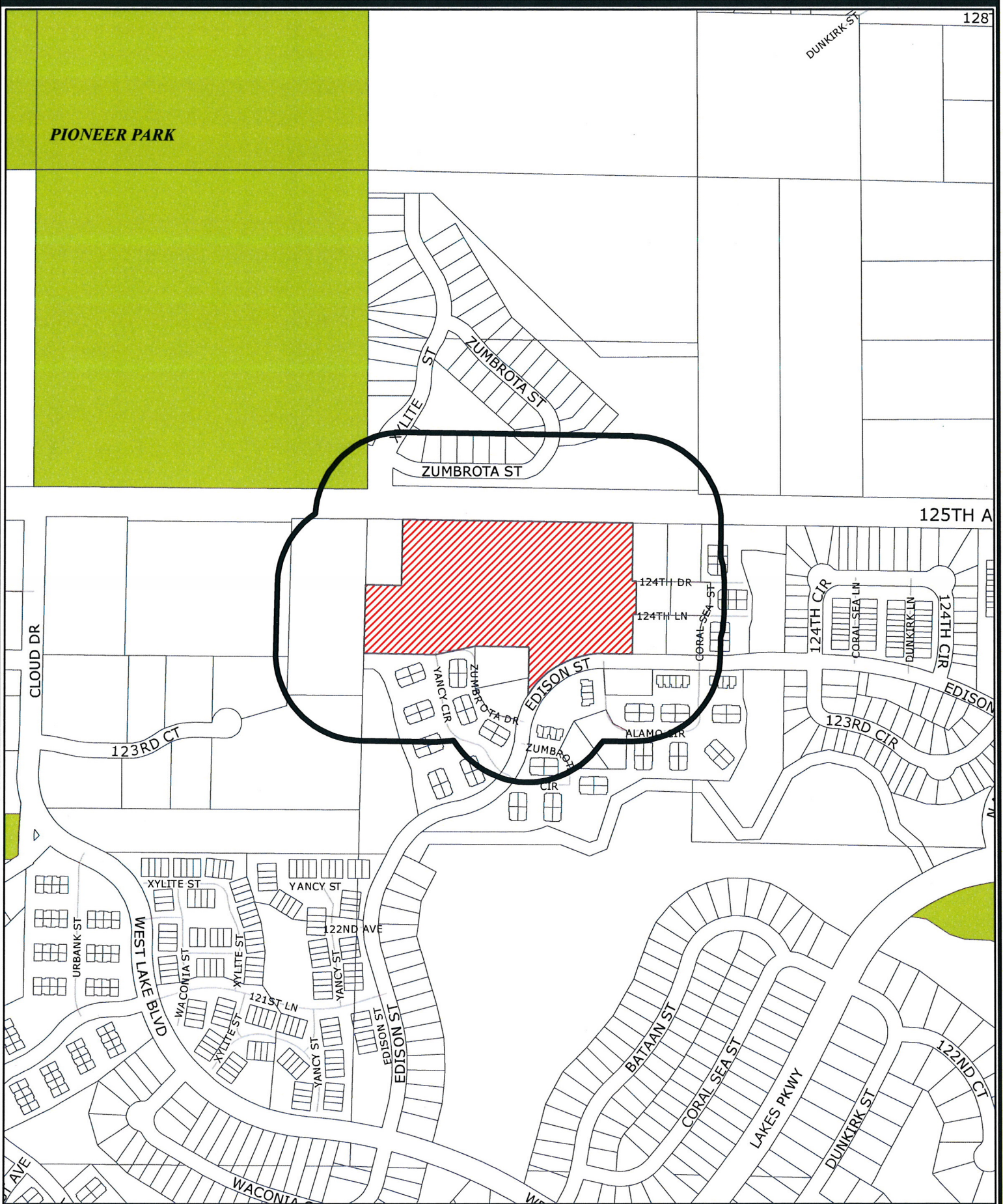


PIONEER PARK



Case File No. 12-0007

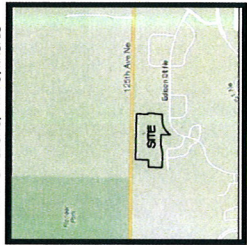


# PRELIMINARY PLAT

of CHAIN OF LAKES  
 The Presbytery of the Twin Cities Area  
 122 West Franklin Ave. Suite 508  
 Minneapolis, MN 55404

## VICINITY MAP

PART OF SEC. 10, TWP. 3N, RING. 23



ANKA COUNTY, MINNESOTA  
 AND SCALES

## PROPERTY DESCRIPTION

OUTLOT A, THE LAKES OF MADISON FORTIETH ADDITION, Anoka County, Minnesota

## LEGEND

- DENOTES IRON MONUMENT FOUND AS LABELED
- DENOTES CATCH BASIN
- DENOTES STORM SEWER MANHOLE
- DENOTES SANITARY SEWER MANHOLE
- DENOTES GATE VALVE
- DENOTES CONTROL VALVE
- DENOTES POWER POLE
- DENOTES EXISTING SPOT ELEVATION
- DENOTES SOIL
- DENOTES LIGHT POLE
- DENOTES TELEPHONE PEDestal
- DENOTES ELECTRICAL TRANSFORMER
- DENOTES STORM SEWER APRON
- DENOTES SANITARY SEWER SERVICE
- DENOTES EXISTING CONTOURS (1 FOOT INTERVAL)
- DENOTES EXISTING SANITARY SEWER
- DENOTES EXISTING WATER MAIN
- DENOTES EXISTING WATER MAIN
- DENOTES CONCRETE SURFACE
- DENOTES BITUMINOUS SURFACE
- DENOTES TREE LINE
- DENOTES BUILDING SETBACK LINE
- DENOTES PARKING SETBACK LINE

## DEVELOPMENT DATA

PLAT AREA = 538,840.14 sq. ft. (12.37 acres)  
 LOT 1 AREA = 373,806.1 sq. ft. (8.56 acres)  
 OUTLOT A AREA = 165,043.04 sq. ft. (3.79 acres)

## PROPERTY INFORMATION

EXISTING ZONING = DF (DEVELOPMENT FLEX)  
 BUILDING SETBACKS:  
 -75 FOOT FROM CSAH 14  
 -30 FOOT FROM MAIN STREET  
 -30 FOOT SIDE ADJACENT TO COMMERCIAL USES  
 -30 FOOT SIDE ADJACENT TO RESIDENTIAL USES  
 PARKING SETBACKS:  
 -30 FOOT FROM CSAH 14  
 -10 FOOT FROM EDSON STREET

I hereby certify that this survey, plan  
 or map was made by me or under  
 my direct supervision and that I am  
 a duly Registered Land Surveyor under  
 the laws of the State of Minnesota.

DANIEL W. OBERMILLER  
 License No. 25341  
 Date: 03/09/2012

## UTILITY / GRADING / ENCROACHMENT NOTES

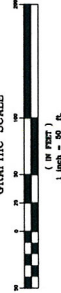
Underground utility locations are shown from  
 engineering records of the ADDRESS PARTNERS ADDITION by  
 Engineering dated 01/17/2008.  
 - - - - - Proposed private drives and building pads on sold  
 lots are shown for the proposed private drives and building pads on sold  
 lots. Existing private drives and utilities have been constructed as shown adjoining  
 the initial phase for the Townhome Development.

## BENCHMARK

GPS MARKER SET BY ENCROACHMENT at Harport Street and  
 Lakes Parkway, 1/2 inch iron pipe.  
 NAD 83  
 Easting = 519,250.384  
 Northing = 9002.25 (NAD 83 Datum)

MARK	NO.	DATE	DESCRIPTION	BY
1	1			
2	2			
3	3			

## GRAPHIC SCALE



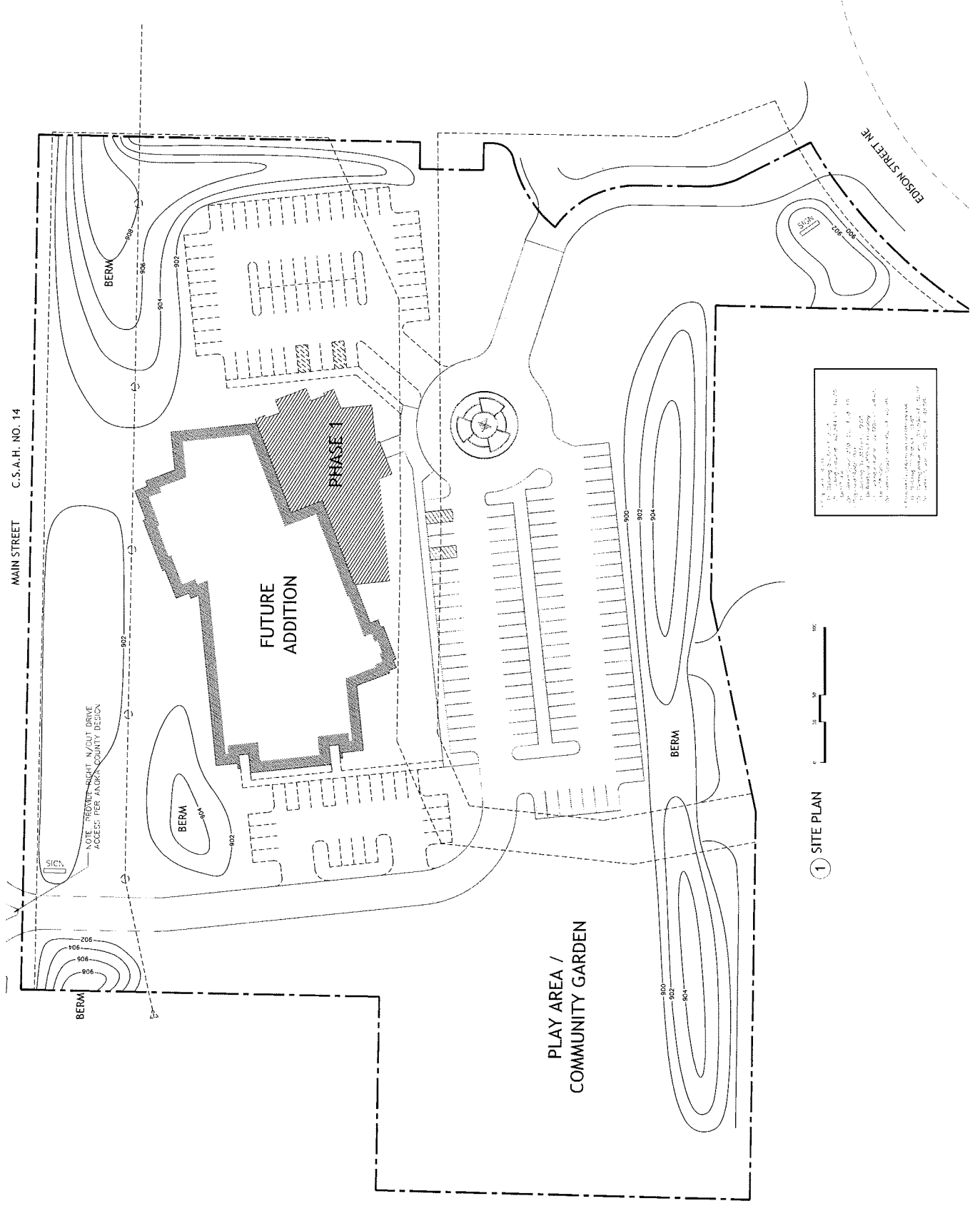


Blaine  
1175 West Lake Street  
Blaine, MN 55425  
Telephone: 612.424.4100  
Fax: 612.424.4101

CHAIN OF LAKES  
BLAINE, MN

NO.	REVISION	DATE

1  
SHEET 1 OF 2  
2/02/12  
JPJ | WAS



1. The information on this drawing is based on the following:  
 a. The information on this drawing is based on the following:  
 b. The information on this drawing is based on the following:  
 c. The information on this drawing is based on the following:  
 d. The information on this drawing is based on the following:  
 e. The information on this drawing is based on the following:  
 f. The information on this drawing is based on the following:  
 g. The information on this drawing is based on the following:  
 h. The information on this drawing is based on the following:  
 i. The information on this drawing is based on the following:  
 j. The information on this drawing is based on the following:  
 k. The information on this drawing is based on the following:  
 l. The information on this drawing is based on the following:  
 m. The information on this drawing is based on the following:  
 n. The information on this drawing is based on the following:  
 o. The information on this drawing is based on the following:  
 p. The information on this drawing is based on the following:  
 q. The information on this drawing is based on the following:  
 r. The information on this drawing is based on the following:  
 s. The information on this drawing is based on the following:  
 t. The information on this drawing is based on the following:  
 u. The information on this drawing is based on the following:  
 v. The information on this drawing is based on the following:  
 w. The information on this drawing is based on the following:  
 x. The information on this drawing is based on the following:  
 y. The information on this drawing is based on the following:  
 z. The information on this drawing is based on the following:

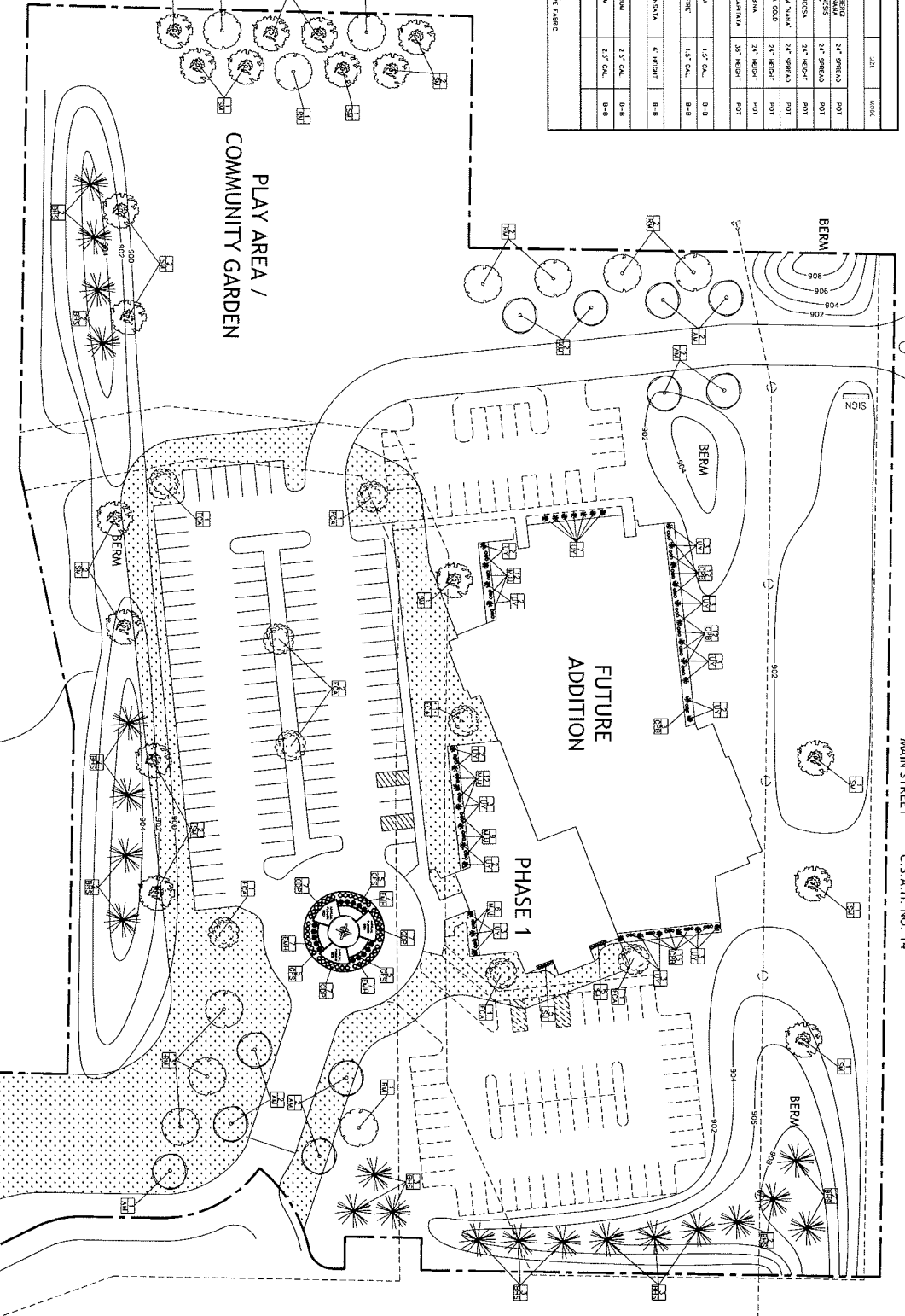
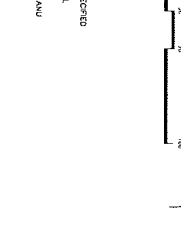
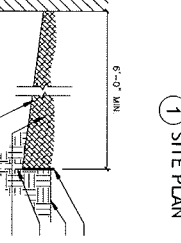
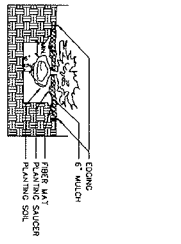
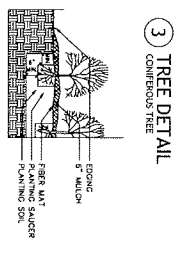
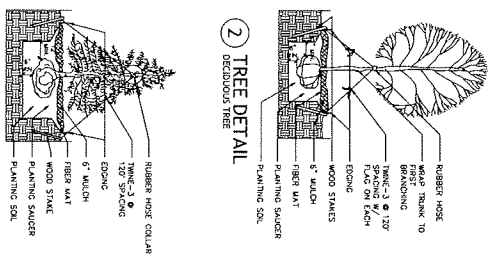
1 SITE PLAN



### PLANTING SCHEDULE

NO.	QUANTITY	NAME	LT/IN.	HLT.	NOTE
<b>SHRUBS</b>					
019	42	SHADON PINK BURNING	3/4"	3/4"	3/4"
020	36	WINE RED JASMINE	3/4"	3/4"	3/4"
021	21	COLDEN RED POTENTILLA	3/4"	3/4"	3/4"
022	21	LONGICOLOR MOON	3/4"	3/4"	3/4"
023	12	OLD FASHIONED	3/4"	3/4"	3/4"
024	10	SWAN JASMINE	3/4"	3/4"	3/4"
025	36	UPRIGHT YEW	3/4"	3/4"	3/4"
<b>ORNAMENTALS</b>					
026	11	MAIR WIRE	1.5"	1.5"	1.5"
027	8	TORONTO DOW SPICE	1.5"	1.5"	1.5"
028	21	BLACK HILLS SPURGE	6"	6"	6"
029	10	SUNNY WARE	3.5"	3.5"	3.5"
030	11	RED WARE	2.2"	2.2"	2.2"

**NOTES:**  
 1. ALL PLANT SPECIES TO BE PLANTED MUST BE TO BE APPROVED BY THE CITY OF BLAINE.  
 2. ALL PLANTING SHALL BE IN ACCORDANCE WITH THE CITY OF BLAINE PLANTING SPECIFICATIONS.



  
 BVA  
 BVA CONSULTANTS, INC.  
 1117 N. LAKE AVENUE  
 BLAINE, MN 55420  
 TEL: 763.835.1111  
 FAX: 763.835.1112

**CHAIN OF LAKES**  
 BLAINE, MN

NO.	REVISION	DATE

**L1**  
 SHEET 1 OF 1  
 2/29/12  
 JPL | WAS

**4 SHRUB DETAIL**  
 DECIDUOUS SHRUB

**5 SHRUB DETAIL**  
 CONIFEROUS SHRUB

**6 ROCK SURROUND DETAIL**

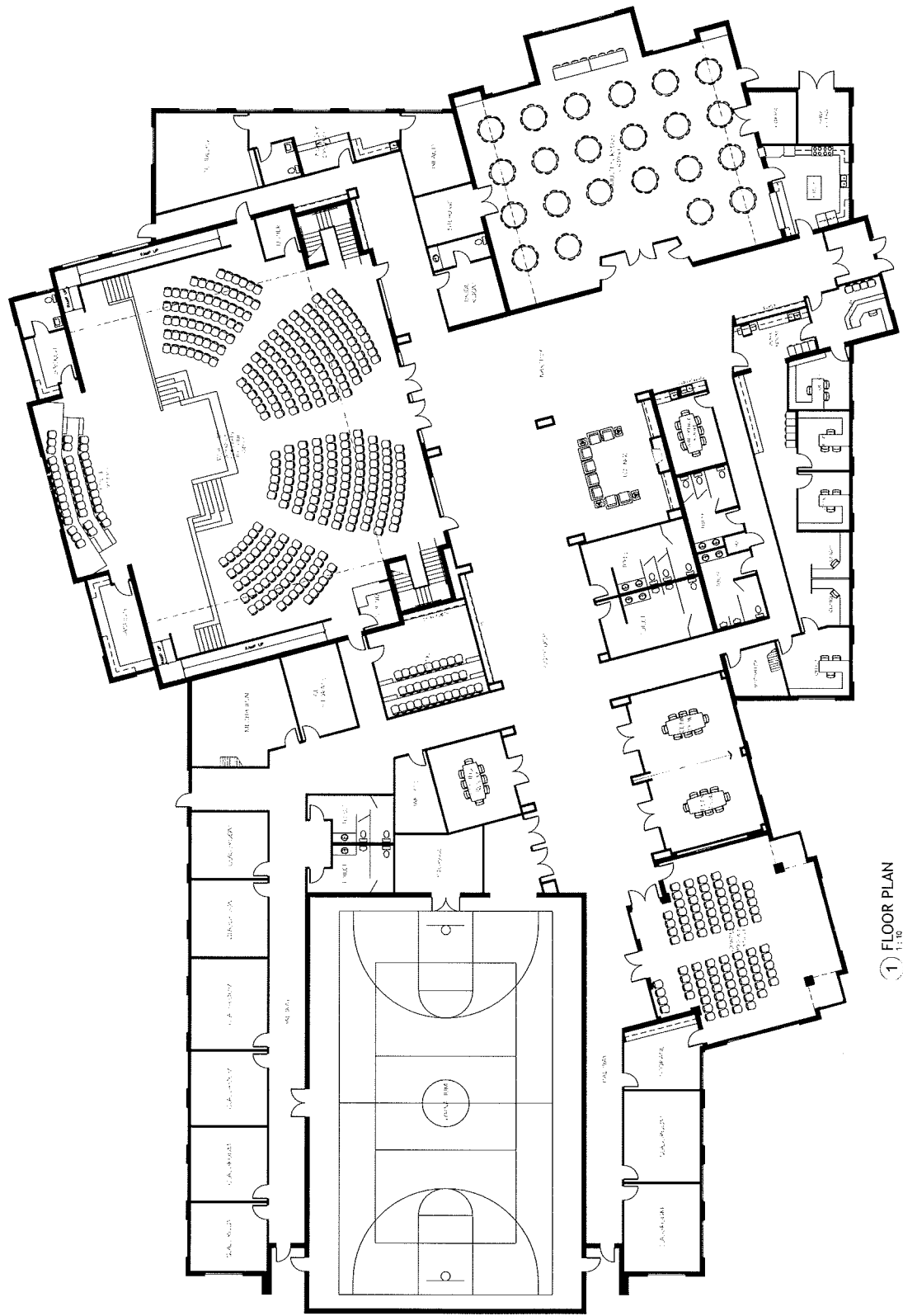
MAIN STREET  
 C.S.A.H. NO. 14

EDISON STREET NE

NO.	REVISION	DATE

2  
 SHEET 2 OF 2  
 12/29/11

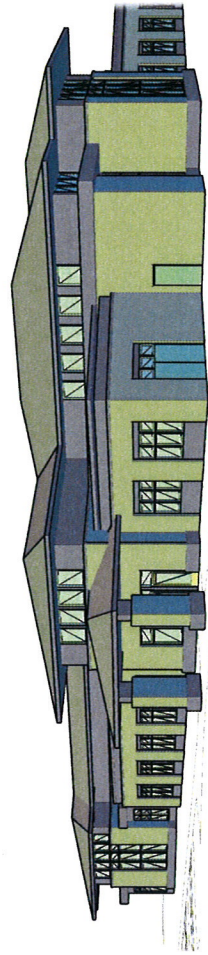
J.P.J. | WAS



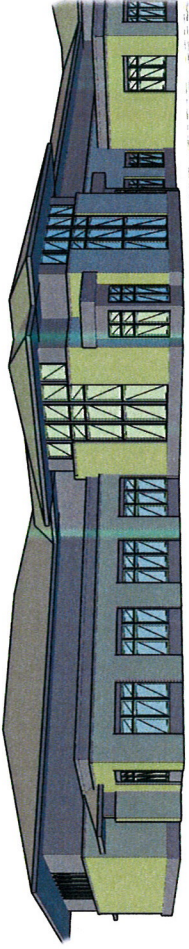
1 FLOOR PLAN  
 1/16

ALL DIMENSIONS TO FACE  
 FINISH LEVEL  
 UNLESS NOTED OTHERWISE

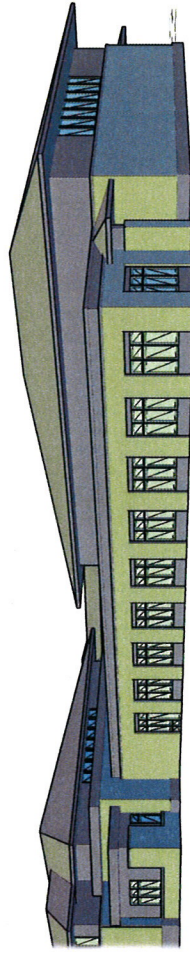
**Chain of Lakes Presbyterian**  
Blaine, MN



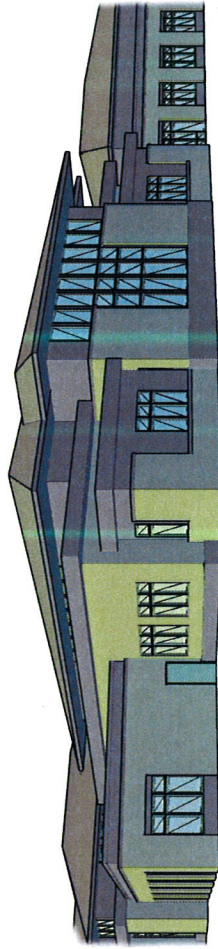
\_\_\_\_\_  
Southeast View



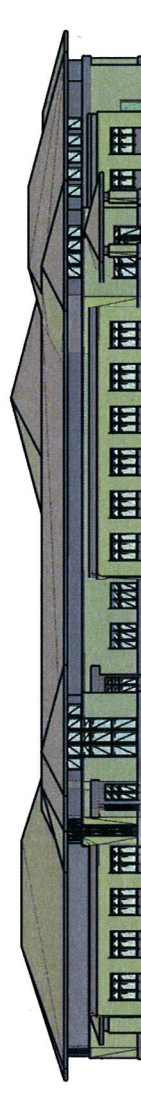
\_\_\_\_\_  
Southwest View



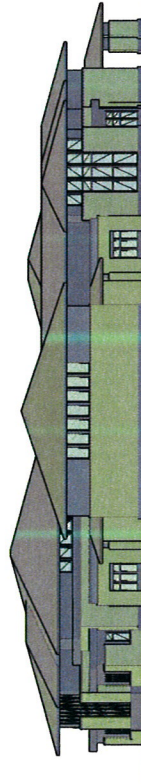
\_\_\_\_\_  
Northwest View



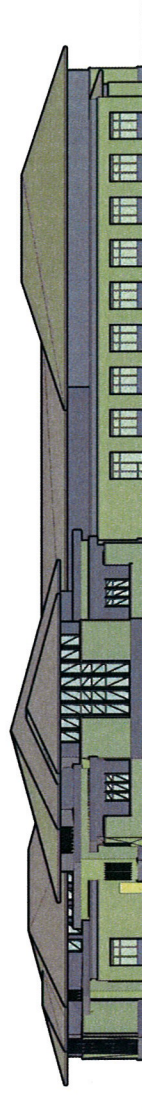
\_\_\_\_\_  
Northeast View



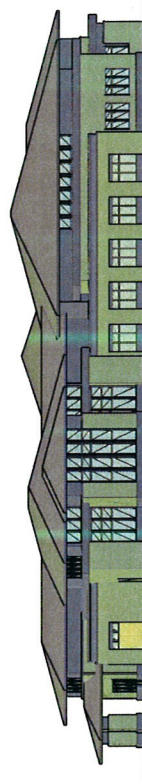
\_\_\_\_\_  
South Elevation



\_\_\_\_\_  
West Elevation



\_\_\_\_\_  
North Elevation



\_\_\_\_\_  
East Elevation



**Sessing Architects, Inc.**  
1172 Red Fox Road \ \ St. Paul, MN 55112  
T: 651-490-1470 \ \ F: 651-490-1627



*A New Presbyterian Church forming in the North Metro*

4175 Lovell Road, Suite 115  
Lexington, MN 55014

March 15, 2012

Dear Friends,

We are writing this letter to introduce ourselves, as a new church development called the Chain of Lakes Church. We are a part of the Presbyterian (PCUSA) denomination that is assisting us in forming this new congregation in the Blaine/Lino Lakes area. We recently signed a purchase agreement for a piece of property in The Lakes of Radisson subdivision. You may have seen the recent article in the Press Newspapers telling about this purchase. If the purchase is approved our new congregation will become part of your neighborhood.

We intend to be good neighbors—enriching the community for children and adults. As a PC(USA) congregation we come from a wonderful history of sharing the gospel with a wide range of believers and being a vital part of the social life of our area. In the future we would want any building on our property to be used by the community for activities such as Boy and Girl Scouts, book clubs, concerts, neighborhood organization meetings, polling places, and other functions. Even before constructing a building, we will consider using the property for other activities such as a community garden, sports and other things that would add to the neighborhood.

The Blaine City Council and City Staff are carefully working with us to go over any potential neighborhood concerns about traffic, noise, and parking. As the details of the purchase progress, the City of Blaine will hold public hearings to discuss these issues with you. We will also be at these hearings to meet with you. Enclosed are a site plan and a landscape plan to help you visualize the proposed addition to your neighborhood.

Even before these Public meetings we would like to have you get acquainted with us at an informal gathering for refreshments and conversation on March 27<sup>th</sup> at 6:00 PM in the Mark Stack Room at Blaine City Hall (1<sup>st</sup> floor just off the atrium). Our church leaders will be there to answer questions about our church and its ministry and our potential building plans.

We currently worship at 10:30 a.m. on Sunday mornings in the Lino Lakes Community Center, which is located approximately a half mile east of the intersection of Main and Lake Drive. Child care and youth Sunday school are available. We would be delighted to welcome you there.

If you have questions about the property purchase or our new congregation please contact one of the folks listed below or our Organizing Pastor, Paul Moore. We also invite you to visit our web site at [www.colpres.org](http://www.colpres.org).

We look forward to meeting you and being a positive influence in the community.

Sincerely,  
Chain of Lakes Property Purchase Task Force

Kevin Amundsen—651-653-1147  
Mary Ann Archer—651-786-7279  
Pastor Paul Moore—763-208-8049

Ken Mc Cullen—651-275-3695  
John Ivers—763-571-9726

763.208.8049

[www.colpres.org](http://www.colpres.org)

[info@colpres.org](mailto:info@colpres.org)