" = 1'-0"
FINISHED SQ. FT. - 1351
04:04 PM
Wednesday, November 05, 2014

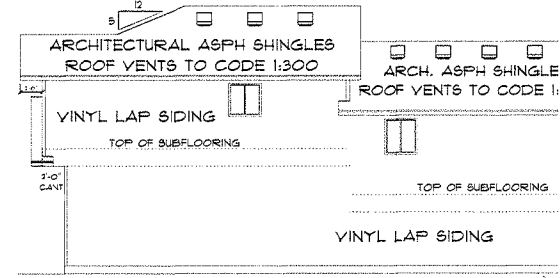
ATTIC VENTILATION:
NET FREE AREA TO BE EQUAL
TO 1/60TH OF THE ATTIC AREA
OR 1/60TH OF ATTIC AREA
PROVIDED WITH AT LEAST 80%
IN THE UPPER PORTION OF ROOF
WITH THE BALANCE IN VENTED SOFFIT



2 LEFT ELEVATION
A5 / SCALE: 1/8" = 1'-0"



3 REAR ELEVATION
A5 / SCALE: 1/8" = 1'-0"



4 RIGHT ELEVATION
A5 / SCALE: 1/8" = 1'-0"

DASHED LINES REPRESENT
WALK-OUT FOUNDATION OPTION

DASHED LINE
WALK-OUT FOUNDATION

BLAINE - PARKSIDE NORTH HICKORY II (ELEVATION "F") 1,300 FINISHED SQ. FT.

TOTAL SQ. FT. OF FRONT WITHOUT GARAGE DOORS = 396
20% OF TOTAL SQ. FT. = 79.2
34.8 SQ. FT. OF GLASS (8.8% OF TOTAL)

ARCHITECTURAL ASPH SHINGLES
ALUMINUM SOFFIT & FASCIA

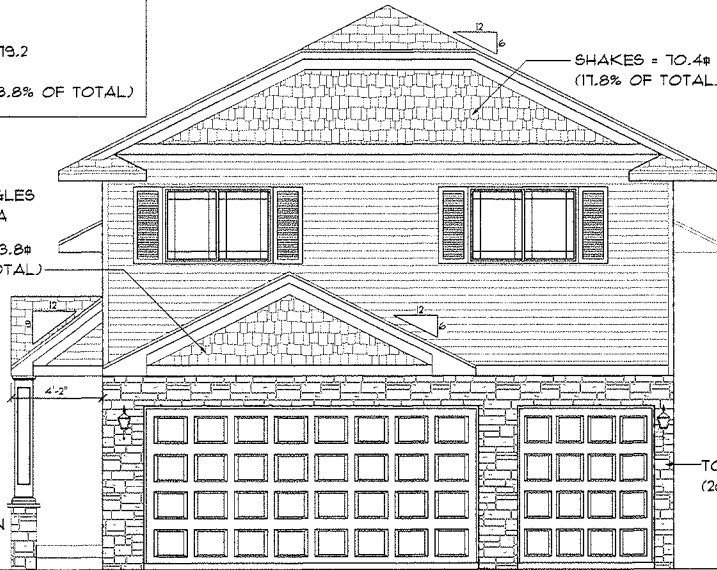
SHAKES = 33.8#
(8.5% OF TOTAL)

VINYL SHAKES
PER ELEVATION

VINYL LAP SIDING

INSTALL HOUSE NUMBERS
4" MINIMUM, VISIBLE FROM STREET
Post Address Card:
On Site, Visible from the Street.
Maintain Until House
Numbers are Installed

MASONRY PER SELECTION



1 FRONT ELEVATION "F"

A6 SCALE: 1/4" = 1'-0"

FINISHED SQ. FT. - 1300

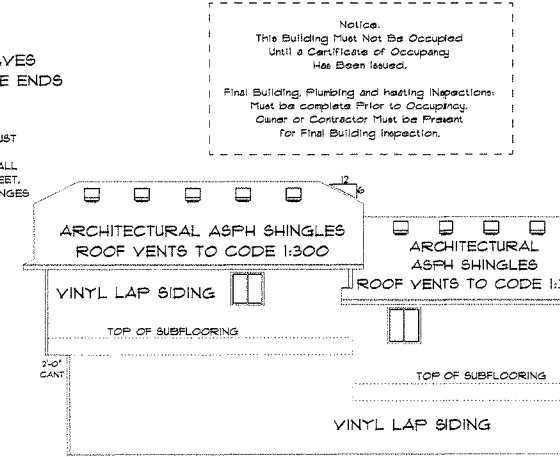
04:01 PM

Wednesday, November 05, 2014



2 LEFT ELEVATION

A6 SCALE: 1/4" = 1'-0"

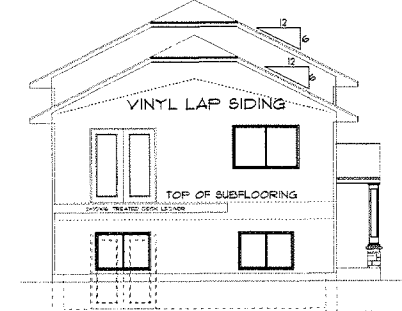


4 RIGHT ELEVATION

A6 SCALE: 1/8" = 1'-0"

DASHED LINE WALK-OUT FOUNDATION

ALL JOB DEBRIS MUST BE CONTAINED ON-SITE AND IN A DUMPSTER OR COVERED, FENCED AREA
Building Official Review and Authorization Required Prior to Changes, Modifications, or Alterations
EROSION CONTROLS REQUIRED
Install erosion controls per proposed survey prior to foundation inspection. Rock construction entrance and site perimeter controls such as silt fence are required. Maintain erosion controls until landscaping is completed.
WARNING:
CALL BEFORE YOU DIG! Gopher State One call
651-454-0002



3 REAR ELEVATION

A6 SCALE: 1/8" = 1'-0"

DASHED LINES REPRESENT WALK-OUT FOUNDATION OPTION

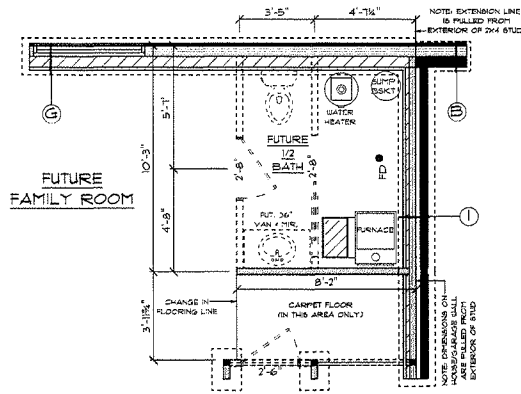
ALL R NO UNAUTH WITHOUT CONT

GENERAL CONSTRUCTION NOTES
 SOLID SHADED AREAS REP.
 SOLID BEARING DOWN TO CONC.
 INTERIOR BEARING WALLS
 HAVE BLOCKING @ MIDPOINT

NOTE... ALL WINDOWS & PATIO DOORS SPECIFIED
 ON THIS PRINT ARE:
 TBD
 (VERIFY WINDOW R.O. AND
 HEADER SIZE PRIOR TO CONSTRUCTION)

ALL BEAMS & HEADERS ON THIS PLAN ARE
 WEYERHAEUSER TRUS JOIST
 ENGINEERED WOOD PRODUCTS
 IF DIFFERENT BRAND IS USED,
 VERIFY SIZE & DEPTH PRIOR TO CONST.

BEAM/HEADER SUPPLIER TO VERIFY THAT ALL
 BEAMS AND HEADERS WILL SUPPORT
 ROOF AND FLOOR TRUSS LOADS
 PRIOR TO CONSTRUCTION



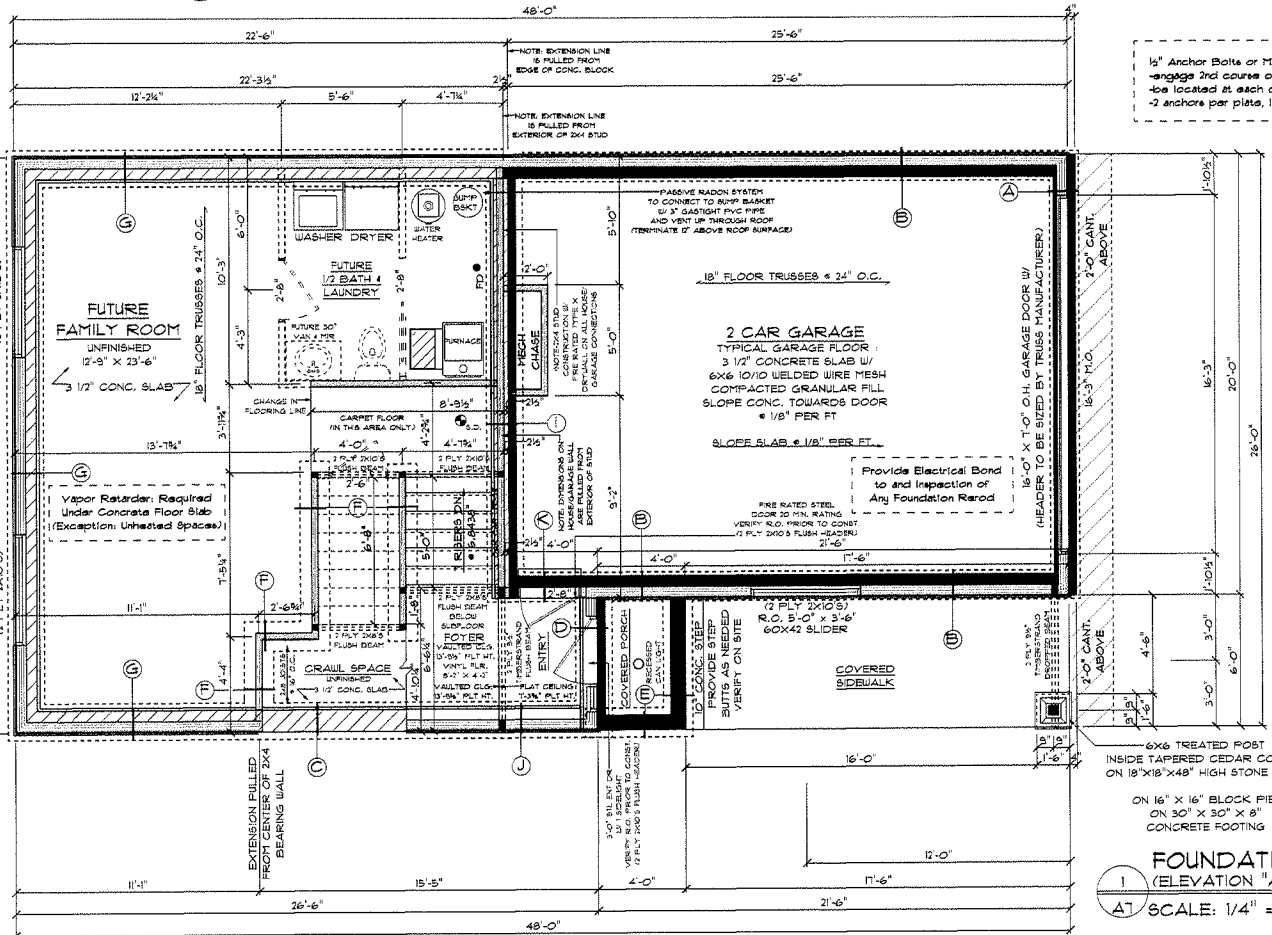
2 OPTIONAL BATH LAYOUT
 AT SCALE: 1/4" = 1'-0"

- A) 2X6 STUDS @ 16" O.C.
1 CRBE 6" CONC. BLK
4 CRBE 12" CONC. BLK
(4" AND 2" LEDGES)
ON 16"X8" CONC. FTG
- B) 2X6 STUDS @ 16" O.C.
1 CRBE 6" CONC. BLK
4 CRBE 12" CONC. BLK
(6" INTERIOR LEDGE)
ON 16"X8" CONC. FTG
- C) 5 CRBE 12" CONC. BLK
ON 20" X 8" CONC. FTG
- D) 2X6 STUDS @ 16" O.C.
3/4" T&G FLYWOOD SUBFLOOR
2X8 JST. @ 16" O.C.
2X6 PRESSURE TREATED SILL PLATE
1 CRSE 8" CONC. BLK
4 CRSE 12" CONC. BLK
ON 20" X 8" CONC. FTG
- E) 4 CRSE 8" CONC. BLK
ON 16" X 8" CONC. FTG
(CONC. STOOP ABOVE)
- F) 2X4 STUDS @ 16" O.C.
1 CRBE 4" CURB BLK
ON 16"X8" CONC. FTG
- G) 2X6 STUDS @ 16" O.C.
5 CRSE 12" CONC. BLK
ON 20" X 8" CONC. FTG
- H) 2X6 STUDS @ 16" O.C.
1 CRBE 6" CURB. BLK
5 CRSE 12" CONC. BLK
ON 20"X8" CONC. FTG
- I) 2X4 STUDS @ 16" O.C.
1 CRBE 8" CONC. BLK
4 CRSE 12" CONC. BLK
ON 20" X 8" CONC. FTG
- J) 2X6 STUDS @ 16" O.C.
3/4" T&G FLYWOOD SUBFLOOR
2X8 JST. @ 16" O.C.
2X6 PRESSURE TREATED SILL PLATE
ON 20" X 8" CONC. FTG
- K) 2X6 STUDS @ 16" O.C.
3/4" T&G FLYWOOD SUBFLOOR
2X8 JST. @ 16" O.C.
2X6 PRESSURE TREATED SILL PLATE
1 CRBE 6" CONC. BLK
4 CRSE 12" CONC. BLK
(6" INTERIOR LEDGE)
ON 16"X8" CONC. FTG

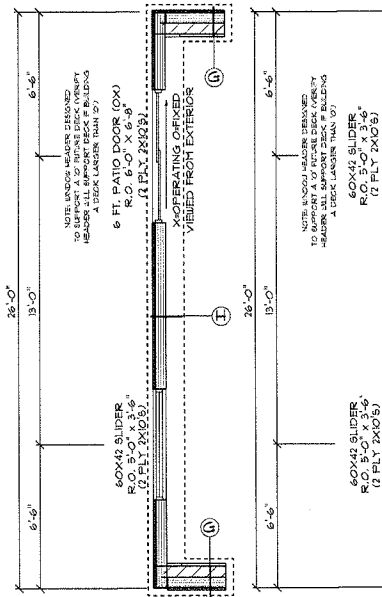
Property Owner/Applicant shall verify all
 public assessments.

Building Official Review and Authorize
 Changes, Modifications, or A

EROSION CONTROLS REQ
 Install erosion controls per proposed surv
 inspection. Rock construction entrance
 controls such as silt fence are required
 controls until landscaping is c



1/2" Anchor Bolts or #4rd Foundation Br
 engage 2nd course of concrete block m
 be located at each core fill / be spac
 2 anchors per plate, 1 anchor within 1 ft c

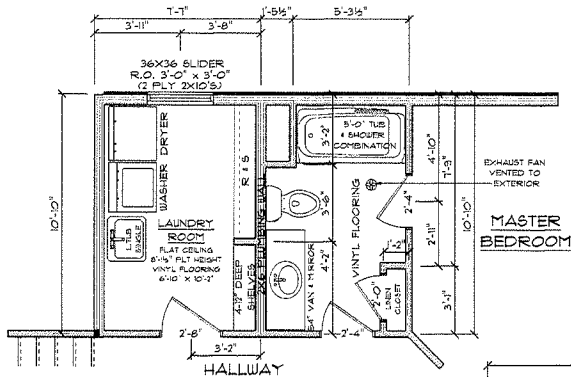


WALK-OUT OPTION

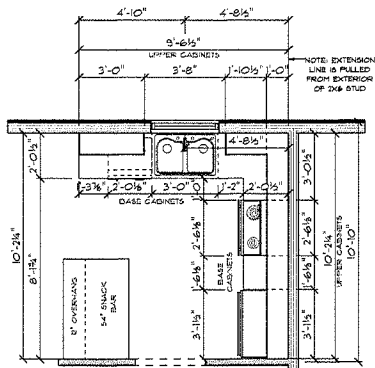
NOTE... ALL DIMENSIONING IS TO THE EXTERIOR OF THE
 SHEATHING (UNLESS NOTED OTHERWISE)

FOUNDATION PLAN
 1 (ELEVATION "A" ONLY)
 AT SCALE: 1/4" = 1'-0"

ALL
 NO UNAUT
 WITHC
 (CO



3 OPTIONAL BATH LAYOUT
 A9 SCALE: 1/4" = 1'-0"



2 KITCHEN PLAN
 A9 SCALE: 1/4" = 1'-0"

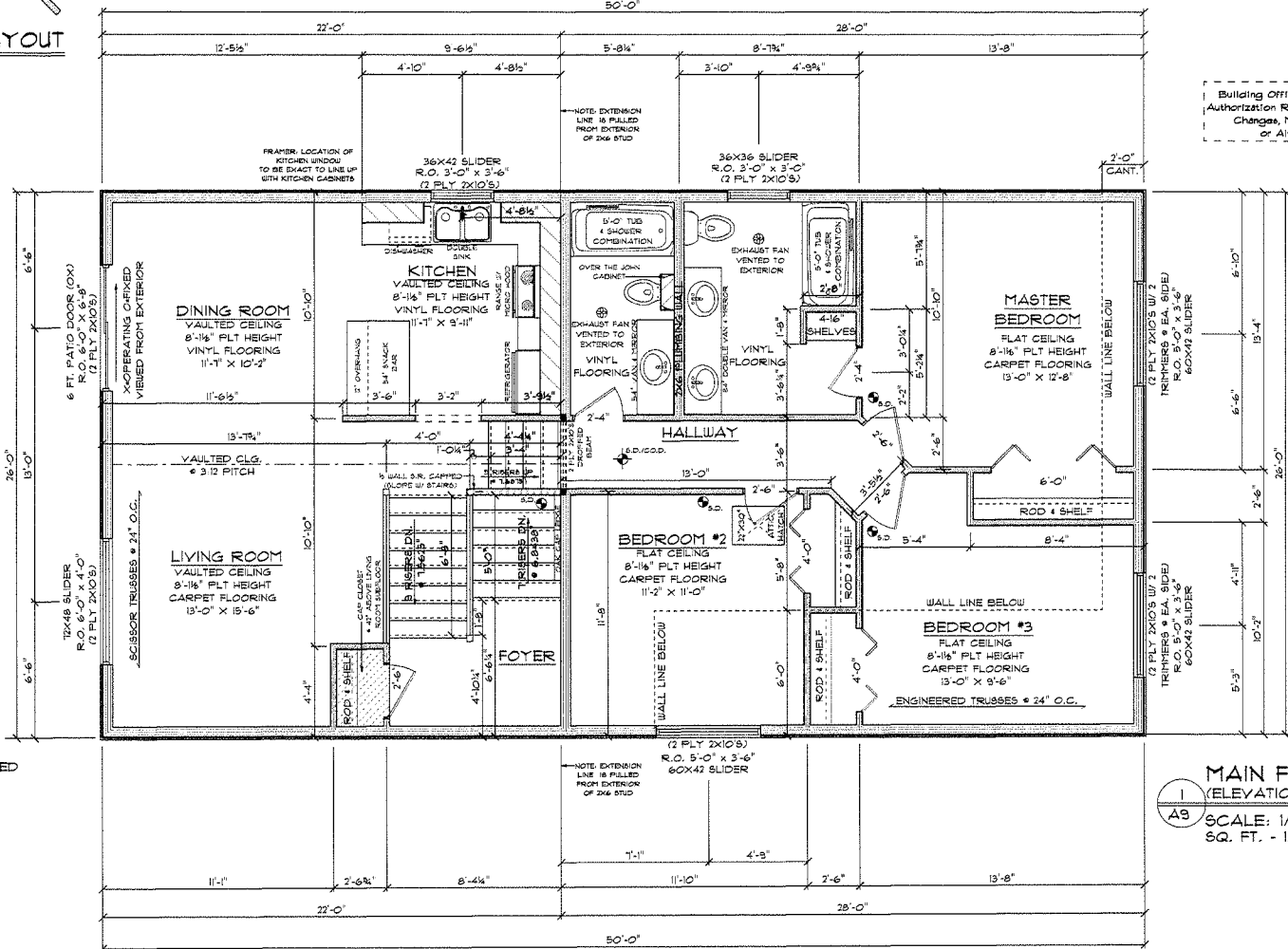
GENERAL CONSTRUCTION NOTES

- SOLID SHADED AREAS REP. SOLID BEARING DOWN TO CONC.
- O.S.B. SUBFLOORING AT ALL FLOORING AREAS OTHER THAN CARPET
- INTERIOR BEARING WALLS HAVE BLOCKING @ MIDPOINT

NOTE... ALL WINDOWS & PATIO DOORS SPECIFIED ON THIS PRINT ARE:
 TBD
 (VERIFY WINDOW R.O. AND HEADER SIZE PRIOR TO CONSTRUCTION)

ALL BEAMS & HEADERS ON THIS PLAN ARE WEYERHAEUSER TRUS JOIST ENGINEERED WOOD PRODUCTS IF DIFFERENT BRAND IS USED, VERIFY SIZE & DEPTH PRIOR TO CONST.

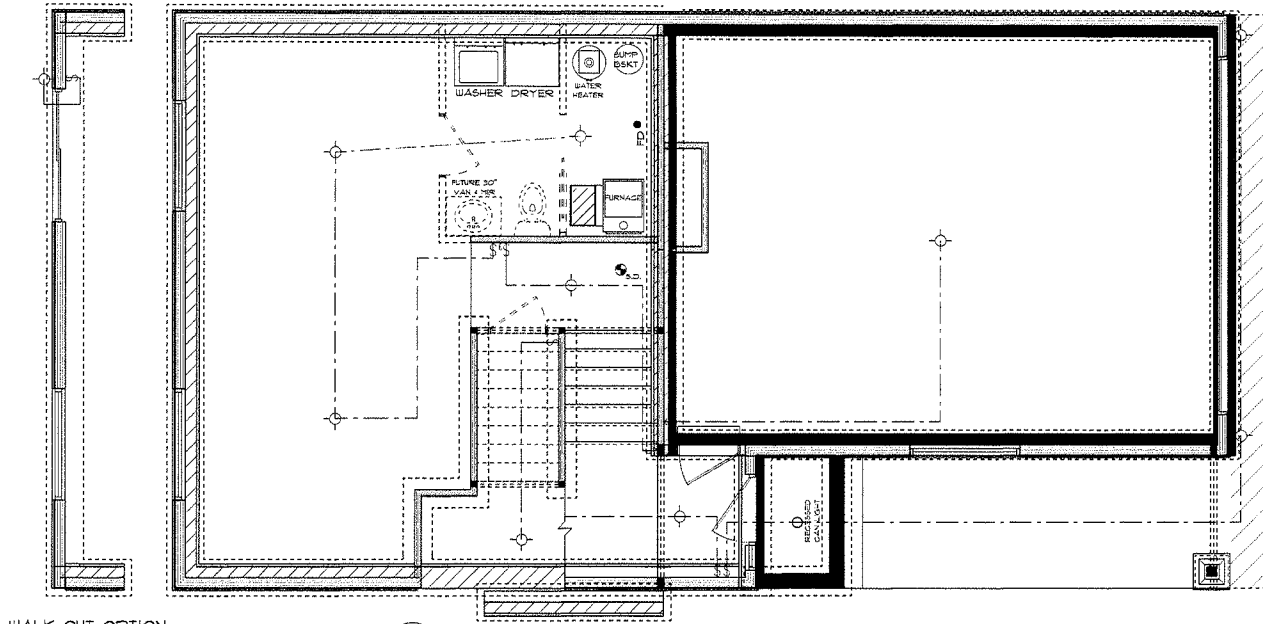
BEAM/HEADER SUPPLIER TO VERIFY THAT ALL BEAMS AND HEADERS WILL SUPPORT ROOF AND FLOOR TRUSS LOADS PRIOR TO CONSTRUCTION



Building Official
 Authorization Req
 Changes, Mo
 or Alter

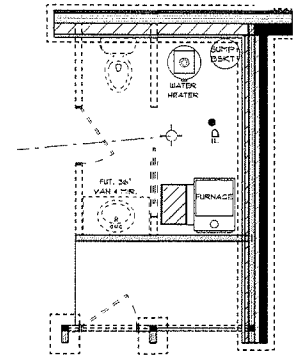
1 MAIN FL
 A9 SCALE: 1/4
 SQ. FT. - 132

NOTE... ALL DIMENSIONING IS TO THE EXTERIOR OF THE SHEATHING (UNLESS NOTED OTHERWISE)



WALK-OUT OPTION

1 FOUNDATION ELEC. PLAN
 EI SCALE: 1/4" = 1'-0"

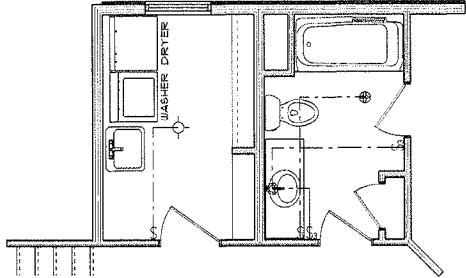


3 OPTIONAL BATH LAYOUT
 EI SCALE: 1/4" = 1'-0"

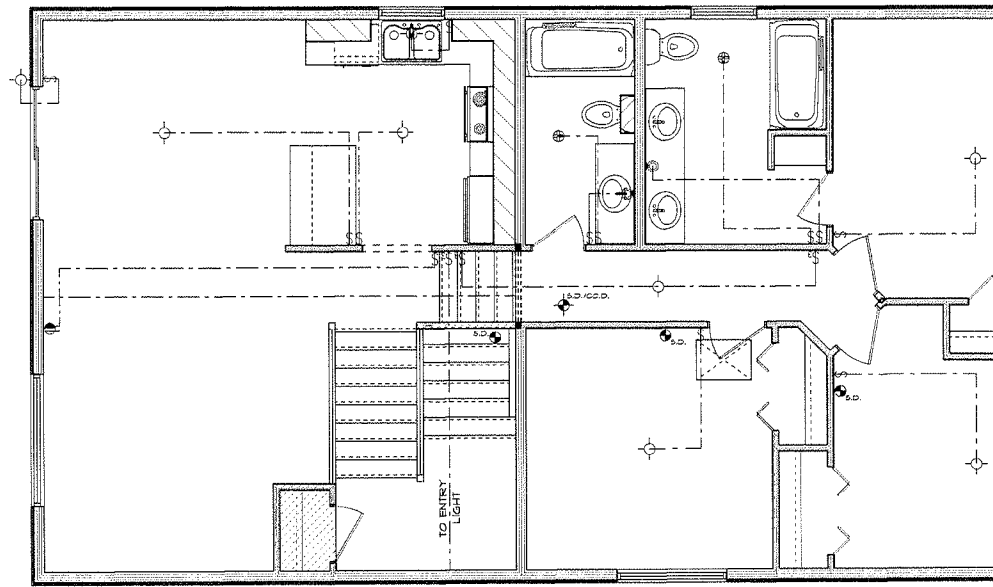
NOTE: INSTALL ELECTRICAL OUTLETS TO CODE

ELECTRICAL PLAN FOR ELEVATION "A"

NOTE: INSTALL ELECTRICAL OUTLETS TO CODE



4 OPTIONAL BATH LAYOUT
 EI SCALE: 1/4" = 1'-0"



2 MAIN FLOOR ELEC. PLAN
 EI SCALE: 1/4" = 1'-0"

ALL NO UNAUT WITH CC

NEW HOME BY: FEDDER HOMES

ST. HENRY (ELEVATION "A")

1,386 FINISHED SQ. FT.
1,970 FINISHABLE

HOME TO BE BUILT TO THE NEW 2012 IRC AS MODIFIED BY THE STATE OF MINNESOTA IN THE 2015 MINNESOTA RESIDENTIAL CODE. IT IS THE RESPONSIBILITY OF ALL SUBCONTRACTORS & SUPPLIERS TO MEET MINIMUM CODE REQUIREMENTS

1'-0" OVERHANGS @ EAVES
1'-0" OVERHANGS @ GABLE ENDS
(UNLESS NOTED OTHERWISE)

ARCHITECTURAL ASPH SHINGLES
ALUMINUM SOFFIT & FASCIA

VINYL SHAKES PER ELEVATION

BOARD & BATON PER ELEVATION

VINYL LAP SIDING

STONE PER ELEVATION
(VERIFY BRAND & COLOR)

DUE TO VARIOUS SITE CONDITIONS OF INDIVIDUAL LOTS, THE GRADE LINES REPRESENTED BY THIS PRINT ARE FOR ILLUSTRATIVE PURPOSES ONLY. THEY DO NOT REFLECT ACTUAL FINISHED GRADE

INSTALL HOUSE NUMBERS:
4" MINIMUM, VISIBLE FROM STREET

Post Address Card:
On Site, Visible from the Street,
Maintain Until House
Numbers are Installed



1 FRONT ELEVATION "A"
SCALE: 1/4" = 1'-0"
FINISHED SQ. FT. -
(NOTE: SQ. FT. IS MEASURED FROM EXT. OF SHEATHING)
03:17 PM
Wednesday, Jun 03, 2015

FLASHING NOTE:
ALL OPENINGS TO EXTERIOR MUST BE CAULKED & FLASHED
FLASHING IS REQUIRED WHERE ALL ROOF & VERTICAL SURFACES MEET, OR WHERE SIDING MATERIAL CHANGES

Notice:
This Building Must Not Be Occupied Until a Certificate of Occupancy Has Been Issued.

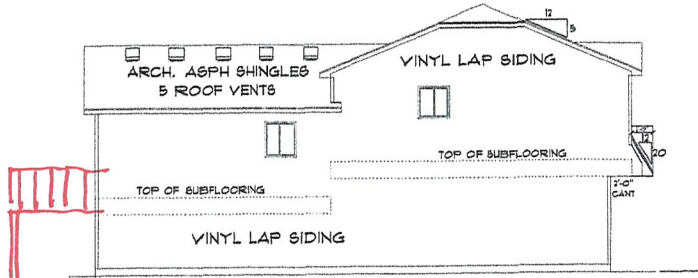
Final Building, Plumbing and Heating Inspections:
Must be complete Prior to Occupancy.
Owner or Contractor Must be Present for Final Building Inspection.

ALL JOB DEBRIS MUST BE CONTAINED ON-SITE AND IN A DUMPSTER OR COVERED, FENCED AREA

Building Official Review and Authorization Required Prior to Changes, Modifications, or Alterations

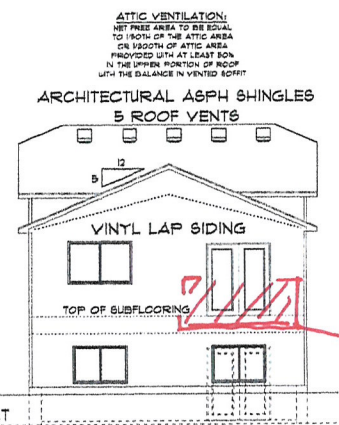
EROSION CONTROLS REQUIRED
Install erosion controls per proposed survey prior to foundation inspection. Rock construction entrance and site perimeter controls such as silt fence are required. Maintain erosion controls until landscaping is completed.

WARNING:
CALL BEFORE YOU DIG! Gopher State One call 631-484-0001



2 LEFT ELEVATION
SCALE: 1/8" = 1'-0"

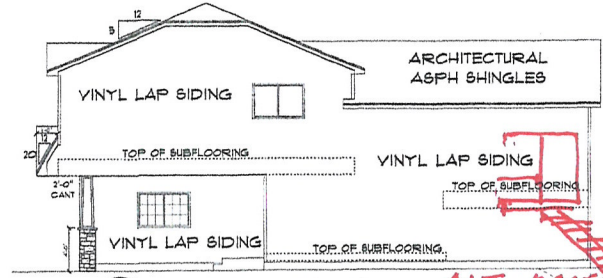
DASHED LINES REPRESENT WALK-OUT FOUNDATION OPTION



3 REAR ELEVATION
SCALE: 1/8" = 1'-0"

DASHED LINES REPRESENT WALK-OUT FOUNDATION OPTION

ATTIC VENTILATION:
NET FREE AREA TO BE EQUAL TO 1/30TH OF THE ATTIC AREA OR 1/30TH OF ATTIC AREA PROVIDED WITH AT LEAST 50% IN THE UPPER PORTION OF ROOF WITH THE BALANCE IN VENTED SOFFIT



4 RIGHT ELEVATION
SCALE: 1/8" = 1'-0"

DASHED LINES REPRESENT WALK-OUT FOUNDATION OPTION

DECK LOCATION, TYPICAL
8'X8, 10'X10, or 12'X12

WAIVER

EVERY EFFORT HAS BEEN MADE TO MAKE SURE THESE PLANS ARE CORRECT IN ACCORDANCE WITH THE MINNESOTA RESIDENTIAL CODE. HOWEVER, THE ARCHITECT ASSUMES NO LIABILITY FOR ANY ERRORS OR OMISSIONS IN THESE PLANS. THE HOMEOWNER SHOULD REVIEW THESE PLANS TO MAKE SURE THEY ACCURATELY REPRESENT THE HOMEOWNER'S REQUIREMENTS. THE ARCHITECT'S RESPONSIBILITY IS LIMITED TO THE DESIGN OF THE HOME AS SHOWN ON THESE PLANS. THE ARCHITECT IS NOT RESPONSIBLE FOR ERRORS AND OMISSIONS ON THESE PLANS.

Distinctive Drafting and Design, LLC
2111 HERTZMAN, MN 55995
OFFICE - 503.344.3859 DIRECT - 320.493.8178 FAX - 763.175.0232
www.distinctivedrafting.com

PROJECT: ST. HENRY (ST. HENRY)
14-180 (ST. HENRY)
ELEVATION "A"
REVISED AS OF:
6/27/2015

DRAWN BY:
NICOLE ELLIOTT
APPROVED BY:

SHEET
11 OF 8

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NO UNAUTHORIZED REPRODUCTION
WITHOUT WRITTEN CONSENT
(CONTACT 763-193-6176)

NEW HOME BY: FEDDER HOMES

ST. HENRY (ELEVATION "B")

1,386 FINISHED SQ. FT.
1,970 FINISHABLE

HOME TO BE BUILT TO THE NEW 2012 IRC AS MODIFIED BY THE STATE OF MINNESOTA IN THE 2015 MINNESOTA RESIDENTIAL CODE. IT IS THE RESPONSIBILITY OF ALL SUBCONTRACTORS & SUPPLIERS TO MEET MINIMUM CODE REQUIREMENTS

1'-0" OVERHANGS @ EAVES
1'-0" OVERHANGS @ GABLE ENDS
(UNLESS NOTED OTHERWISE)

ARCHITECTURAL ASPH SHINGLES
ALUMINUM SOFFIT & FASCIA

VINYL SHAKES PER ELEVATION

VINYL LAP SIDING

STONE PER ELEVATION
(VERIFY BRAND & COLOR)

DUE TO VARIOUS SITE CONDITIONS OF INDIVIDUAL LOTS, THE GRADE LINES REPRESENTED BY THIS PRINT ARE FOR ILLUSTRATIVE PURPOSES ONLY. THEY DO NOT REFLECT ACTUAL FINISHED GRADE

INSTALL HOUSE NUMBERS:
4" MINIMUM, VISIBLE FROM STREET

Post Address Card:
On Site, Visible from Street,
Maintain Until House
Numbers are Installed



1 FRONT ELEVATION "B"

A2 SCALE: 1/4" = 1'-0"
FINISHED SQ. FT. - 1
(NOTE: SQ. FT. IS MEASURED FROM EXT. OF SHEATHING)
03:17 PM
Wednesday, June 03, 2015

GARAGE DOOR STYLE PER CUSTOMER/BUILDER

FLASHING NOTE:
ALL OPENINGS TO EXTERIOR MUST BE CAULKED & FLASHED.
FLASHING IS REQUIRED WHERE ALL ROOF & VERTICAL SURFACES MEET, OR WHERE SIDING MATERIAL CHANGES

Notice:
This Building Must Not Be Occupied Until a Certificate of Occupancy Has Been Issued.

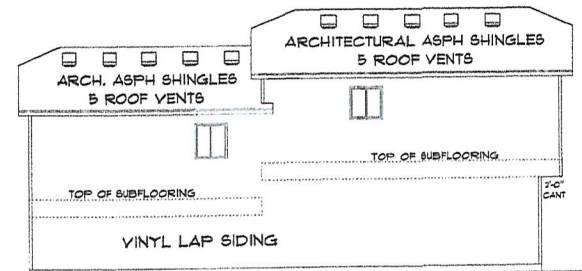
Final Building, Plumbing and Heating Inspections Must be Complete Prior to Occupancy. Owner or Contractor Must be Present for Final Building Inspection.

ALL JOB DEBRIS MUST BE CONTAINED ON-SITE AND IN A DUMPSTER OR COVERED, FENCED AREA

Building Official Review and Authorization Required Prior to Changes, Modifications, or Alterations

EROSION CONTROLS REQUIRED
Install erosion controls per proposed survey prior to foundation inspection. Rock construction entrance and site perimeter controls such as silt fences are required. Maintain erosion controls until landscaping is completed.

WARNING:
CALL BEFORE YOU DIG! Gopher State One call 651-434-0002

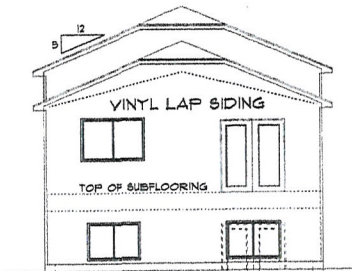


2 LEFT ELEVATION

DASHED LINES REPRESENT WALK-OUT FOUNDATION OPTION

A2 SCALE: 1/8" = 1'-0"

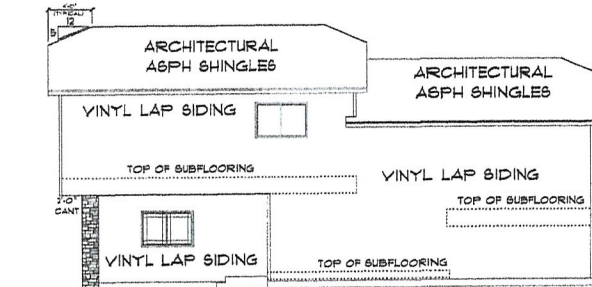
ATTIC VENTILATION:
NET FREE AREA TO BE EQUAL TO 1/30TH OF THE ATTIC AREA OR 1/30TH OF ATTIC AREA PROVIDED WITH AT LEAST 80% IN THE UPPER PORTION OF ROOF WITH THE BALANCE IN VENTED SOFFIT



3 REAR ELEVATION

DASHED LINES REPRESENT WALK-OUT FOUNDATION OPTION

A2 SCALE: 1/8" = 1'-0"



4 RIGHT ELEVATION

DASHED LINES REPRESENT WALK-OUT FOUNDATION OPTION

A2 SCALE: 1/8" = 1'-0"

WAIVER

EVERY EFFORT HAS BEEN MADE TO MAKE SURE THESE PLANS ARE CORRECT IN EVERY WAY. BUILDER, GENERAL CONTRACTORS, & HOMEOWNER SHOULD REVIEW THESE PLANS TO MAKE SURE ALL NOTES, DIMENSIONS, ERRORS AND OMISSIONS ARE CORRECT BEFORE CONSTRUCTION STARTS. BUILDER, GENERAL CONTRACTORS, & HOMEOWNER TO VERIFY THESE MEETS ALL STATE AND LOCAL BUILDING CODES. DRAUGHTING AND DESIGN, LLC IS NOT RESPONSIBLE FOR ERRORS AND OMISSIONS ON THESE PLANS.

Distinctive Drafting and Design, LLC
ZIMMERMAN, MN 55398
PHONE: 763-344-3550 DIRECT: 763-400-8979 FAX: 763-729-1297
EMAIL: distinctive@distinctivedesign.com

PROJECT: 14-180 (ST. HENRY) ELEVATION "B"
REVISED AS OF: 6/2/2015

DRAWN BY: NICOLE ELLIOTT
APPROVED BY:

SHEET A2 OF 8

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WITHOUT WRITTEN CONSENT
(CONTACT 763-753-6716)

NEW HOME BY: FEDDER HOMES

ST. HENRY (ELEVATION "C")

1,386 FINISHED SQ. FT.
1,970 FINISHABLE

HOME TO BE BUILT TO THE NEW 2012 IRC
AS MODIFIED BY THE STATE OF MINNESOTA
IN THE 2015 MINNESOTA RESIDENTIAL CODE.
IT IS THE RESPONSIBILITY OF ALL
SUBCONTRACTORS & SUPPLIERS TO MEET
MINIMUM CODE REQUIREMENTS

1'-0" OVERHANGS @ EAVES
1'-0" OVERHANGS @ GABLE ENDS
(UNLESS NOTED OTHERWISE)

ARCHITECTURAL ASPH SHINGLES
ALUMINUM SOFFIT & FASCIA

VINYL SHAKES PER ELEVATION

VINYL LAP SIDING

STONE PER ELEVATION
(VERIFY BRAND & COLOR)

DUE TO VARIOUS SITE CONDITIONS
OF INDIVIDUAL LOTS, THE GRADE LINES
REPRESENTED BY THIS PRINT ARE FOR
ILLUSTRATIVE PURPOSES ONLY. THEY DO NOT
REFLECT ACTUAL FINISHED GRADE

INSTALL HOUSE NUMBERS:
4" MINIMUM, VISIBLE FROM STREET

Post Address Card:
On Site, Visible from the Street,
Maintain Until House
Numbers are Installed



1 FRONT ELEVATION "C"
SCALE: 1/4" = 1'-0"
FINISHED SQ. FT. -
(NOTE: SQ. FT. IS MEASURED FROM EXT. OF SHEATHING)
03:17 PM
Wednesday, June 03, 2015

FLASHING NOTE:
ALL OPENINGS TO EXTERIOR MUST
BE CAULKED & FLASHED
FLASHING IS REQUIRED WHERE ALL
ROOF & VERTICAL SURFACES MEET,
OR WHERE SIDING MATERIAL CHANGES

Notice:
This Building Must Not Be Occupied
Until a Certificate of Occupancy
Has Been Issued.

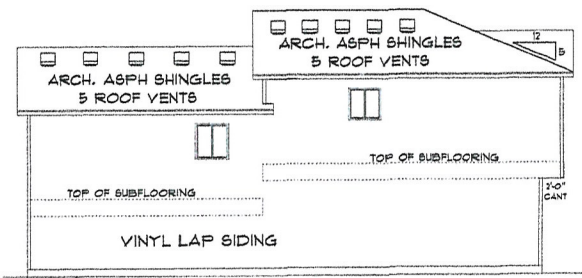
Final Building, Plumbing and Heating Inspections
Must be complete Prior to Occupancy.
Owner or Contractor Must be Present
for Final Building Inspection.

ALL JOB DEBRIS MUST BE CONTAINED ON-SITE AND IN A
DUMPSTER OR COVERED, FENCED AREA

Building Official Review and Authorization Required Prior To
Changes, Modifications, or Alterations

EROSION CONTROLS REQUIRED
Install erosion controls per proposed survey prior to foundation
inspection. Rock construction entrance and site perimeter
controls such as silt fences are required. Maintain erosion
controls until landscaping is complete.

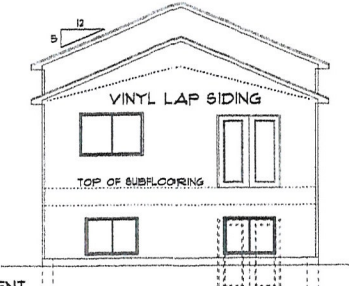
WARNING:
CALL BEFORE YOU DIG! Geopier State One call
651-494-0002



2 LEFT ELEVATION
SCALE: 1/8" = 1'-0"

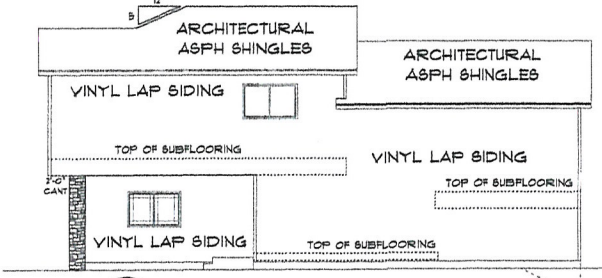
DASHED LINES REPRESENT
WALK-OUT FOUNDATION OPTION

ATTIC VENTILATION:
NET FREE AREA TO BE EQUAL
TO 1/60TH OF THE ATTIC AREA
OR 1/300TH OF ATTIC AREA,
PROVIDED WITH AT LEAST 50%
IN THE UPPER PORTION OF ROOF
WITH THE BALANCE IN VENTED SOFFIT



3 REAR ELEVATION
SCALE: 1/8" = 1'-0"

DASHED LINES REPRESENT
WALK-OUT FOUNDATION OPTION



4 RIGHT ELEVATION
SCALE: 1/8" = 1'-0"

DASHED LINES REPRESENT
WALK-OUT FOUNDATION OPTION

ZIMMERMAN, MN 55398
 OFFICE - 763.344.3558 DIRECT - 763.423.8178 FAX - 763.778.0032
 BUILDING@zimmert.com
 APPROVED BY: ELLIOTT
 SHEET OF 8
 6/17/15

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WITHOUT WRITTEN CONSENT
(CONTACT 763-193-6176)

NEW HOME BY: FEDDER HOMES

ST. HENRY (ELEVATION "D")

1,386 FINISHED SQ. FT.
1,970 FINISHABLE

HOME TO BE BUILT TO THE NEW 2012 IRC AS MODIFIED BY THE STATE OF MINNESOTA IN THE 2015 MINNESOTA RESIDENTIAL CODE. IT IS THE RESPONSIBILITY OF ALL SUBCONTRACTORS & SUPPLIERS TO MEET MINIMUM CODE REQUIREMENTS

1'-0" OVERHANGS @ EAVES
1'-0" OVERHANGS @ GABLE ENDS
(UNLESS NOTED OTHERWISE)

ARCHITECTURAL ASPH SHINGLES
ALUMINUM SOFFIT & FASCIA

VINYL SHAKES PER ELEVATION

BOARD & BATON PER ELEVATION

VINYL LAP SIDING

STONE PER ELEVATION
(VERIFY BRAND & COLOR)

DUE TO VARIOUS SITE CONDITIONS OF INDIVIDUAL LOTS, THE GRADE LINES REPRESENTED BY THIS PRINT ARE FOR ILLUSTRATIVE PURPOSES ONLY. THEY DO NOT REFLECT ACTUAL FINISHED GRADE

INSTALL HOUSE NUMBERS:
4" MINIMUM, VISIBLE FROM STREET

Post Address Card:
On Site, Visible from the Street,
Maintain Until House
Numbers are Installed



1 FRONT ELEVATION "D"
A4 SCALE: 1/4" = 1'-0"
FINISHED SQ. FT. -
(NOTE: SQ. FT. IS MEASURED FROM EXT. OF SHEATHING)
03:18 PM
Wednesday, June 03, 2015

FLASHING NOTE:
ALL OPENINGS TO EXTERIOR MUST BE CAULKED & FLASHED
FLASHING IS REQUIRED WHERE ALL ROOF & VERTICAL SURFACES MEET, OR WHERE SIDING MATERIAL CHANGES

Notice:
This Building Must Not Be Occupied Until a Certificate of Occupancy Has Been Issued.

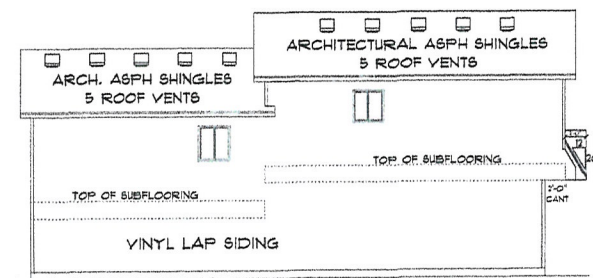
Final Building Plumbing and heating Inspections: Must be complete Prior to Occupancy. Owner or Contractor Must be Present for Final Building Inspection.

ALL JOB DEBRIS MUST BE CONTAINED ON-SITE AND IN A DUMPSTER OR COVERED, FENCED AREA

Building Official Review and Authorization Required Prior To Changes, Modifications, or Alterations

EROSION CONTROLS REQUIRED
Install erosion controls per proposed survey prior to foundation inspection. Rock construction entrance and site perimeter controls such as silt fence are required. Maintain erosion controls until landscaping is completed.

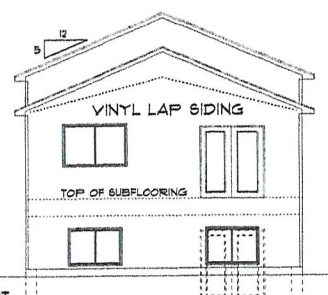
WARNING:
CALL BEFORE YOU DIG! Gopher State One call 651-454-0002



2 LEFT ELEVATION
A4 SCALE: 1/8" = 1'-0"

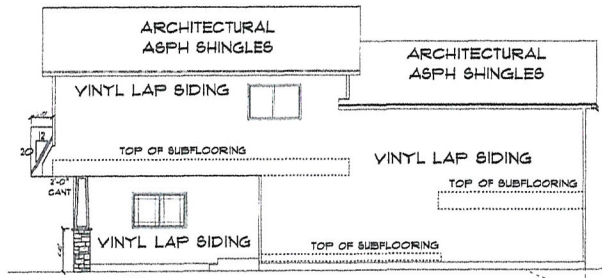
DASHED LINES REPRESENT WALK-OUT FOUNDATION OPTION

ATTIC VENTILATION:
NET FREE AREA TO BE EQUAL TO 1/60TH OF THE ATTIC AREA OR 1/300TH OF ATTIC AREA PROVIDED WITH AT LEAST SON IN THE UPPER PORTION OF ROOF WITH THE BALANCE IN VENTED SOFFIT



3 REAR ELEVATION
A4 SCALE: 1/8" = 1'-0"

DASHED LINES REPRESENT WALK-OUT FOUNDATION OPTION



4 RIGHT ELEVATION
A4 SCALE: 1/8" = 1'-0"

DASHED LINES REPRESENT WALK-OUT FOUNDATION OPTION

PROJECT: ST. HENRY, MN 55375
 ELEVATION "D"
 APPROVED BY: ELLIOTT
 6/21/2015
 ZIMMERMAN ARCHITECTS
 OFFICE - 651.244.0300
 1100 W. WASHINGTON AVE. SUITE 100
 MINNEAPOLIS, MN 55415
 FAX - 651.275.1033
 WWW.ZIMMERMAN-ARCHITECTS.COM

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(CONTACT 651-793-6116)

WAIVER

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 2117 HERMAN, MN 55998
 OFFICE - 763.344.3999 DIRECT - 320.453.8778 FAX - 763.778.6232
 www.DistinctiveDrafting.com

PROJECT # 14-190 (ST. HENRY)
 DESIGNED BY NICOLLE ELLIOTT
 APPROVED BY [Signature]

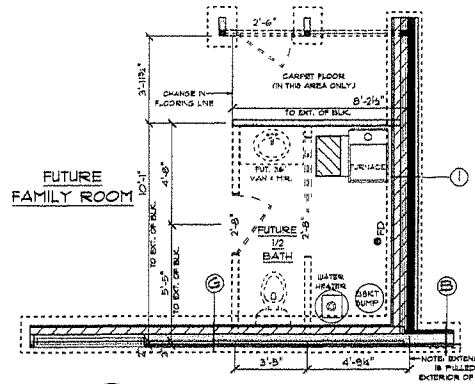
SHEET 45 OF 8

GENERAL CONSTRUCTION NOTES:

- SOLID SHADED AREAS REP. SOLID BEARING DOWN TO CONC.
- INTERIOR BEARING WALLS HAVE BLOCKING @ MIDPOINT
- CONCRETE CONTRACTOR TO INSTALL REBAR IN FOUNDATION WALLS & FOOTINGS AS NEEDED PER CODE
- 1" SHEETROCK ON UNDERSIDE OF FLOOR TRUSSES TO MEET FIRE PROTECTION OF FLOORS CODE
- USING SIMPLIFIED WALL BRACING ON ALL HOUSE WALLS (UNLESS NOTED OTHERWISE)

NOTE... ALL WINDOWS & PATIO DOORS SPECIFIED ON THIS PRINT ARE: BIMONTON (WINDOWS TO MEET FALL PROTECTION REQUIREMENTS)

ALL BEAMS & HEADERS ON THIS PLAN ARE Weyerhaeuser Truss Joist Engineered Wood Products IF DIFFERENT BRAND IS USED, VERIFY SIZE & DEPTH PRIOR TO CONST. TRUSS MANUFACTURER TO VERIFY THAT ALL BEAMS AND HEADERS WILL SUPPORT ROOF AND FLOOR TRUSS LOADS PRIOR TO CONSTRUCTION



2 OPTIONAL BATH LAYOUT
 AS SCALE: 1/4" = 1'-0"

- A 2x6 STUDS @ 16" O.C.
1 CRBE 6" CONC. BLK
4 CRBE 1 1/2" CONC. BLK
(4" EXT. 4 1/2" INT. LEDGES)
ON 16"x8" CONC. FTG
- B 2x6 STUDS @ 16" O.C.
1 CRBE 6" CONC. BLK
4 CRBE 1 1/2" CONC. BLK
ON 16"x8" CONC. FTG
- C 2x6 STUDS @ 16" O.C.
1 CRBE 6" CONC. BLK
4 CRBE 1 1/2" CONC. BLK
ON 20" x 8" CONC. FTG
- D 2x6 STUDS @ 16" O.C.
1 CRBE 6" CONC. BLK
2x8 PRESSURE TREATED BILL PLATE
1 CRBE 6" CONC. BLK
4 CRBE 1 1/2" CONC. BLK
ON 20" x 8" CONC. FTG
- E 2x6 STUDS @ 16" O.C.
1 CRBE 6" CONC. BLK
ON 16" x 8" CONC. FTG
(CONG. STOP ABOVE)
- F 2x4 STUDS @ 16" O.C.
1 CRBE 4" CURB BLK
ON 16"x8" CONC. FTG
- G 2x6 STUDS @ 16" O.C.
5 CRBE 8" CONC. BLK
ON 20" x 8" CONC. FTG
- H 2x6 STUDS @ 16" O.C.
1 CRBE 6" CURB. BLK
5 CRBE 1 1/2" CONC. BLK
ON 20"x8" CONC. FTG
- I 2x6 STUDS @ 16" O.C.
1 CRBE 6" CONC. BLK
4 CRBE 1 1/2" CONC. BLK
ON 20" x 8" CONC. FTG
- J 2x6 STUDS @ 16" O.C.
1/4" TAG PLYWOOD SUBFLOOR
2x8 JST. @ 16" O.C.
2x8 PRESSURE TREATED BILL PLATE
3 CRBE 8" CONC. BLK
ON 20" x 8" CONC. FTG
- K 2x6 STUDS @ 16" O.C.
1/4" TAG PLYWOOD SUBFLOOR
2x8 JST. @ 16" O.C.
2x8 PRESSURE TREATED BILL PLATE
1 CRBE 8" CONC. BLK
ON 20" x 8" CONC. FTG

Property Owner/Applicant shall verify all existing private and public easements.

Building Official Review and Authorization Required Prior to Changes, Modifications, or Alterations

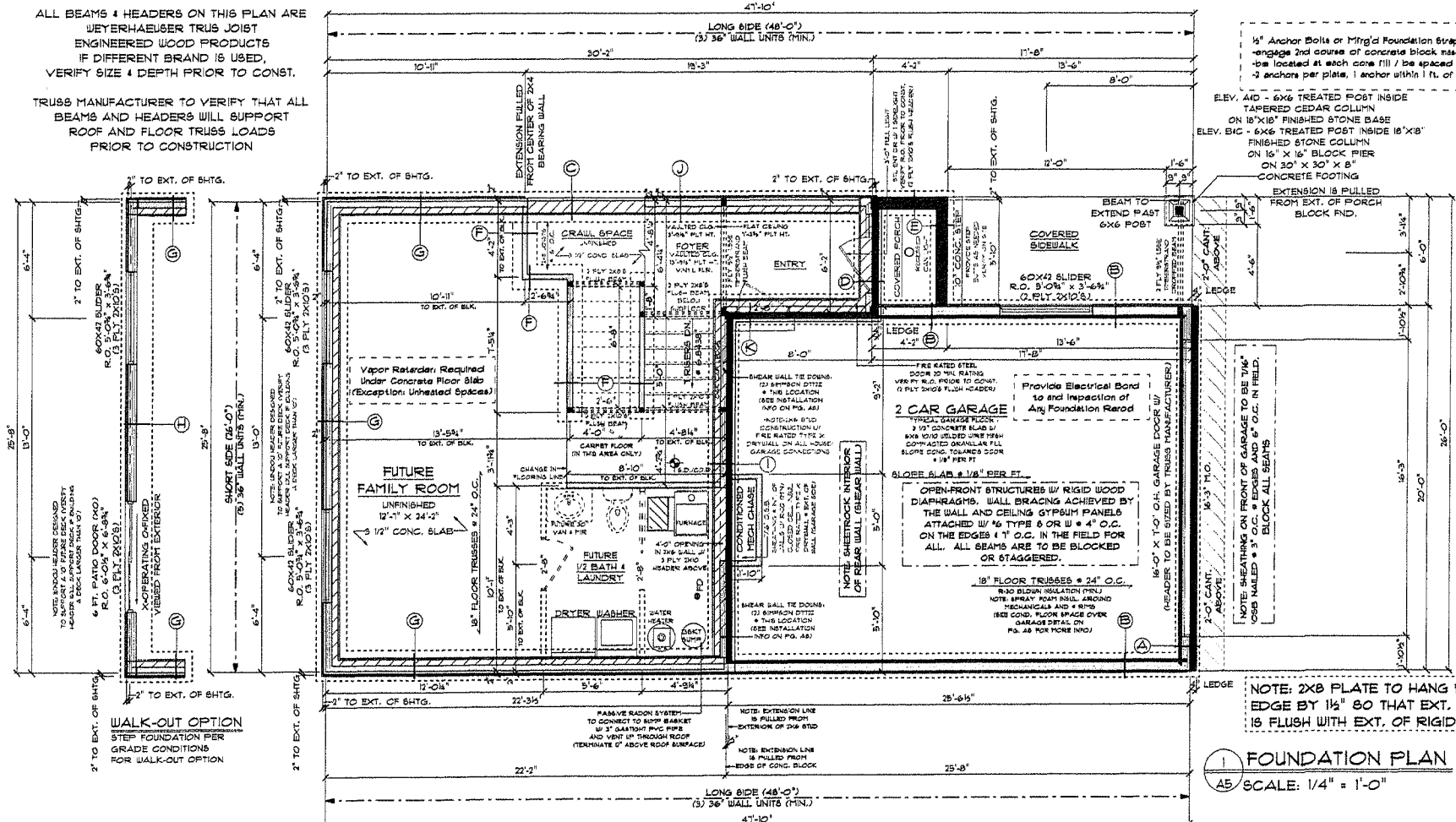
EROSION CONTROL REQUIRED
 Install erosion controls per proposed survey prior to foundation inspection. Rock construction entrance and site perimeter controls such as silt fence are required. Maintain erosion controls until landscaping is completed.

HOME TO BE BUILT TO THE NEW 2012 IRC AS REQUIRED BY THE STATE OF MINNESOTA IN THE 2018 MINNESOTA RESIDENTIAL CODE. IT IS THE RESPONSIBILITY OF ALL SUBCONTRACTORS & SUPPLIERS TO MEET MINIMUM CODE REQUIREMENTS

1/2" Anchor Bolts or Mfg'd Foundation Straps Must engage 2nd course of concrete block masonry. Be located at each core fill / be spaced 6ft. on center. 2 anchors per plate, 1 anchor within 1 ft. of each end.

ELEV. A/D - 6x6 TREATED POST INSIDE TAPERED CEDAR COLUMN ON 18"x18" FINISHED STONE BASE
 ELEV. B/C - 6x6 TREATED POST INSIDE 16"x18" FINISHED STONE COLUMN ON 16" x 16" BLOCK PIER ON 30" x 30" x 8" CONCRETE FOOTING

NOTE: FLOOR PLAN CONFIGURATION IS CUSTOM FOR FEEDER NOTES



60x42 SLIDER R.O. 5'-0" x 3'-6" (3 PLY 2X12S)

60x42 SLIDER R.O. 5'-0" x 3'-6" (3 PLY 2X12S)

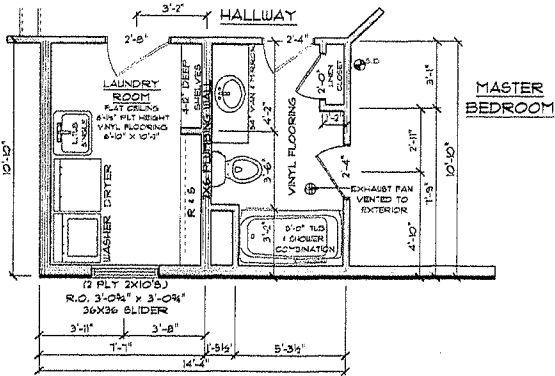
60x42 SLIDER R.O. 5'-0" x 3'-6" (3 PLY 2X12S)

NOTE: 2x8 PLATE TO HANG PAST FDN. EDGE BY 1/2" SO THAT EXT. OF SHEATHING IS FLUSH WITH EXT. OF RIGID INSULATION

1 FOUNDATION PLAN
 AS SCALE: 1/4" = 1'-0"

NOTE... ALL DIMENSIONING IS TO THE EXTERIOR OF THE BLOCK FOUNDATION (UNLESS NOTED OTHERWISE)

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 (CONTACT 763-793-6116)



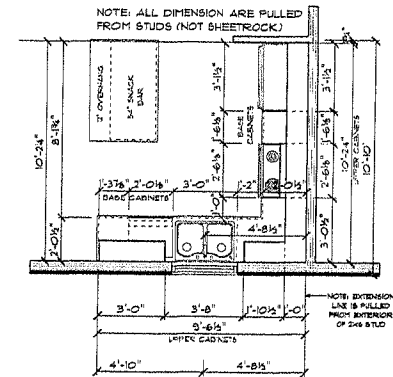
NOTE... ALL WINDOWS & PATIO DOORS SPECIFIED ON THIS PRINT ARE: SIMONTON (WINDOWS TO MEET FALL PROTECTION REQUIREMENTS)

ALL BEAMS & HEADERS ON THIS PLAN ARE WEYERHÄUSER TRUS JOIST ENGINEERED WOOD PRODUCTS IF DIFFERENT BRAND IS USED, VERIFY SIZE & DEPTH PRIOR TO CONST.

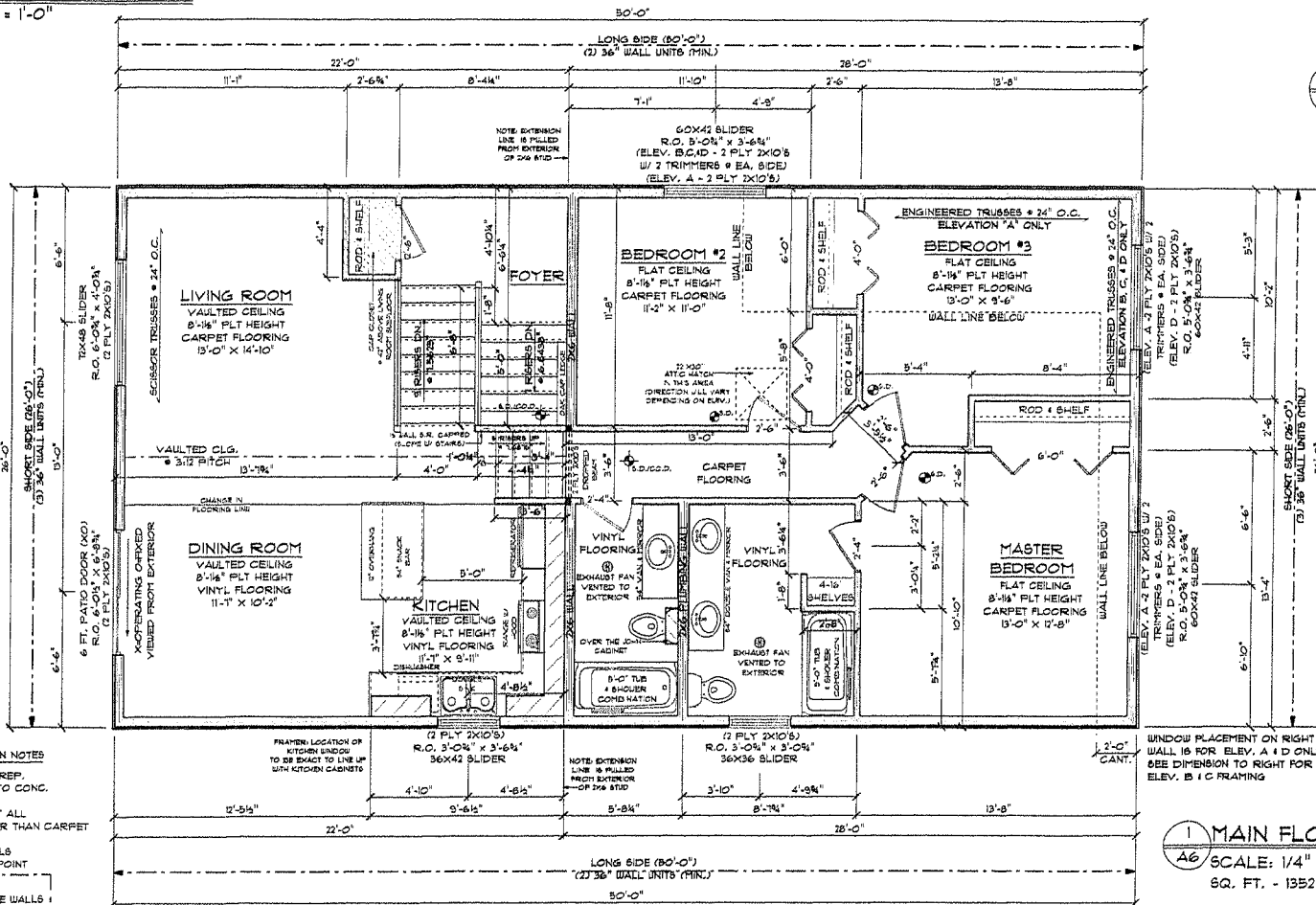
TRUSS MANUFACTURER TO VERIFY THAT ALL BEAMS & HEADERS WILL SUPPORT ROOF AND FLOOR TRUSS LOADS PRIOR TO CONSTRUCTION

HOME TO BE BUILT TO THE NEW 2012 IRC A6 MODIFIED BY THE STATE OF MINNESOTA IN THE 203 MINNESOTA RESIDENTIAL CODE. IT IS THE RESPONSIBILITY OF ALL SUBCONTRACTORS & SUPPLIERS TO MEET MINIMUM CODE REQUIREMENTS

Building Official Review and Authorization Required Prior to Changes, Modifications, or Alterations



WAIVER
 EVERY EFFORT HAS BEEN MADE TO MAKE SURE THESE PLANS ARE CORRECT IN EVERY WAY. BUILDER, GENERAL CONTRACTORS, HOMEOWNER SHOULD REVIEW THESE PLANS TO MAKE SURE ALL NOTES, DIMENSIONS, ERRORS AND OMISSIONS ARE CORRECT TO VERIFY THESE PLANS MEET ALL STATE AND LOCAL BUILDING CODES. CONTRACTORS, SUBCONTRACTORS, AND HOMEOWNERS WILL VERIFY THESE PLANS MEET ALL STATE AND LOCAL BUILDING CODES. DESIGNER WILL NOT BE RESPONSIBLE FOR ERRORS AND OMISSIONS ON THESE PLANS.



GENERAL CONSTRUCTION NOTES
 SOLID SHADED AREAS REP. SOLID BEARING DOWN TO CONC.
 O.S.B. SUBFLOORING AT ALL FLOORING AREAS OTHER THAN CARPET

INTERIOR BEARING WALLS HAVE BLOCKING @ MIDPOINT
 USING SIMPLIFIED WALL BRACING ON ALL HOUSE WALLS (UNLESS NOTED OTHERWISE)

NOTE... ALL DIMENSIONING IS TO THE EXTERIOR OF THE SHEATHING (UNLESS NOTED OTHERWISE)

WINDOW PLACEMENT ON RIGHT WALL IS FOR ELEV. A 1 D ONLY. SEE DIMENSION TO RIGHT FOR ELEV. B 1 C FRAMING

RIGHT WALL FRAMING FOR ELEV. B & C ONLY

NOTE: FLOOR PLAN CONFIGURATION IS CUSTOM FOR FEEDER HOMES

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 ZIMMERMAN, MN 55398
 OFFICE - 763.521.3243 DIRECT - 763.521.3245 FAX - 763.521.3237
 WWW.DISTINCTIVEDRAFTING.COM

PROJECT # 14-180 (ST. HENRY)
 DESIGNED BY: NICOLE ELLIOTT
 APPROVED BY: GIZARD

DESIGNED BY: NICOLE ELLIOTT
 APPROVED BY: GIZARD

SHEET A6 OF 8

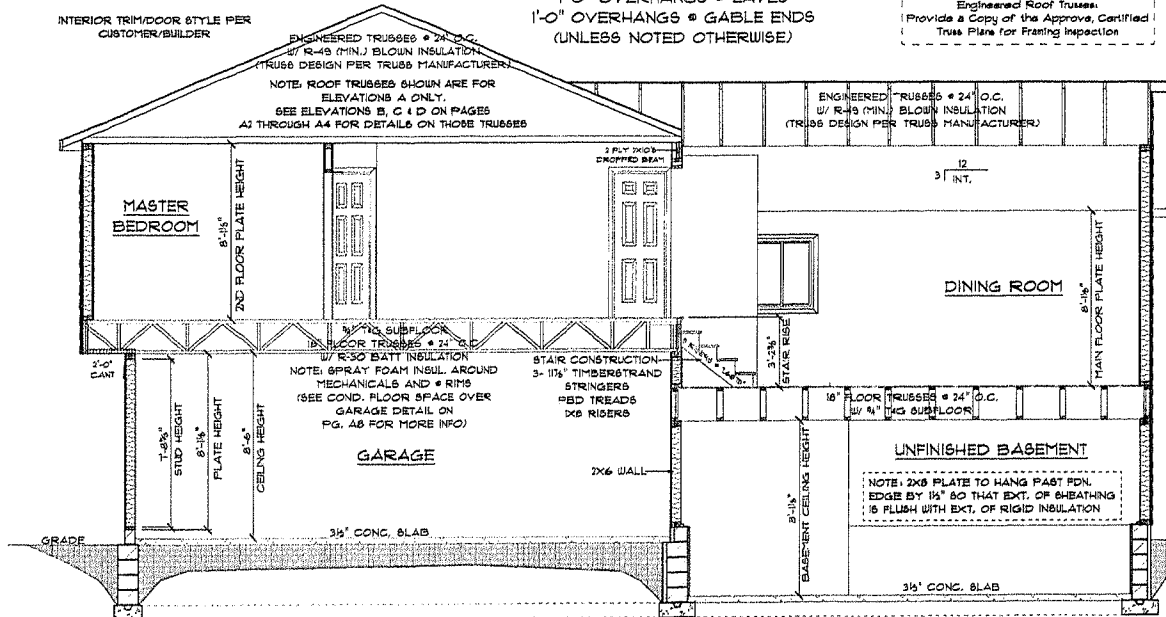
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INTERIOR TRIM/DOOR STYLE PER CUSTOMER/BUILDER

1'-0" OVERHANGS @ EAVES
1'-0" OVERHANGS @ GABLE ENDS
(UNLESS NOTED OTHERWISE)

Engineered Roof Trusses:
Provide a Copy of the Approve, Certified Truss Plans for Framing Inspection

HOME TO BE BUILT TO THE NEW 2012 IRC AS MODIFIED BY THE STATE OF MINNESOTA IN THE 2015 MINNESOTA RESIDENTIAL CODE. IT IS THE RESPONSIBILITY OF ALL SUBCONTRACTORS & SUPPLIERS TO MEET MINIMUM CODE REQUIREMENTS



ROOF CONSTRUCTION-
ARCHITECTURAL ASPH SHINGLES
15' ROOFING FELT
1/2" O.S.B.
ROOF VENTS TO CODE 1900
AIR CHUTES @ EA. TRUSS SPACE
2 ROWS ICE & WATER (UP EAVE)
PRE-ENGINEERED TRUSSES @ 24" O.C.
2x4 TRUSS BRACING
R-49 (MIN.) BLOWN INSULATION
4 MIL POLY V.B.
2x6 SUB FASCIA
ALUMINUM SOFFIT & FASCIA
80% OF VENTING PROVIDED BY SOFFIT

WALL CONSTRUCTION:
SIDING (SEE ELEVATIONS FOR TYPE)
1/8" O.S.B. SHEATHING
2x6 STUDS @ 16" O.C.
R-20 (MIN.) BATT INSULATION
4 MIL POLY V.B.
CLOSED CELL INSUL. @ R10 (R-20 MIN.)
(SEE RIM DETAILS FOR MORE INFO)

FOUNDATION CONSTRUCTION-
5 CRSE 8" CONC. BLK ON 20"x8" CONC. FTG
DRAIN TILE
WATERPROOFING
MIN 2" RIGID INSULATION
6 MIL POLY VAPOR BARRIER UNDER CONC SLAB (LAPPED 12" MIN. @ EDGES)

Seal all Penetrations Around Duct, Pipe and Wire Through All Top and Bottom Plates

Building Official Review and Authorization Required Prior To Changes, Modification, or Alterations

NOTE... ALL DIMENSIONS SPECIFIED ARE BASED OFF OF ACTUAL 8" CONC. BLK, IF NOMINAL BLOCK IS USED DIMENSIONS MAY VARY

1 CROSS SECTION
A1 SCALE: 1/4" = 1'-0"

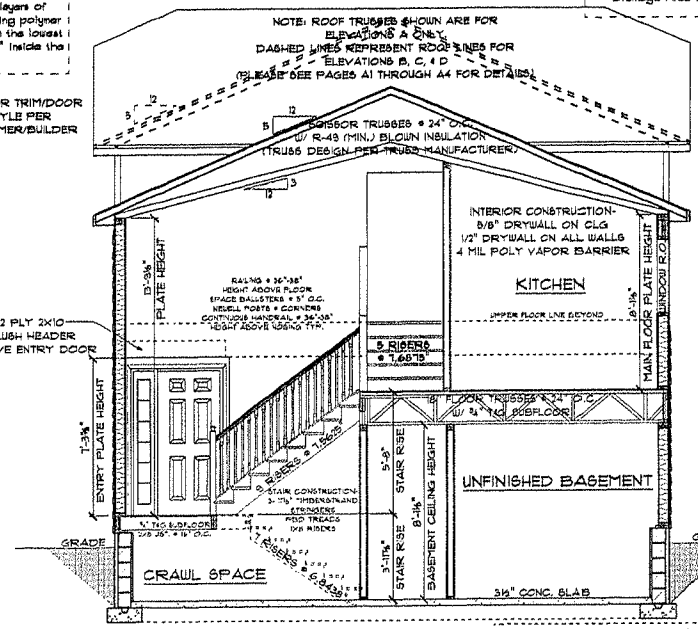
Vapor Retarder Required Under Concrete Floor Slab (Exception: Unheated Spaces)

Drain Tile to Sump Basket
Install Pump With Rigid Piping To House Exterior (Install Flexible Hose Connection Extending To Drainage Area Away From Foundation Wall)

ROOF UNDERLAYMENT REQUIRED:
Install an ice barrier that consists of at least two layers of underlayment cemented together or of a self-adhering polymer modified bitumen sheet (ice and water barrier), from the lowest edges of all roof surfaces to a point of at least 24" inside the exterior wall line of the building.

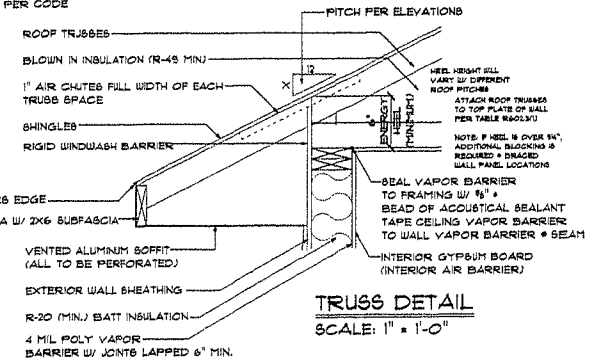
Mechanical Fan Ventilation Required!
Burr Fan shall Be Vented and Insulated to Building Exterior

INTERIOR TRIM/DOOR STYLE PER CUSTOMER/BUILDER



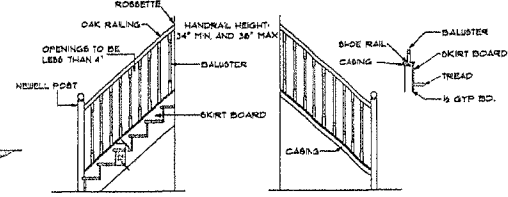
2 STAIR SECTION
A1 SCALE: 1/4" = 1'-0"

NOTE: 2x6 PLATE TO HANG PAST FDN. EDGE BY 1 1/2" SO THAT EXT. OF SHEATHING IS FLUSH WITH EXT. OF RIGID INSULATION



TRUSS DETAIL
SCALE: 1" = 1'-0"

NEVEL AND BALUSTERS TO CUSTOMER SPECS



STAIR DETAIL
SCALE: 1/4" = 1'-0"

TYPICAL STAIR DETAIL
SCALE: 1/2" = 1'-0"

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(CONTACT 763-793-6767)

WAIVER
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Distinctive Drafting and Design, LLC
2117 W. HENRY, MN 55988
OFFICE - 763.244.3559 DIRECT - 320.439.9778 FAX - 763.775.1032
www.distinctive-drafting.com

PROJECT BY
14-180 (ST. HENRY)
REVISED AS OF
6/7/2015

DESIGNED BY
NICOLE ELLIOTT
APPROVED BY

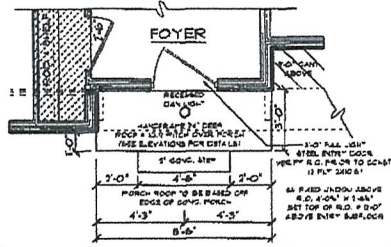
SHEET
A7 OF 8

NOTE:
THIS PLAN IS FOR CLIMATE ZONE 4
ALL SUBCONTRACTORS ARE RESPONSIBLE
FOR BUILDING THIS HOME TO THE 2012
IRC CODE AS MODIFIED BY
THE STATE OF MINNESOTA
IN THE 2015 MINNESOTA RESIDENTIAL CODE

GENERAL CONSTRUCTION NOTES
SOLID SHADED AREAS REF.
SOLID BEARING DOWN TO CONC.
O.S.B. SUBFLOORING AT ALL
FLOORING AREAS OTHER THAN CARPET
INTERIOR BEARING WALLS
HAVE BLOCKING @ MIDPOINT

PROVIDE BLOCKING IN FLOOR
TRUSS SPACE BELOW USING
1/4" O.S.B. SHEATHING

USING SIMPLIFIED WALL
BRACING ON ALL HOUSE WALLS



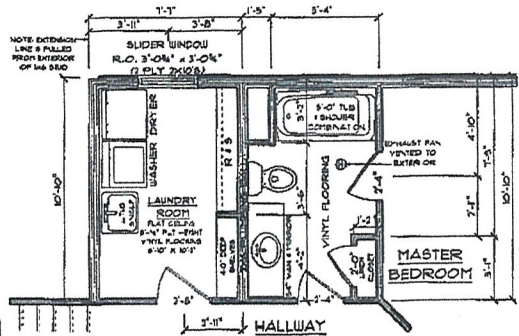
4 PORCH PLAN (PREMIUM ELEV.)
AS SCALE: 1/4" = 1'-0"

I hereby certify that this plan, specification,
or report was prepared by me or under my direct
supervision and that I am a duly Licensed
Professional Engineer under the laws of the State of Minnesota.

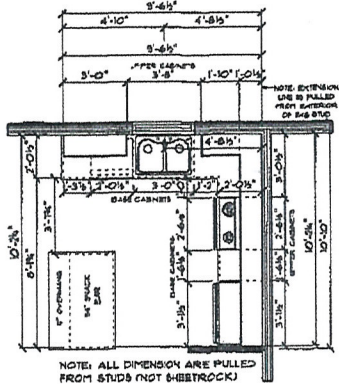
Douglas K. Whitney

Douglas K. Whitney, P.E.
Date: Mar. 3, 2015 Reg. No. 15910

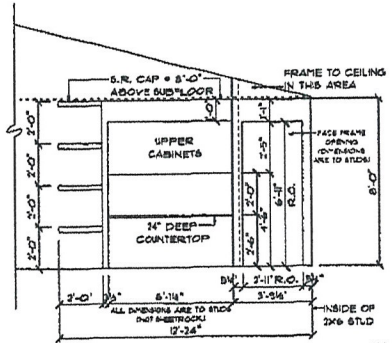
NOTE: USE THIS FLOOR PLAN FOR
STANDARD & PREMIUM ELEVATIONS ONLY



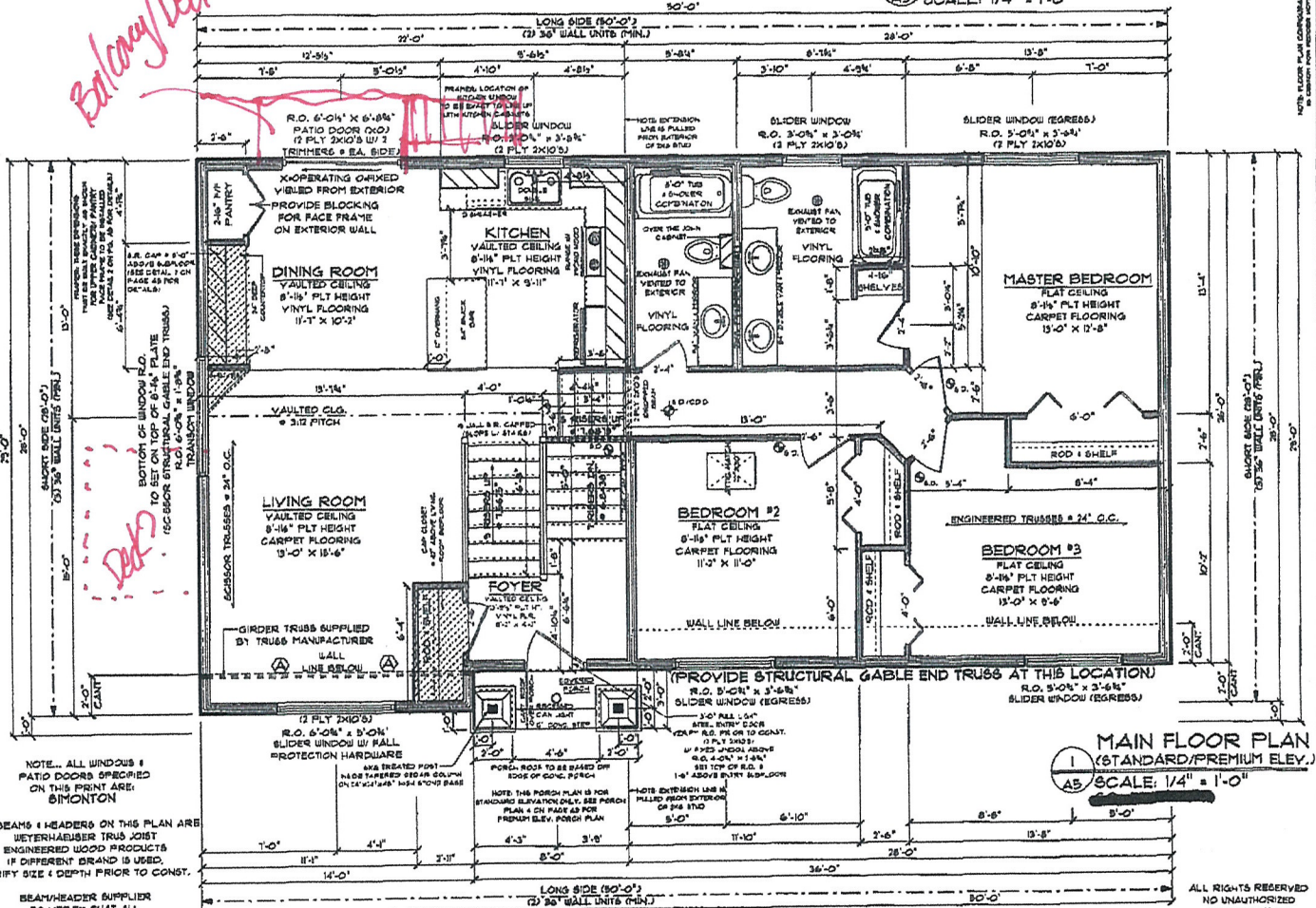
3 OPTIONAL BATH LAYOUT
AS SCALE: 1/4" = 1'-0"



5 KITCHEN PLAN
AS SCALE: 1/4" = 1'-0"



2 DINING BUILT-IN DETAIL
AS SCALE: 1/4" = 1'-0"



1 MAIN FLOOR PLAN
(STANDARD/PREMIUM ELEV.)
AS SCALE: 1/4" = 1'-0"

NOTE... ALL WINDOWS &
PATIO DOORS SPECIFIED
ON THIS PRINT ARE:
SIMONTON

ALL BEAMS & HEADERS ON THIS PLAN ARE
WEYERHAEUSER TRUS JOIST
ENGINEERED WOOD PRODUCTS
IF DIFFERENT BRAND IS USED,
VERIFY SIZE & DEPTH PRIOR TO CONST.

BEAM/HEADER SUPPLIER
TO VERIFY THAT ALL
BEAMS AND HEADERS WILL SUPPORT
ROOF AND FLOOR TRUSS LOADS
PRIOR TO CONSTRUCTION

NOTE... ALL DIMENSIONING IS TO THE EXTERIOR OF THE
SHEATHING (UNLESS NOTED OTHERWISE)

3 CAR ALT. HICKORY

WAIVER

EVERY EFFORT HAS BEEN MADE TO MAKE THESE PLANS AS CORRECT IN
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PROJECT:
12-116 (HICKORY)
STANDARD/PREMIUM ELEV.
REVISED AS OF:
5/12/2015

DRAWN BY:
NICOLE
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APPROVED BY:

SHEET
A3 OF 9

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Color Range Only
PARKSIDE NORTH
3rd Addition Example Front A



ALTERNATIVE FRONT 'B'

PARKSIDE NORTH
Color Range Only



FRONT ALT 'C'

3rd Addition. VILLA/DTH.