

Case File No. 13-0049

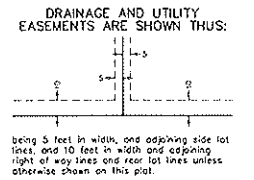
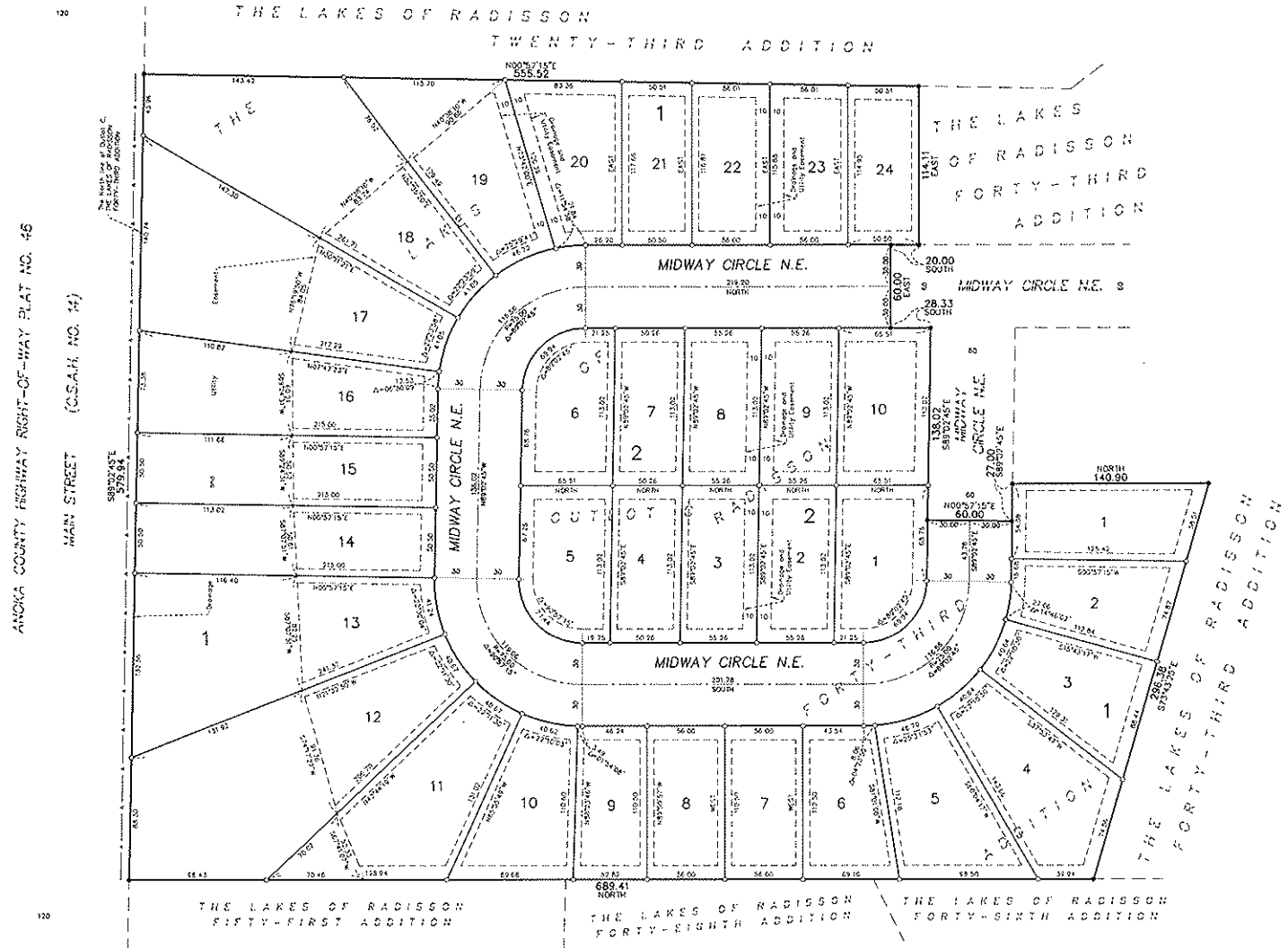


Blaine Planning Department / 10801 Town Square Dr NE / Blaine, MN 55449 / (763) 785-6180

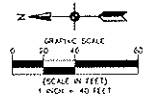


THE LAKES OF RADISSON FIFTY-SIXTH ADDITION

CITY OF BLAINE
 COUNTY OF ANOKA
 SEC. 10 TWP. 31, RGE. 23



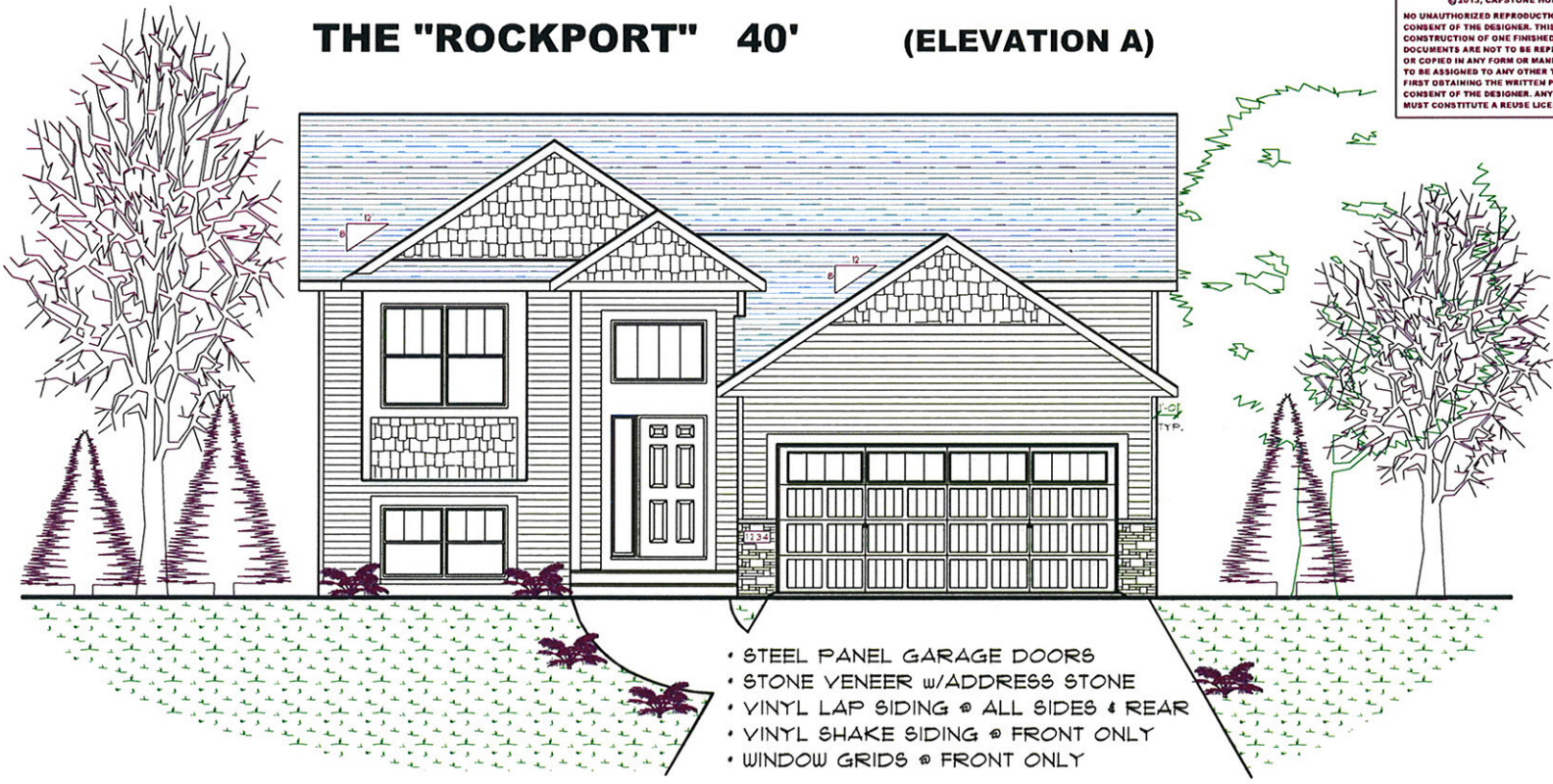
- Denotes 1/2 inch by 14 inch iron monument set or 16 feet within the year of recording of this plat and marked with license number 40361
- Denotes Found Iron Monument marked with RLS 20595
- Denotes Restricted Right of Access dedicated per the plat of THE LAKES OF RADISSON.



Carlson McCain
 ENVIRONMENTAL • ENGINEERING • SURVEYING

THE "ROCKPORT" 40' (ELEVATION A)

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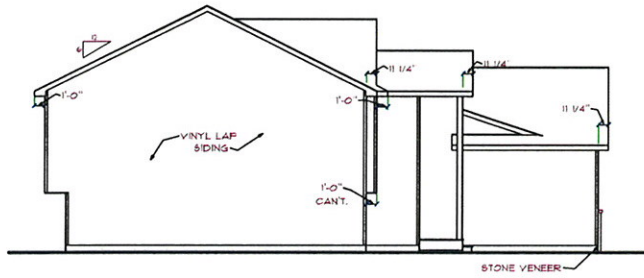


FRONT ELEVATION

1/4" = 1'-0"

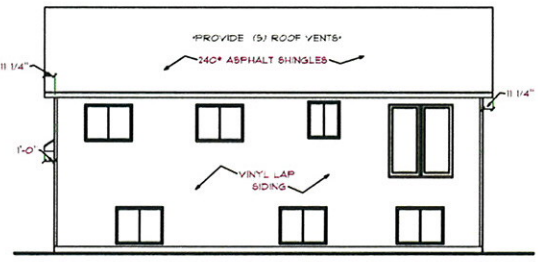
THIS IS A (5) COURSE SPLIT ENTRY
 WITH A LOOKOUT FOUNDATION.

ARTIST CONCEPT: THIS CONCEPT WAS CREATED
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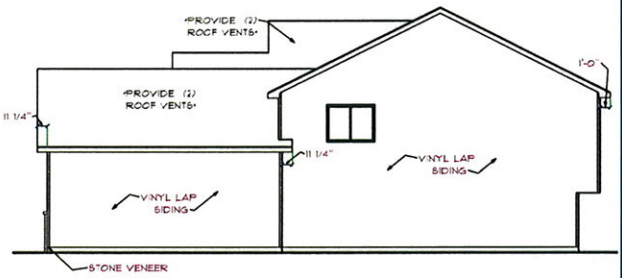
LEFT ELEVATION
 1/8" = 1'-0"

(w/ LOOKOUT)



REAR ELEVATION
 1/8" = 1'-0"

(w/ LOOKOUT)



RIGHT ELEVATION
 1/8" = 1'-0"

(w/ LOOKOUT)

APPROVAL: _____

LOT: _____
 BLOCK: _____

NAME: THE "ROCKPORT" 40' IN

WAIVER

EVERY EFFORT HAS BEEN MADE TO
 CORRECT IN EVERY WAY GENERAL
 CONTRACTOR AND HOMEOWNER TO
 MAKE SURE ALL NOTES, DIMENSIONS, EROSION, AND
 CONSTRUCTION SPECIFICATIONS ARE NOT
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REVISIONS: _____

DATE: 1250th

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 SUITE 400
 RAMSEY, MN 55303
 OFFICE: (763) 427-3090
 FAX: (763) 712-3000
 www.milkcustohomes.com

CAPSTONE HOMES
 LIC. NO. B023739

Fig. 1 of 5

THE "ROCKPORT" 40' (ELEVATION B)

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APPROVAL: _____

LOT: _____
 BLOCK: _____

NAME: **THE "ROCKPORT" 40'**

WAIVER

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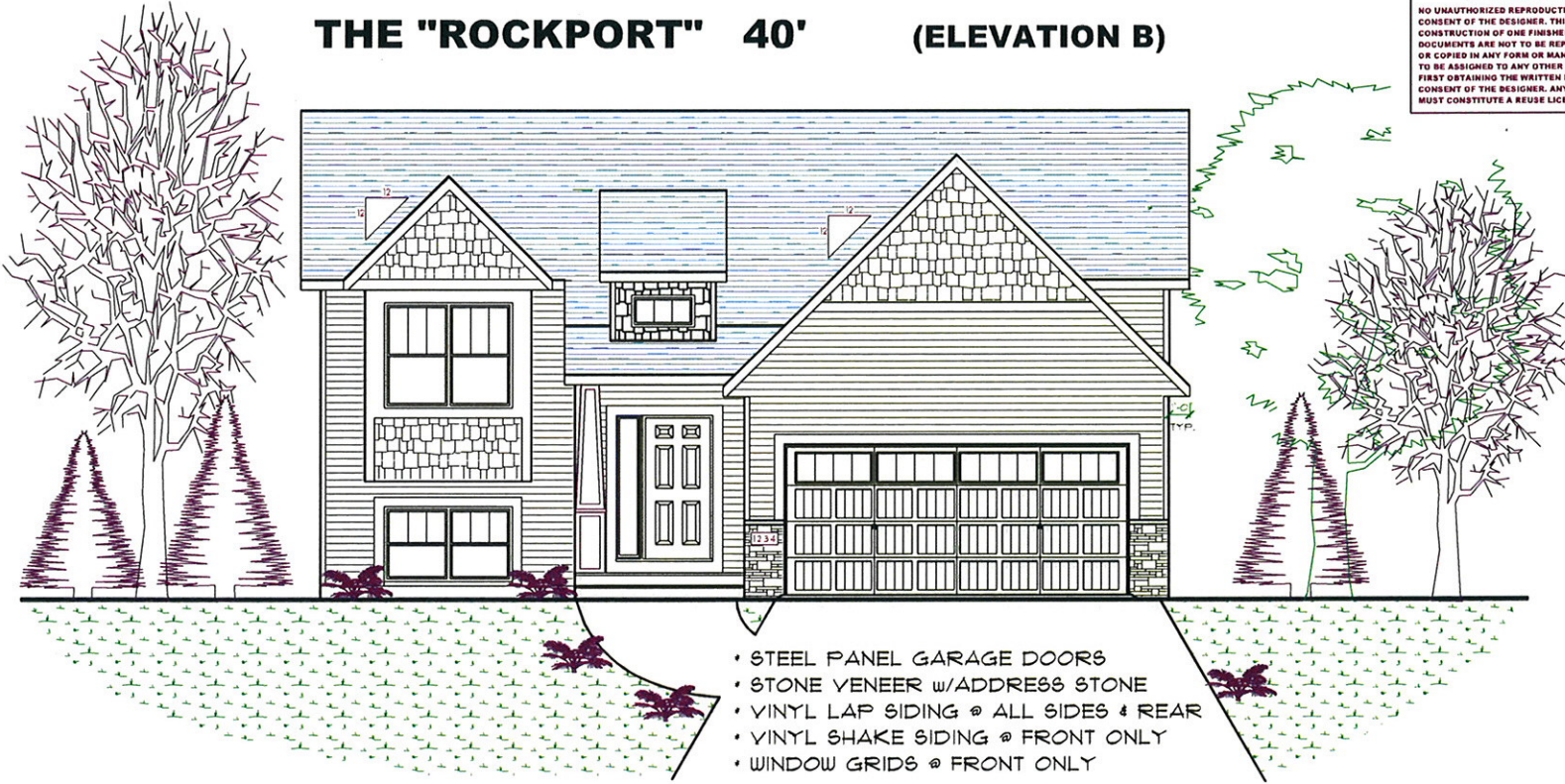
REVISIONS: _____

DATE: **12/5/04**

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 FAX: (763) 712-9000
 www.mhiscustomhomes.com

CAPSTONE HOMES
 LG. NO. 05237318

Pg. 1 of 5



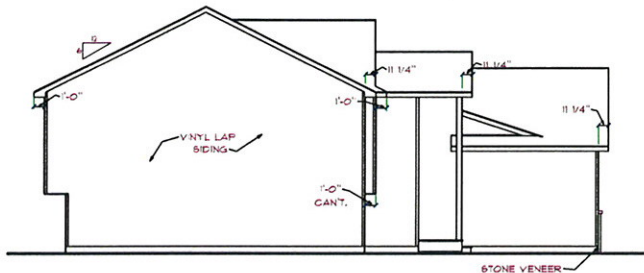
- STEEL PANEL GARAGE DOORS
- STONE VENEER w/ADDRESS STONE
- VINYL LAP SIDING @ ALL SIDES & REAR
- VINYL SHAKE SIDING @ FRONT ONLY
- WINDOW GRIDS @ FRONT ONLY

FRONT ELEVATION

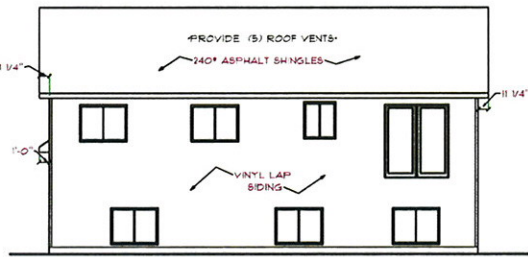
1/4" = 1'-0"

THIS IS A (5) COURSE SPLIT ENTRY WITH A LOOKOUT FOUNDATION.

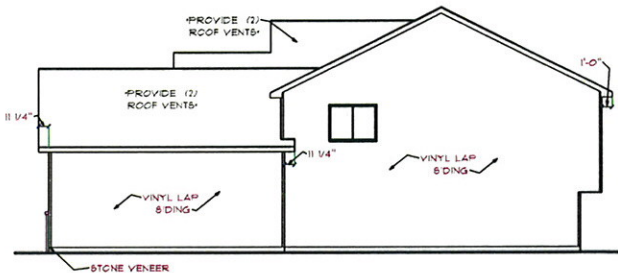
ARTIST CONCEPT: THIS CONCEPT WAS CREATED AS SHOWN FOR ILLUSTRATIVE PURPOSES ONLY AND MAY NOT REPRESENT THE ACTUAL PRODUCT.



LEFT ELEVATION
 1/8" = 1'-0" (w/ LOOKOUT)



REAR ELEVATION
 1/8" = 1'-0" (w/ LOOKOUT)



RIGHT ELEVATION
 1/8" = 1'-0" (w/ LOOKOUT)

THE "ROCKPORT" 40' (ELEVATION C)

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APPROVAL: _____

LOT: _____
 BLOCK: _____

NAME: THE "ROCKPORT" 40' IN

WAIVER

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 OMISSIONS ARE CORRECT BEFORE
 CONSTRUCTION. CAPSTONE HOMES, INC.
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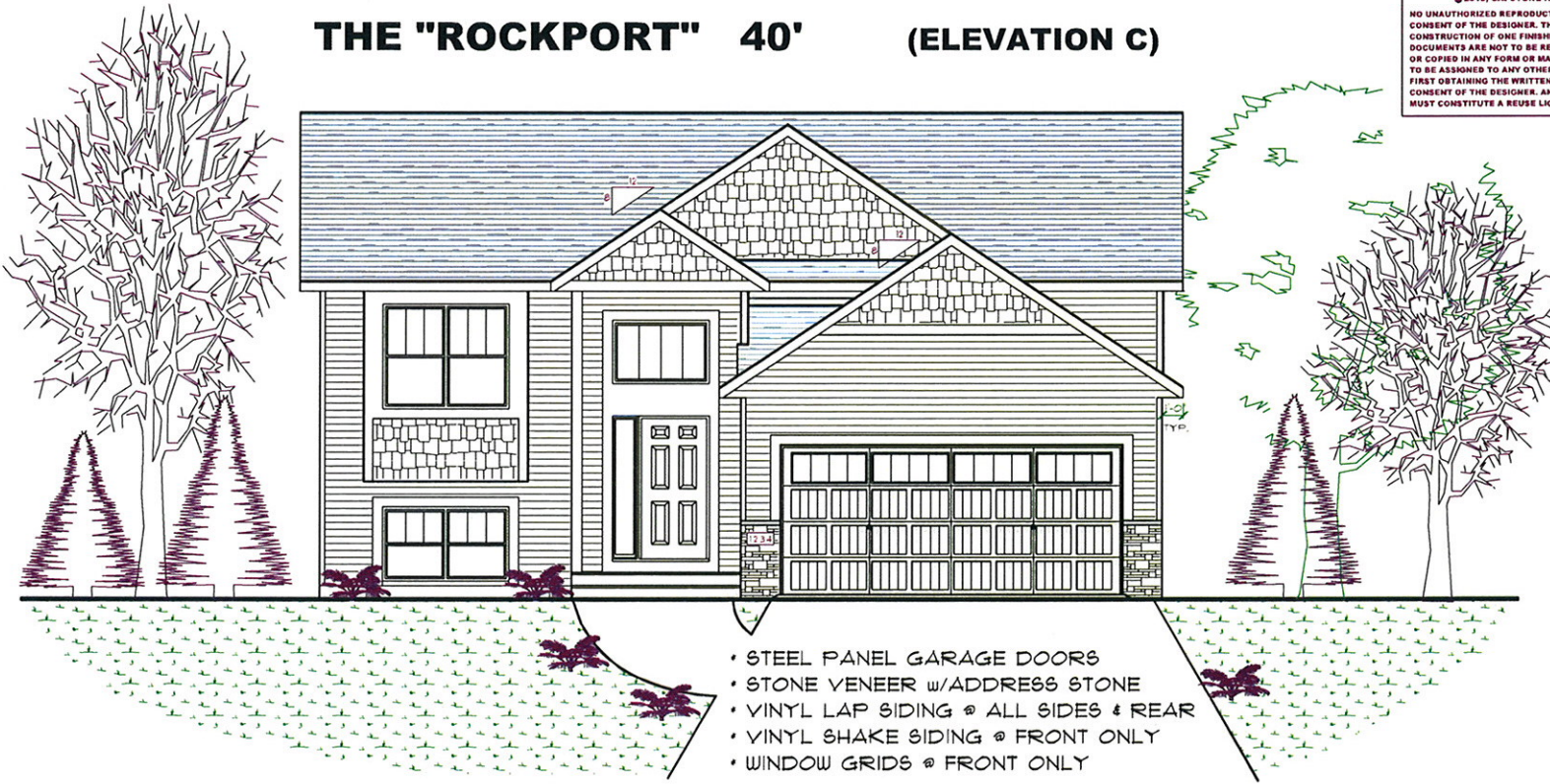
DATE: _____

1250^d

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Pg. 1 of 5



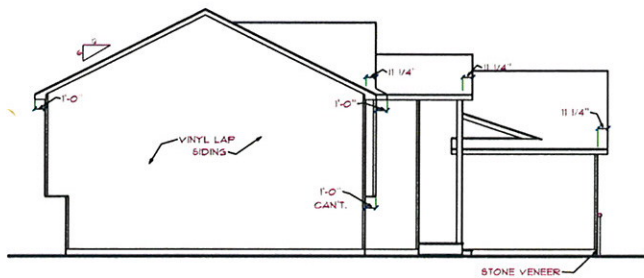
- STEEL PANEL GARAGE DOORS
- STONE VENEER w/ADDRESS STONE
- VINYL LAP SIDING @ ALL SIDES & REAR
- VINYL SHAKE SIDING @ FRONT ONLY
- WINDOW GRIDS @ FRONT ONLY

FRONT ELEVATION

1/4" = 1'-0"

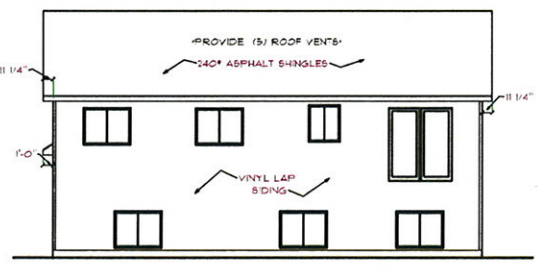
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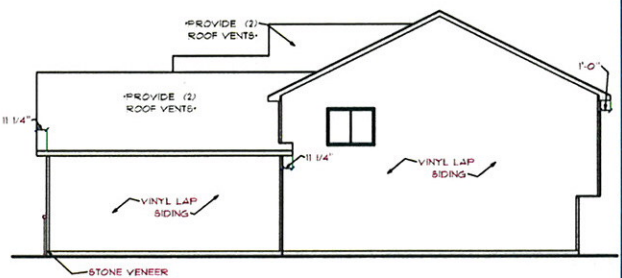
LEFT ELEVATION
 1/8" = 1'-0"

(w/ LOOKOUT)



REAR ELEVATION
 1/8" = 1'-0"

(w/ LOOKOUT)



RIGHT ELEVATION
 1/8" = 1'-0"

(w/ LOOKOUT)

THE "ROCKPORT" 40' (ELEVATION D)

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APPROVAL: _____

LOT: _____
 BLOCK: _____

THE "ROCKPORT" 40'

WAIVER

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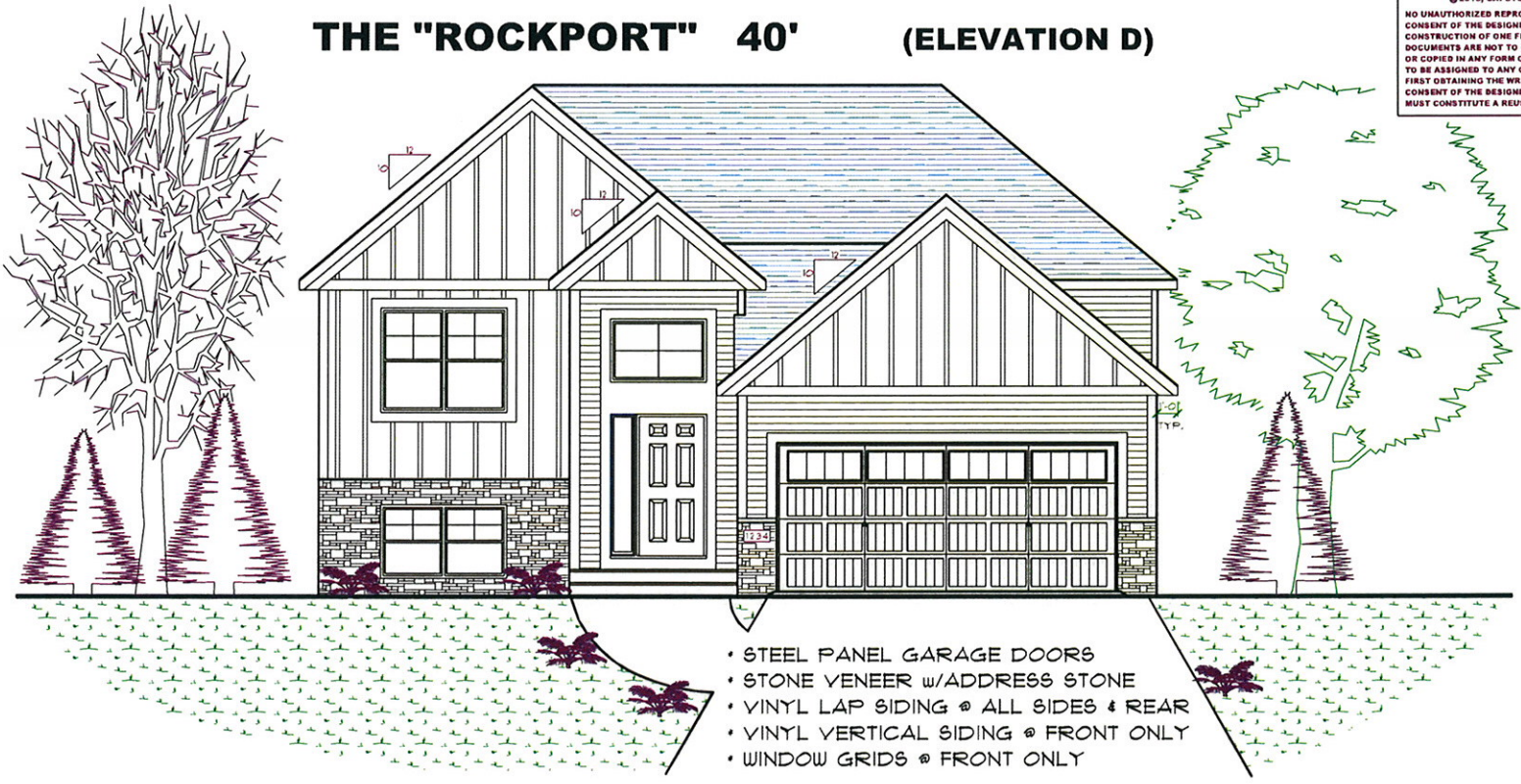
REVISIONS:

DATE: 1254th

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 FAX: (763) 712-9000
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CAPSTONE HOMES
 LLC, INC. 0523313

Fig. 1 of 5



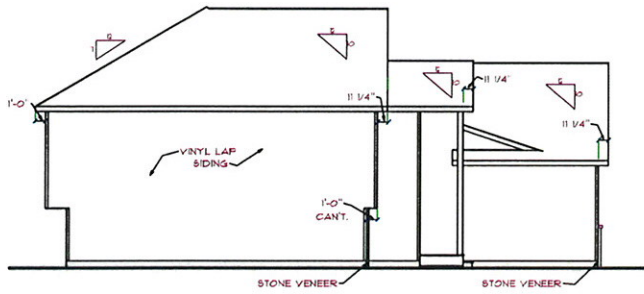
- STEEL PANEL GARAGE DOORS
- STONE VENEER w/ADDRESS STONE
- VINYL LAP SIDING @ ALL SIDES & REAR
- VINYL VERTICAL SIDING @ FRONT ONLY
- WINDOW GRIDS @ FRONT ONLY

FRONT ELEVATION

1/4" = 1'-0"

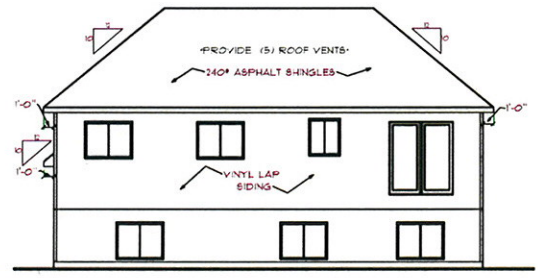
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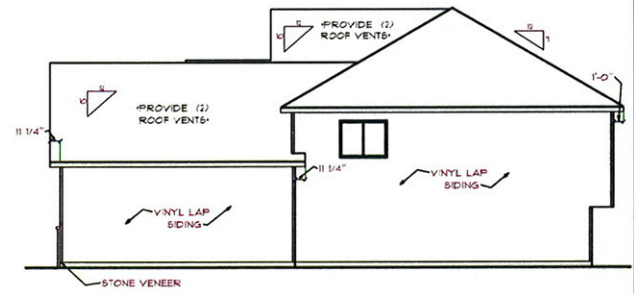
LEFT ELEVATION
 1/8" = 1'-0"

(w/ LOOKOUT)



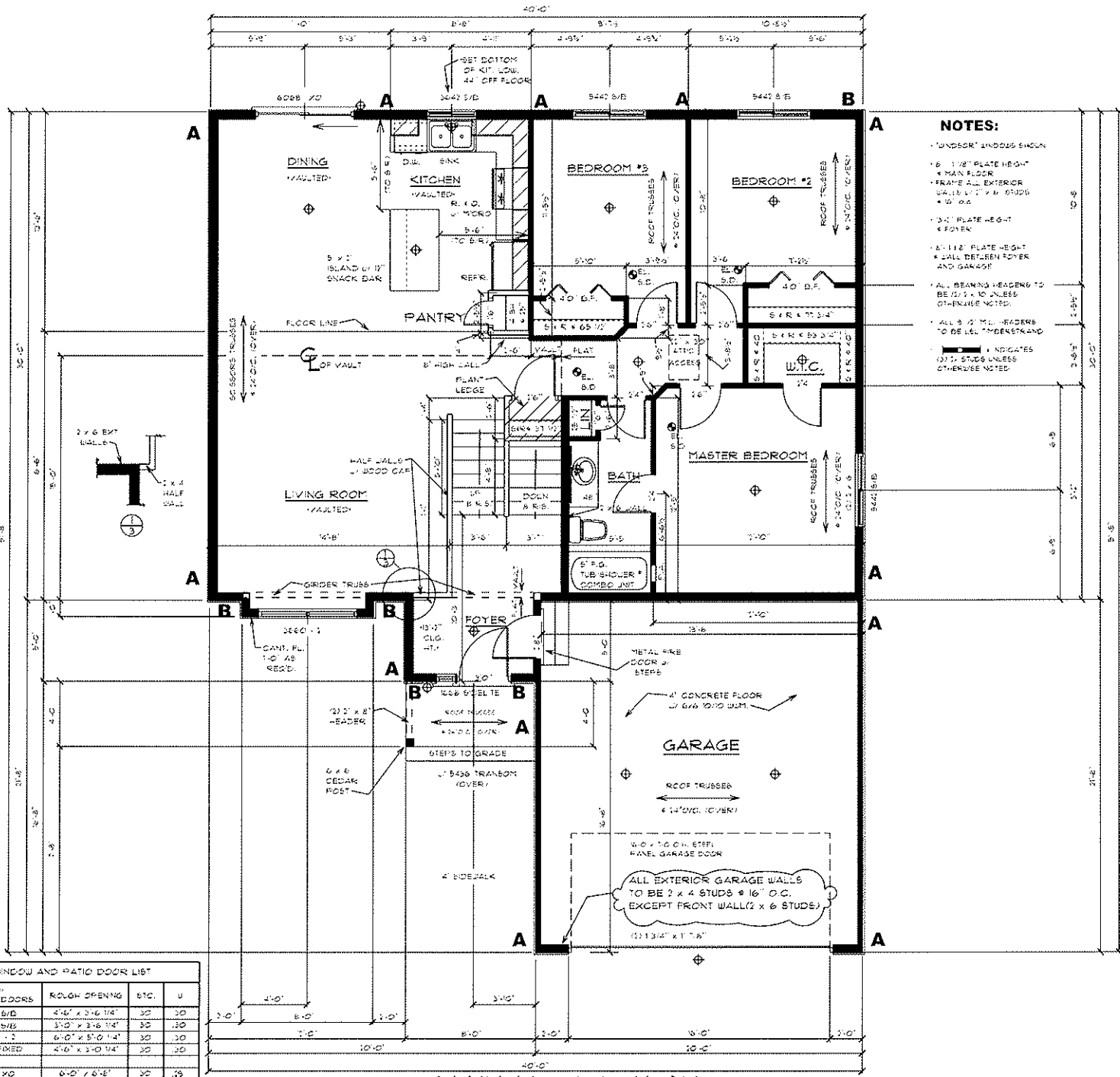
REAR ELEVATION
 1/8" = 1'-0"

(w/ LOOKOUT)



RIGHT ELEVATION
 1/8" = 1'-0"

(w/ LOOKOUT)



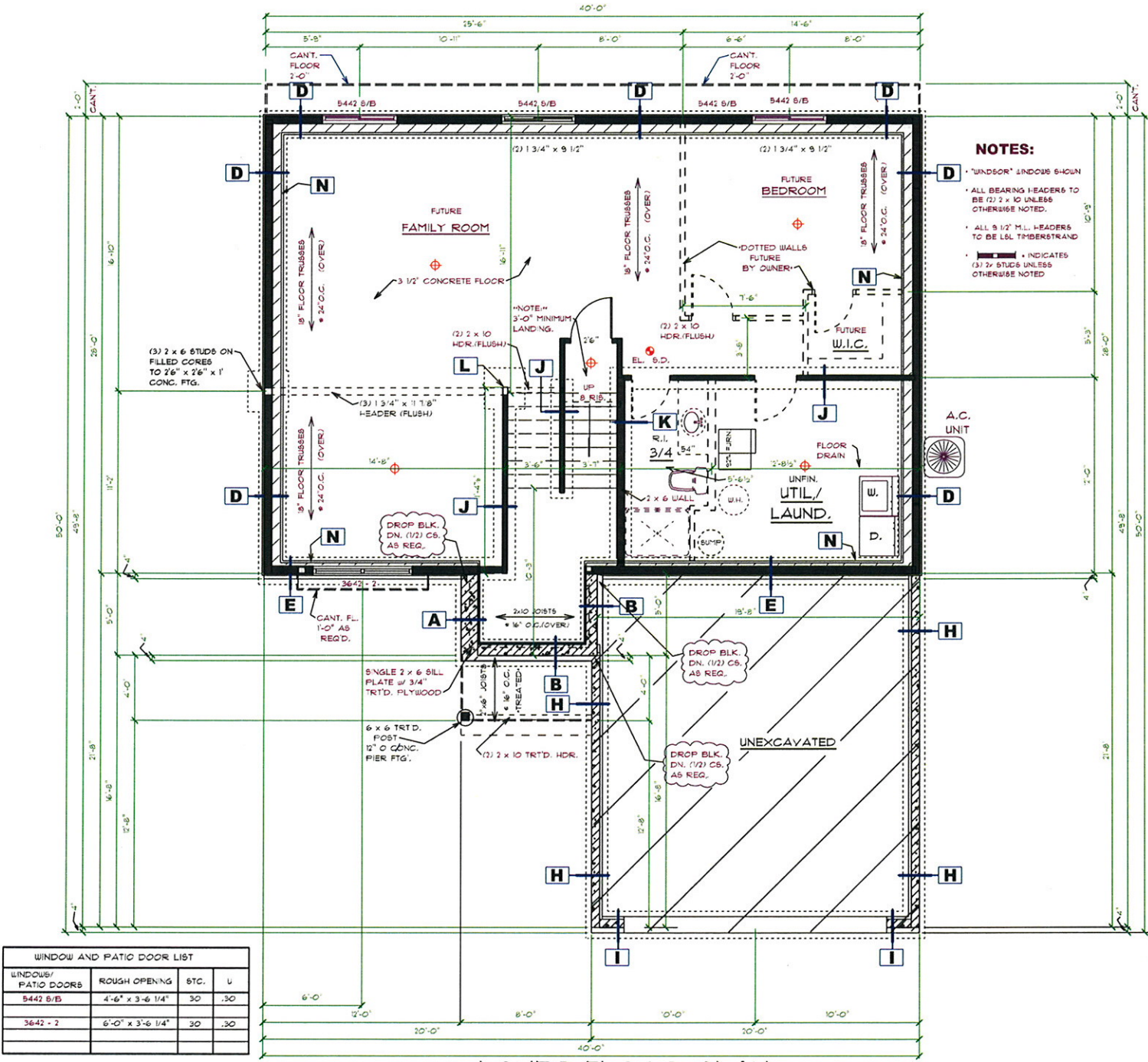
- NOTES:**
- * UNLESS INDICATED OTHERWISE
 - * 1 1/2" PLATE HEIGHT
 - * FRAME ALL EXTERIOR WALLS WITH 2 X 4 STUDS @ 16" O.C.
 - * 2" PLATE HEIGHT
 - * 1 1/2" PLATE HEIGHT
 - * WALL BETWEEN FOYER AND GARAGE
 - * ALL BEAMING HEADINGS TO BE 2 X 4 UNLESS OTHERWISE NOTED
 - * ALL 2 X 4 WALL HEADERS TO BE LVL UNLESS OTHERWISE NOTED
 - * [Symbol] INDICATES 2 X 4 STUDS UNLESS OTHERWISE NOTED

WINDOW AND PATIO DOOR LIST				
UNDOORS/PATIO DOORS	ROUGH OPENING	SY.	U	
8442 8/8	4'-6" x 2'-6 1/4"	30	30	
3641 8/8S	3'-0" x 2'-6 1/4"	30	30	
3660 - 2	6'-0" x 5'-0 1/4"	30	30	
8436 FIXED	4'-6" x 2'-0 1/4"	30	30	
8068 XC	6'-0" x 6'-6"	30	35	
3 DR. w/ BIDE LIGHT FOR W/6 DOOR LITE	34 5/16" x 82 3/16"	30	30	

MAIN FLOOR PLAN

1/4" = 1'-0"

1250'



NOTES:

- "UNDSOR" WINDOWS SHOWN
- ALL BEARING I-BEAMERS TO BE (2) 2 x 10 UNLESS OTHERWISE NOTED.
- ALL 3/4" M.L. HEADERS TO BE 1x6 LVL TIMBERSTRAND
- (3) 2x STUDS UNLESS OTHERWISE NOTED

FOUNDATION NOTES:

- A** 5 1/2" c 12" CONCRETE BLOCK
20 x 8 CONCRETE FOOTING
- B** 1 1/2" c 8" CONCRETE BLOCK
4 c 12" CONCRETE BLOCK
20 x 8 CONCRETE FOOTING
- C** c 8" CONCRETE BLOCK
c 12" CONCRETE BLOCK
20 x 8 CONCRETE FOOTING
- D** 2 x 6 STUDS 16" o.c.
4 c 12" CONCRETE BLOCK
20 x 8 CONCRETE FOOTING
- E** 2 x 6 STUDS 16" o.c.
1 c 8" CONCRETE BLOCK
4 c 12" CONCRETE BLOCK
20 x 8 CONCRETE FOOTING
- F** 2 x 6 STUDS 16" o.c.
1 c 6" HALF - HIGH
5 c 12" CONCRETE BLOCK
20 x 8 CONCRETE FOOTING
- G** c 12" CONCRETE BLOCK
20 x 8 CONCRETE FOOTING
- H** 1 c 6" CONCRETE BLOCK
4 c 8" CONCRETE BLOCK
20 x 8 CONCRETE FOOTING
- I** 1 c 6" CONCRETE BLOCK
4 c 12" CONCRETE BLOCK
20 x 8 CONCRETE FOOTING
- J** 2 x 4 STUDS 24" o.c.
1 c 4" HALF - HIGH
20 x 8 CONCRETE FOOTING
- K** 2 x 6 STUDS 24" o.c.
w/ MID-SPAN BLOCKING
1 c 6" HALF - HIGH
20 x 8 CONCRETE FOOTING
- L** (3) 2 x 4 STUDS
30 x 30 x 12 CONC. PAD
- M** (3) 2 x 6 STUDS
30 x 30 x 12 CONC. PAD
- N** 1 1/2" FOIL-BACKED FOAM INSULATION (R - 9.5)
- O** 2 x 4 STUDS 24" o.c.
R - 11 F.O. BATT INSULATION
POLY VAPOR BARRIER

MECHANICAL SPECS. :

- FURNACE - BRYANT
340AAV036080
NAT. GAS
- W. HEATER- A. O. SMITH
ECT50200
ELECTRIC
- AIR COND. - BRYANT
113ANA024
ELECTRIC

WINDOW AND PATIO DOOR LIST			
WINDOWS/ PATIO DOORS	ROUGH OPENING	STC.	U
5442 5/B	4'-6" x 3'-6 1/4"	30	.30
3642 - 2	6'-0" x 3'-6 1/4"	30	.30

LOWER FLOOR PLAN

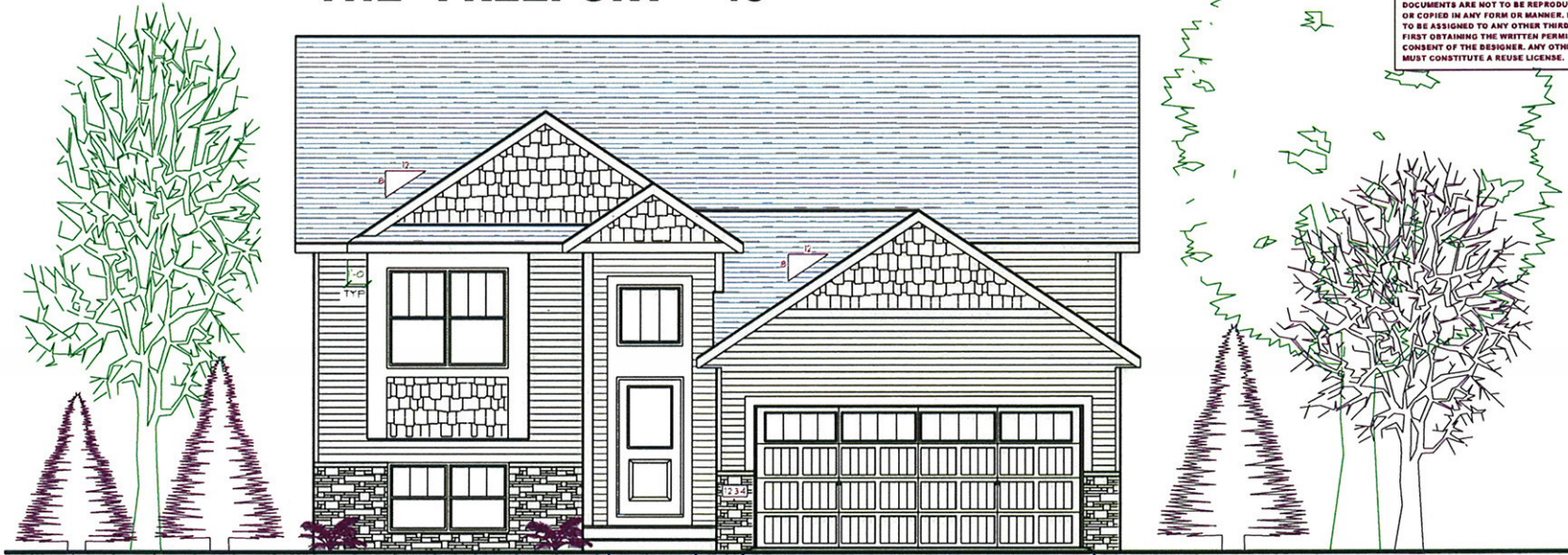
1/4" = 1'-0"

(w/ LOOKOUT)

THE "FREEPORT" 40'

(ELEVATION A)

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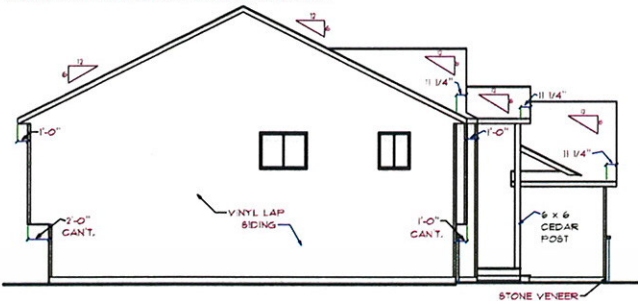


- STEEL PANEL GARAGE DOORS
- STONE VENEER w/ADDRESS STONE
- VINYL LAP SIDING @ ALL SIDES
- VINYL SHAKE SIDING @ FRONT ONLY & SIDES OF DORMER ONLY
- WINDOW GRIDS @ FRONT ONLY
- NO GABLE END RETURNS

ARTIST CONCEPT: THIS CONCEPT WAS CREATED AS SHOWN FOR ILLUSTRATIVE PURPOSES ONLY AND MAY NOT REPRESENT THE ACTUAL PRODUCT.

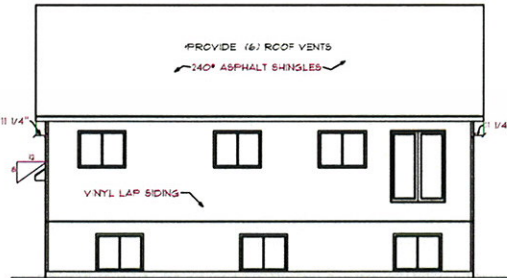
FRONT ELEVATION

1/4" = 1'-0"



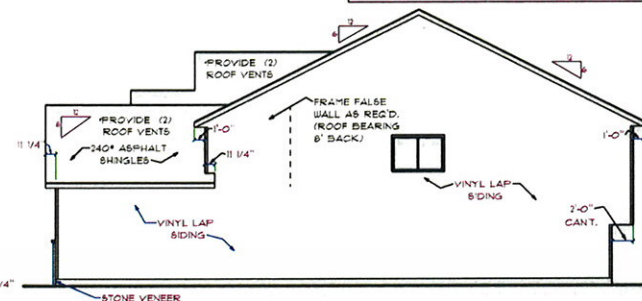
LEFT ELEVATION
1/8" = 1'-0"

(w/ LOOKOUT)



REAR ELEVATION
1/8" = 1'-0"

(w/ LOOKOUT)



RIGHT ELEVATION
1/8" = 1'-0"

(w/ LOOKOUT)

THIS IS A (5) COURSE SPLIT ENTRY WITH A LOOKOUT FOUNDATION.

APPROVAL: _____

LOT: _____ BLOCK: _____

NAME: **THE "FREEPORT 40"**

WAIVER

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THE "FREEPORT" 40'

(ELEVATION B)

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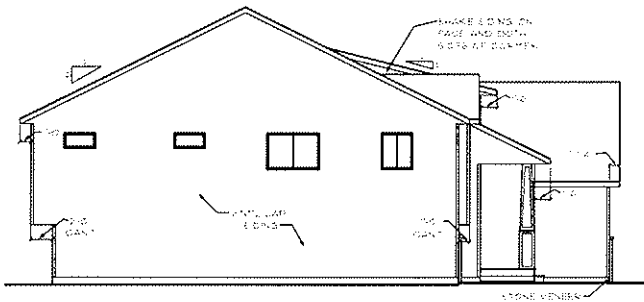
- STEEL PANEL GARAGE DOORS
- STONE VENEER w/ ADDRESS STONE
- VINYL LAP SIDING @ ALL SIDES
- VINYL SHAKE SIDING @ FRONT ONLY
- 4 SIDES OF DORMER ONLY
- WINDOW GRIDS @ FRONT ONLY
- NO GABLE END RETURNS

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FRONT ELEVATION

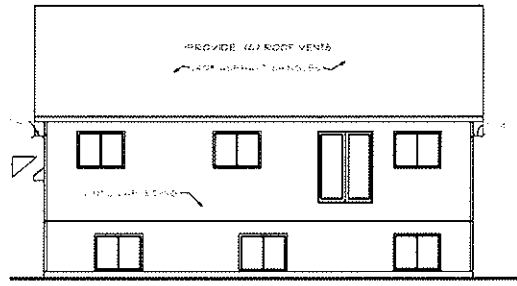
1/4" = 1'-0"

THIS IS A (5) COURSE SPLIT ENTRY WITH A LOOKOUT FOUNDATION.



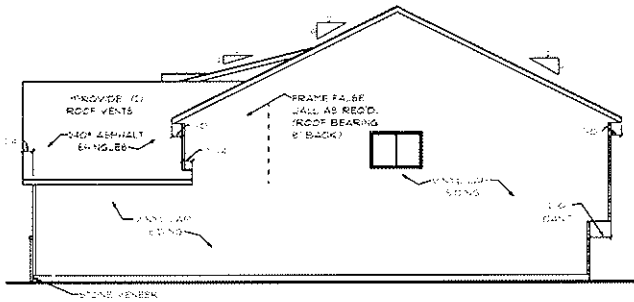
LEFT ELEVATION

(w/ LOOKOUT)



REAR ELEVATION

(w/ LOOKOUT)



RIGHT ELEVATION

(w/ LOOKOUT)

APPROVAL

LOT: _____ BLOCK: _____

NAME: _____

THE "CHEYENNE 40"

WAIVER

WAIVER: I HEREBY WAIVE ANY RIGHTS TO...
 NAME: _____
 ADDRESS: _____
 CITY: _____ STATE: _____ ZIP: _____
 PHONE: _____ FAX: _____
 EMAIL: _____

REVISIONS:

NO.	DATE	DESCRIPTION

1465

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 14015 SUNFISH LAKE BLVD. NW
 SUITE 400
 RAMSEY, MN 55203
 OFFICE: (763) 427-3090
 FAX: (763) 712-9060
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CAPSTONE HOMES

Fig. 1 of 5

THE "FREEPORT" 40'

(ELEVATION C)

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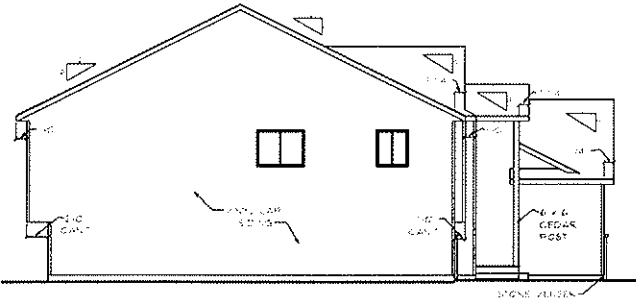


- STEEL PANEL GARAGE DOORS
- STONE VENEER w/ADDRESS STONE
- VINYL LAP SIDING @ ALL SIDES
- VINYL SHAKE SIDING @ FRONT ONLY
- SIDES OF DORMER ONLY
- WINDOW GRIDS @ FRONT ONLY
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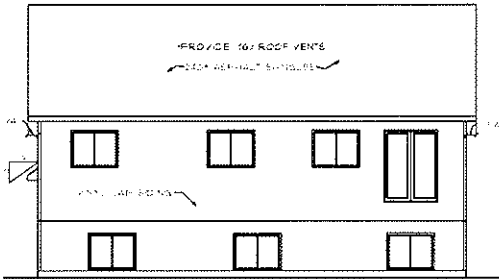
1/4" = 1'-0"



LEFT ELEVATION

8' x 10'

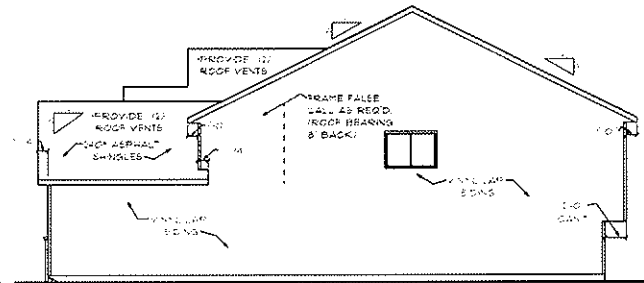
(w/ LOOKOUT)



REAR ELEVATION

8' x 10'

(w/ LOOKOUT)



RIGHT ELEVATION

12' x 10'

(w/ LOOKOUT)

THIS IS A (5) COURSE SPLIT ENTRY WITH A LOOKOUT FOUNDATION.

LOT: _____ BLOCK: _____

NAME: **THE FREEPORT 40'**

WAIVER

BY PURCHASING THIS PLAN, YOU AGREE TO MAKE THIS THE FINAL PLAN AND TO CONDUCT IN EVERYWAY OTHER THAN SHOWN HEREIN. YOU SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND CONSTRUCTION STANDARDS THAT ARE IN EFFECT AT THE TIME OF CONSTRUCTION OF THIS PLAN.

REVISIONS:

DATE: _____

1465^{sq}

Capstone Homes, Inc.
 14015 SUNFISH LAKE BLVD. NW
 SUITE 400
 RAMSEY, MN 55363
 OFFICE: (763) 427-3050
 FAX: (763) 712-9000
 www.minniscustomerhelp.com

CAPSTONE HOMES

Page 1 of 5

THE "FREEPORT" 40'

(ELEVATION D)

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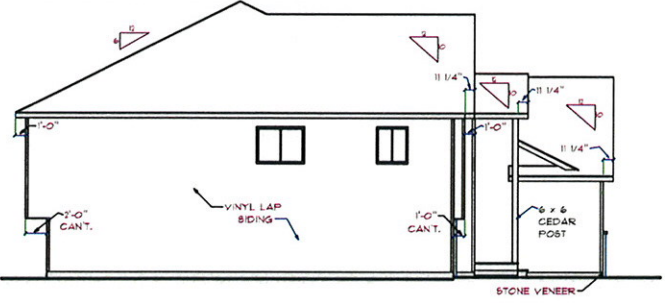
- STEEL PANEL GARAGE DOORS
- STONE VENEER w/ADDRESS STONE
- VINYL LAP SIDING @ ALL SIDES
- VINYL VERTICAL SIDING @ FRONT ONLY
- WINDOW GRIDS @ FRONT ONLY
- NO GABLE END RETURNS

ARTIST CONCEPT: THIS CONCEPT WAS CREATED AS SHOWN FOR ILLUSTRATIVE PURPOSES ONLY AND MAY NOT REPRESENT THE ACTUAL PRODUCT.

FRONT ELEVATION

1/4" = 1'-0"

THIS IS A (5) COURSE SPLIT ENTRY WITH A LOOKOUT FOUNDATION.



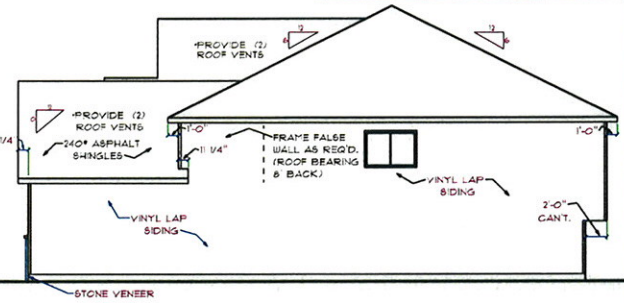
LEFT ELEVATION
1/8" = 1'-0"

(w/ LOOKOUT)



REAR ELEVATION
1/8" = 1'-0"

(w/ LOOKOUT)



RIGHT ELEVATION
1/8" = 1'-0"

(w/ LOOKOUT)

APPROVAL: _____

LOT: _____ BLOCK: _____

NAME: THE "FREEPORT 40' " IN _____

WAIVER

EVERY EFFORT HAS BEEN MADE TO CORRECT IN EVERY WAY, GENERAL CONTRACTOR AND HOMEOWNER. MAKE SURE ALL NOTES, DIMENSIONS, ERECTION, AND CONSTRUCTION STARTS. WE ARE NOT RESPONSIBLE FOR ERRORS AND OMISSIONS ON THESE PLANS.

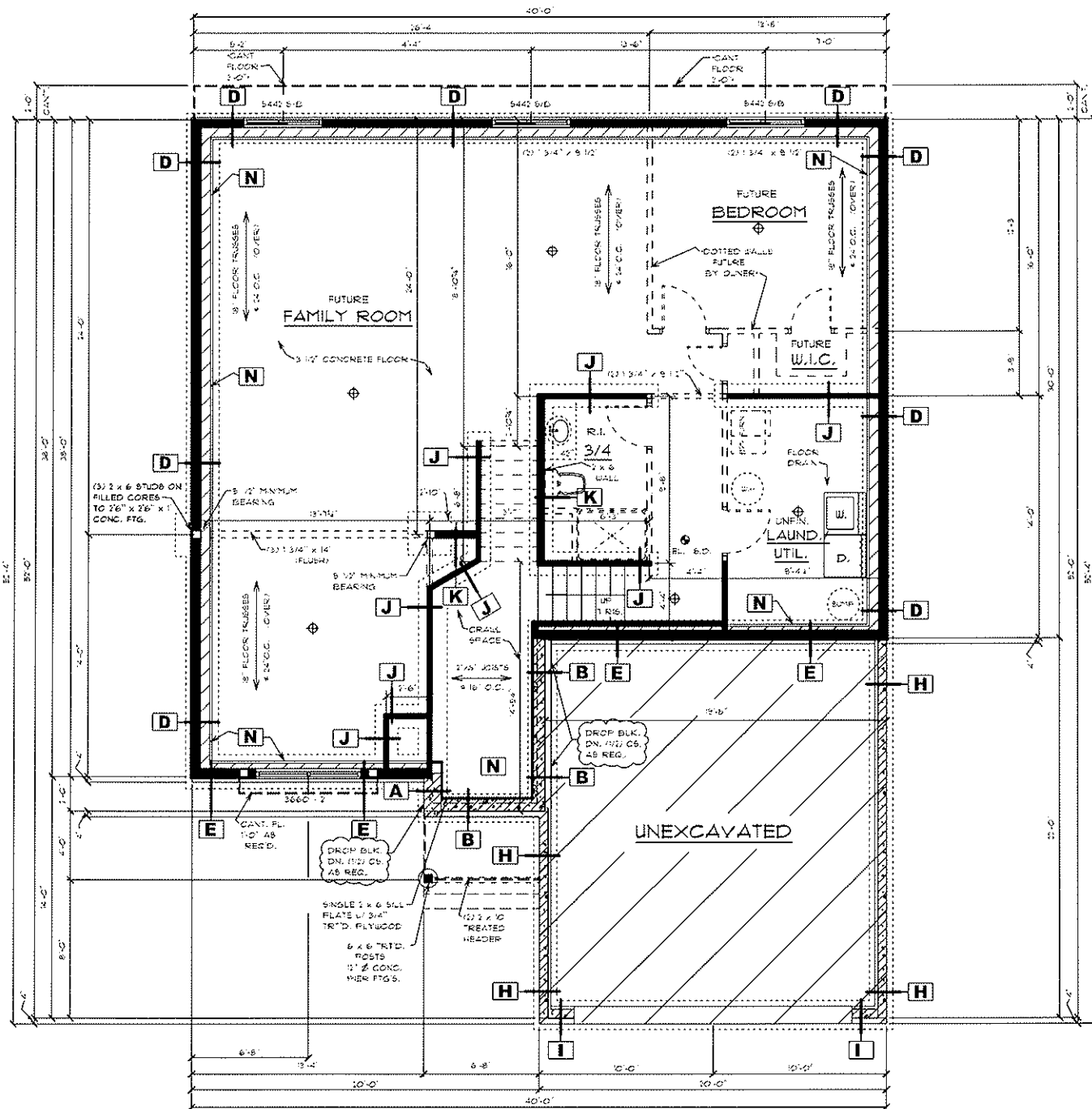
REVISIONS: _____

DATE: 1410th

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 LIC. NO. SC07038

Pg. 1 of 5

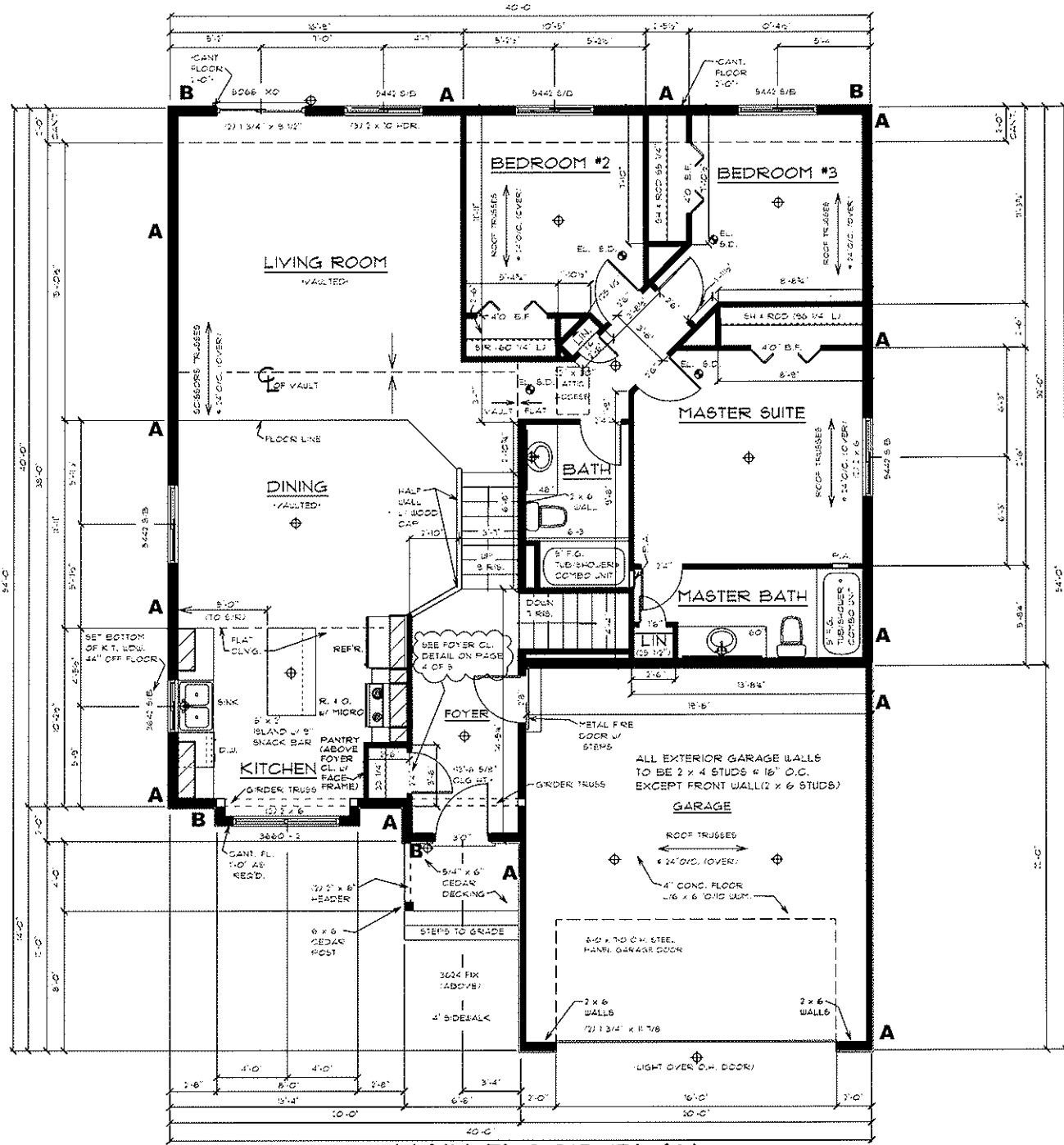


- NOTES:**
- * UNUSUAL WINDOWS SHOWN
 - * FRAME ALL EXT. WALLS W/ 2" x 4" STUDS + 1/2" C.C.
 - * ALL BEARING HEADERS TO BE 12" x 10" UNLESS OTHERWISE NOTED.
 - * ALL 8" x 16" ML HEADERS TO BE 16" LVL TIMBERSTRAND
 - * [Symbol] INDICATES 12" x 16" STUDS UNLESS OTHERWISE NOTED

- FOUNDATION NOTES:**
- A** 5 1/2" c 12" CONCRETE BLOCK
20 x 8 CONCRETE FOOTING
 - B** 1 1/2" c 8" CONCRETE BLOCK
4 c 12" CONCRETE BLOCK
20 x 8 CONCRETE FOOTING
 - C** c 8" CONCRETE BLOCK
c 12" CONCRETE BLOCK
20 x 8 CONCRETE FOOTING
 - D** 2 x 6 STUDS 16" o.c.
5 c 12" CONCRETE BLOCK
20 x 8 CONCRETE FOOTING
 - E** 2 x 6 STUDS 16" o.c.
1 c 8" CONCRETE BLOCK
4 c 12" CONCRETE BLOCK
20 x 8 CONCRETE FOOTING
 - F** 2 x 6 STUDS 16" o.c.
1 c 6" HALF - HIGH
5 c 12" CONCRETE BLOCK
20 x 8 CONCRETE FOOTING
 - G** c 12" CONCRETE BLOCK
20 x 8 CONCRETE FOOTING
 - H** 1 c 6" CONCRETE BLOCK
4 c 8" CONCRETE BLOCK
20 x 8 CONCRETE FOOTING
 - I** 1 c 6" CONCRETE BLOCK
4 c 12" CONCRETE BLOCK
20 x 8 CONCRETE FOOTING
 - J** 2 x 4 STUDS 24" o.c.
1 c 4" HALF - HIGH
20 x 8 CONCRETE FOOTING
 - K** 2 x 6 STUDS 24" o.c.
w/ MID-SPAN BLOCKING
1 c 6" HALF - HIGH
20 x 8 CONCRETE FOOTING
 - L** (3) 2 x 4 STUDS
30 x 30 x 12 CONC. PAD
 - M** (3) 2 x 6 STUDS
30 x 30 x 12 CONC. PAD
 - N** 1 1/2" FOIL-BACKED FOAM INSULATION (R - 5.5)
 - O** 2 x 4 STUDS 24" o.c.
R - 11 F.G. BATT INSULATION
POLY VAPOR BARRIER

WINDOW AND PATIO DOOR LIST

WINDOWS:	PATIO DOORS	ROUGH OPENING	STC	U
	5442 S/B	6'-0" x 3'-0" 1/4"	30	.30
	5442 S/B	4'-6" x 3'-6" 1/4"	30	.30



NOTES:

- 1. UNDESK' WINDOWS ENCL. 4
- 2. 1 1/8" PLATE HEIGHT 1/4" BTKE TOP LEVEL. FRAME ALL EXT. WALLS W/ 2" X 6" STUDS @ 16" O.C.
- 3. 3" X 6" 3/8" PLATE HEIGHT * COVER LEVEL (SEE SECTION PAGE 4 OF 5).
- 4. 1 1/8" PLATE HEIGHT FROM ROVER FLOOR TO TOP OF GARAGE WALLS.
- 5. ALL BEARING HEADERS TO BE 12" X 16" UNLESS OTHERWISE NOTED.
- 6. ALL 2" X 6" ML. HEADERS TO BE 12" X 16" UNLESS OTHERWISE NOTED.
- 7. [Symbol] INDICATES 3/4" STUDS UNLESS OTHERWISE NOTED.

WINDOW AND PATIO DOOR LIST

WINDOWS/PATIO DOORS	ROUGH OPENING	STC.	U
3660-1	6'-0" x 8'-0" 1/4"	30	30
5442 5/B	4'-6" x 5'-6" 1/4"	30	30
3042 5/B	3'-0" x 5'-6" 1/4"	30	30
3636 - FIXED	3'-0" x 5'-0" 1/4"	30	30
5066 XD	5'-0" x 6'-0"	30	30
3' DOOR	36 5/16" x 82 3/16"	30	30

MAIN FLOOR PLAN

1/4" = 1'-0"

1465⁰⁰

THE "SEAPORT" 40'

(ELEVATION A)

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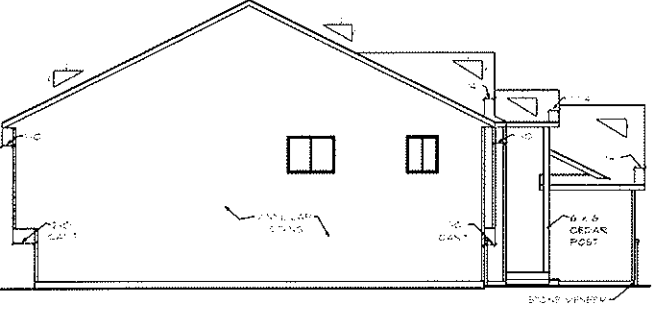
- STEEL PANEL GARAGE DOORS
- STONE VENEER w/ADDRESS STONE
- VINYL LAP SIDING @ ALL SIDES
- VINYL SHAKE SIDING @ FRONT ONLY
- 4 SIDES OF DORMER ONLY
- WINDOW GRIDS @ FRONT ONLY
- NO GABLE END RETURNS

ARTIST CONCEPT: THIS CONCEPT WAS CREATED AS SHOWN FOR ILLUSTRATIVE PURPOSES ONLY AND MAY NOT REPRESENT THE ACTUAL PRODUCT.

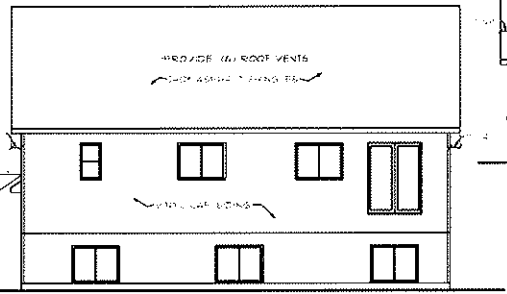
THIS IS A (5) COURSE SPLIT ENTRY WITH A LOOKOUT FOUNDATION.

FRONT ELEVATION

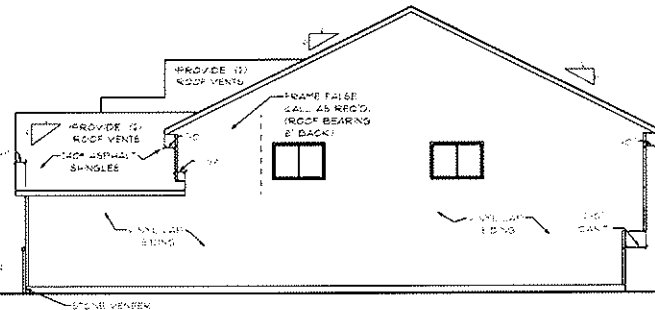
1/4" = 1'-0"



LEFT ELEVATION
10' x 10'



REAR ELEVATION
12' x 10'



RIGHT ELEVATION
8' x 10'

APPENDIX	
LOT: _____ BLOCK: _____	NAMES: THE "SEAPORT 40" N. _____
WAIVER	
REVISIONS: NO. _____ DATE _____	1625 th
Capstone Homes, Inc. 14015 SUNFISH LAKE BLVD. NW SUITE 400 RAMSEY, MN 55203 OFFICE: (763) 427-3690 FAX: (763) 712-9900 www.mnkapstonehomes.com	
Pg. 1 of 6	

THE "SEAPORT" 40'

(ELEVATION B)

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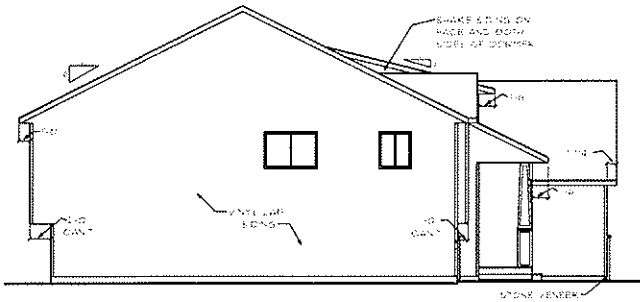
- STEEL PANEL GARAGE DOORS
- STONE VENEER w/ADDRESS STONE
- VINYL LAP SIDING @ ALL SIDES
- VINYL SHAKE SIDING @ FRONT ONLY
- 4 SIDES OF DORMER ONLY
- WINDOW GRIDS @ FRONT ONLY
- NO GABLE END RETURNS

FRONT ELEVATION

1/4" = 1'-0"

THIS IS A (5) COURSE SPLIT ENTRY WITH A LOOKOUT FOUNDATION.

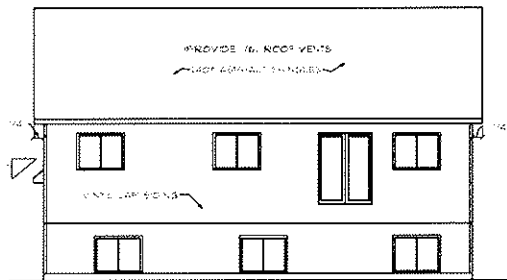
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LEFT ELEVATION

18' x 10'

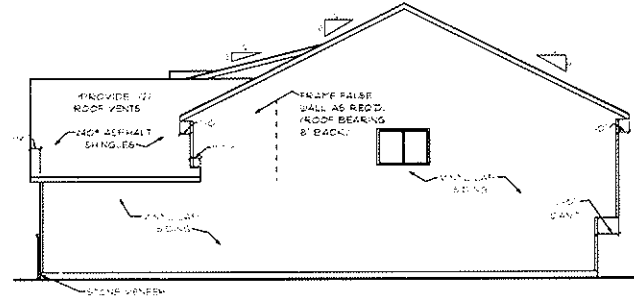
(w/ LOOKOUT)



REAR ELEVATION

16' x 10'

(w/ LOOKOUT)



RIGHT ELEVATION

18' x 10'

(w/ LOOKOUT)

APPROVAL: _____

LOT: _____ BLOCK: _____

NAME: **THE "SEAPORT" 40'**

WAIVER

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REVISIONS:

NO.	DATE	DESCRIPTION

DATE: _____

1465th

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 14015 SUNFISH LAKE BLVD, NW
 SUITE 400
 RICHLEY, OH 43085
 OFFICE: (614) 422-3090
 FAX: (614) 712-2860
www.capstonehomes.com

CAPSTONE HOMES

Fig. 1 of 5

THE "SEAPORT" 40'

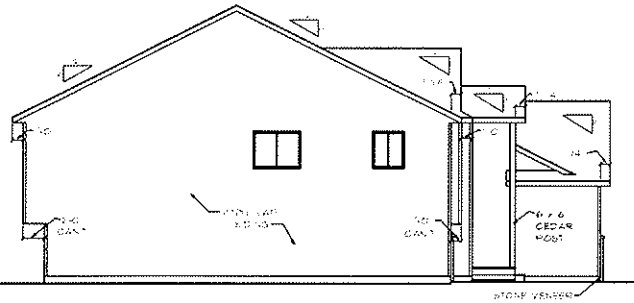
(ELEVATION C)

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- STEEL PANEL GARAGE DOORS
- STONE VENEER w/ADDRESS STONE
- VINYL LAP SIDING @ ALL SIDES
- VINYL SHAKE SIDING @ FRONT ONLY
- SIDES OF DORMER ONLY
- WINDOW GRIDS @ FRONT ONLY
- NO GABLE END RETURNS

ARTIST CONCEPT: THIS CONCEPT WAS CREATED
 AS SHOWN FOR ILLUSTRATIVE PURPOSES ONLY
 AND MAY NOT REPRESENT THE ACTUAL PRODUCT.

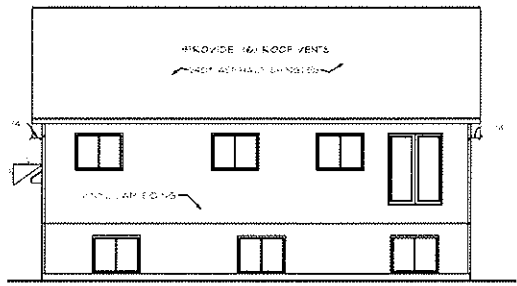


LEFT ELEVATION
 16' x 40'

(w/ LOOKOUT)

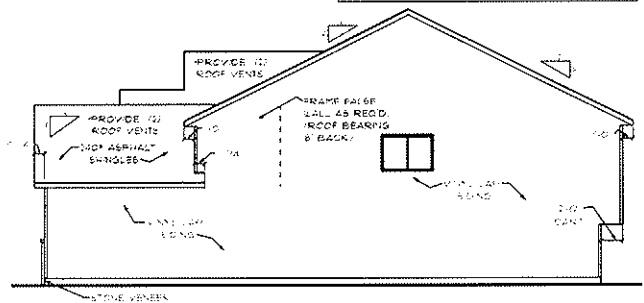
FRONT ELEVATION

1/4" = 1'-0"



REAR ELEVATION
 8' x 40'

(w/ LOOKOUT)



RIGHT ELEVATION
 16' x 40'

(w/ LOOKOUT)

THIS IS A (5) COURSE SPLIT ENTRY
 WITH A LOOKOUT FOUNDATION.

REVISIONS:

DATE: 1-4-12

1465th

Capstone Homes, Inc.
 14615 SUNFISH LAKE BLVD. SW
 SUITE 300
 RAMSEY, MN 55303
 OFFICE: (763) 427-5090
 FAX: (763) 712-9100
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Fig. 1 of 5

THE "SEAPORT" 40'

(ELEVATION D)

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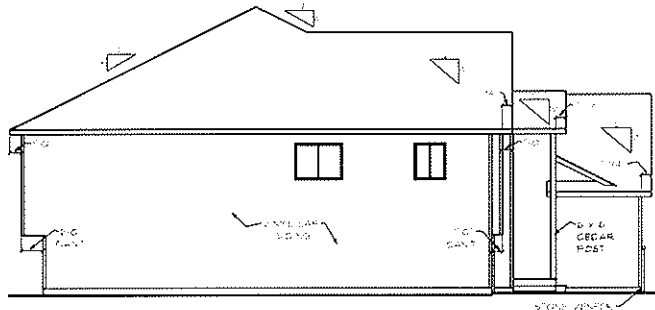
- STEEL PANEL GARAGE DOORS
- STONE VENEER w/ADDRESS STONE
- VINYL LAP SIDING @ ALL SIDES
- VINYL VERTICAL SIDING @ FRONT ONLY
- WINDOW GRIDS @ FRONT ONLY
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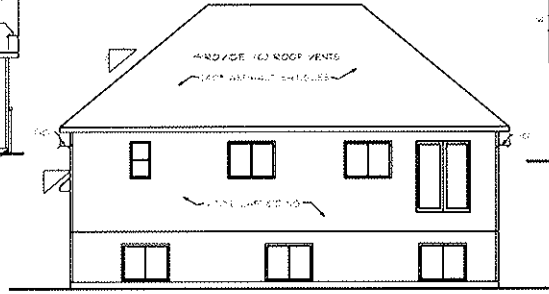
FRONT ELEVATION

1/4" = 1'-0"

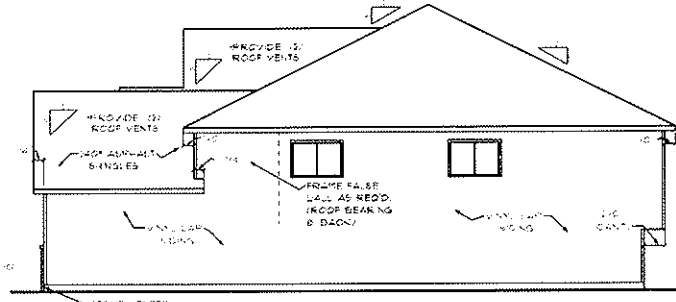
THIS IS A (5) COURSE SPLIT ENTRY WITH A LOOKOUT FOUNDATION.



LEFT ELEVATION
8'-0"



REAR ELEVATION
12'-0"



RIGHT ELEVATION
8'-0"

APPROVAL

LOT: _____ BLOCK: _____

THE "SEAPORT 40"

WAIVER

STAMP SIGNATURE AND SEAL SHALL BE TO APPEAR WITH THESE PLANS AND SHALL BE THE PROPERTY OF THE DESIGNER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES.

REVISIONS:

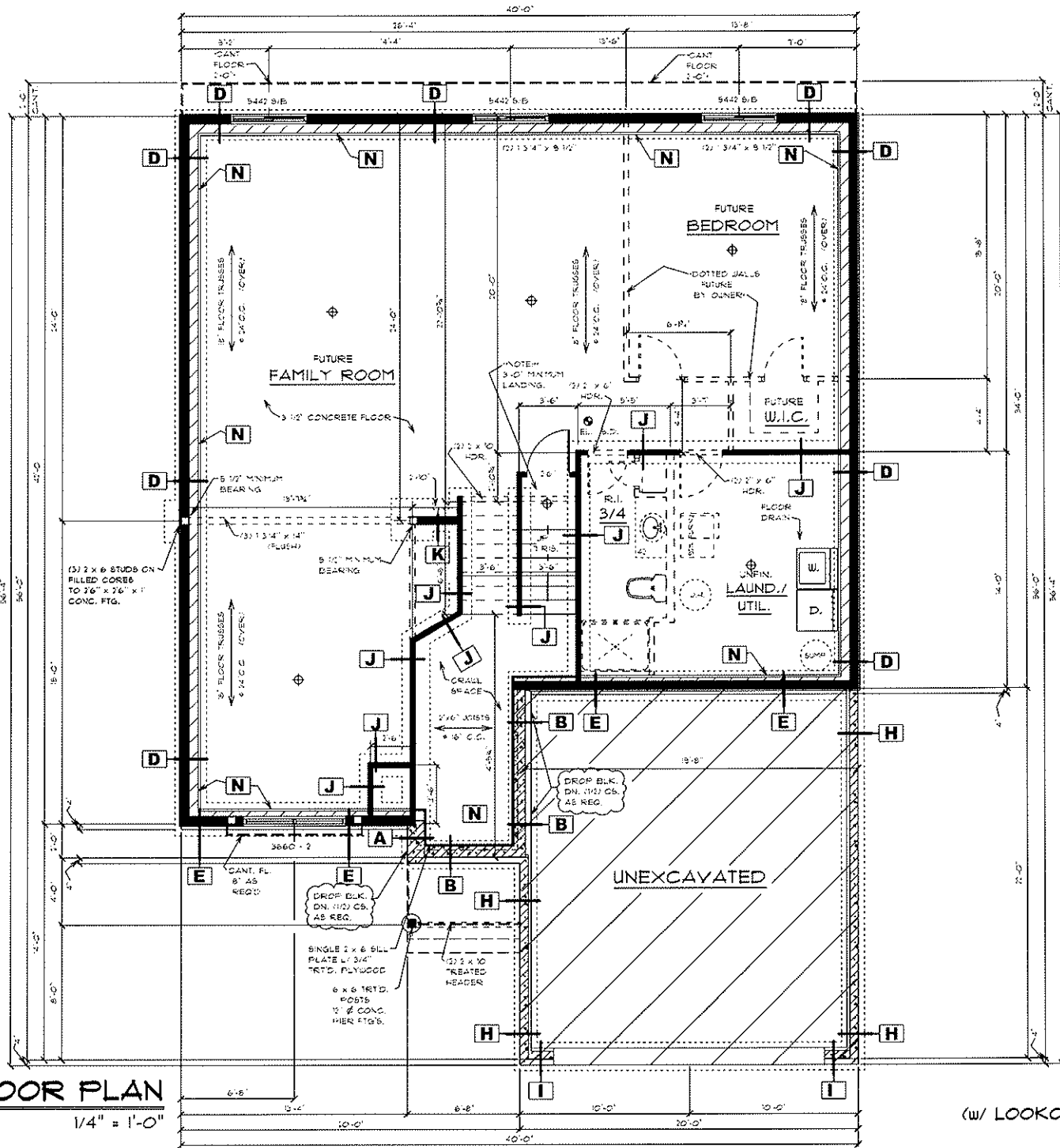
DATE

1630

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 SUITE 400
 RANNEY, MN 55303
 OFFICE: (763) 427-3090
 FAX: (763) 742-9000
 WWW.MARKSCUSTOMHOMES.COM

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19 of 6



- NOTES:**
- "UNDOOR" WINDOWS SHOWN
 - FRAME ALL PAT. DOORS 4" T x 6" STUDS @ 16" O.C.
 - ALL BEARING HEADERS TO BE 12" x 12" UNLESS OTHERWISE NOTED
 - ALL 8" x 12" F.L. HEADERS TO BE SET 1" FROM STRAND
 - [Symbol] INDICATES 2" x 4" STUDS UNLESS OTHERWISE NOTED

FOUNDATION NOTES:

- A** 5 1/2" c 12" CONCRETE BLOCK
20 x 8 CONCRETE FOOTING
- B** 1 1/2" c 8" CONCRETE BLOCK
4 c 12" CONCRETE BLOCK
20 x 8 CONCRETE FOOTING
- C** 1 c 8" CONCRETE BLOCK
1 c 12" CONCRETE BLOCK
20 x 8 CONCRETE FOOTING
- D** 2 x 6 STUDS 16" o.c.
5 c 12" CONCRETE BLOCK
20 x 8 CONCRETE FOOTING
- E** 2 x 6 STUDS 16" o.c.
1 c 8" CONCRETE BLOCK
4 c 12" CONCRETE BLOCK
20 x 8 CONCRETE FOOTING
- F** 2 x 5 STUDS 16" o.c.
1 c 8" HALF - HIGH
5 c 12" CONCRETE BLOCK
20 x 8 CONCRETE FOOTING
- G** 1 c 12" CONCRETE BLOCK
20 x 8 CONCRETE FOOTING
- H** 1 c 6" CONCRETE BLOCK
4 c 8" CONCRETE BLOCK
20 x 8 CONCRETE FOOTING
- I** 1 c 8" CONCRETE BLOCK
4 c 12" CONCRETE BLOCK
20 x 8 CONCRETE FOOTING
- J** 2 x 4 STUDS 24" o.c.
1 c 4" HALF - HIGH
20 x 8 CONCRETE FOOTING
- K** 2 x 6 STUDS 24" o.c.
w/ MID-SPAN BLOCKING
1 c 6" HALF - HIGH
20 x 8 CONCRETE FOOTING
- L** (3) 2 x 4 STUDS
30 x 30 x 12 CONC. PAD
- M** (3) 2 x 6 STUDS
30 x 30 x 12 CONC. PAD
- N** 1 1/2" FOIL-BACKED FOAM INSULATION (R - 9.5)
- O** 2 x 4 STUDS 24" o.c.
R - 11 F.G. BATT INSULATION
POLY VAPOR BARRIER

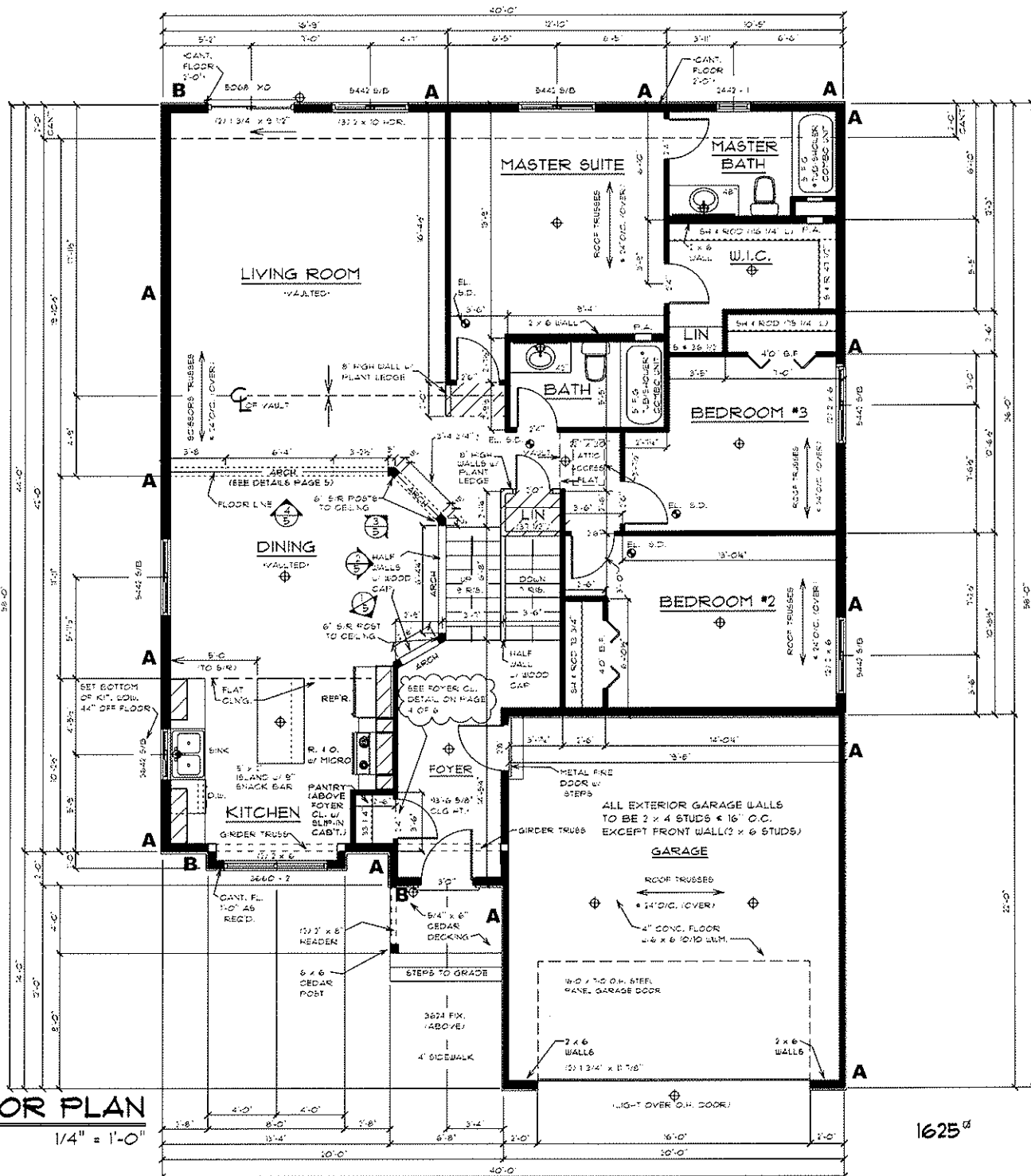
WINDOW AND PATIO DOOR LIST

WINDOWS/ PATIO DOORS	ROUGH OPENING	STG.	U
3660-2	6'-0" x 3'-6 1/4"	30	10
5442-5/B	4'-6" x 3'-6 1/4"	30	10

LOWER FLOOR PLAN

1/4" = 1'-0"

(w/ LOOKOUT)



- NOTES:**
- WINDOWS AND PATIO DOOR LIST
 - 1"11/2" PLATE HEIGHT - 1/4" ENTIRE TOP LEVEL, FRAME ALL EXT. WALLS 1/2" x 6" STUDS @ 16" O.C.
 - 1/2" x 4" S/B PLATE HEIGHT - FOYER LEVEL - (SEE SECTION PAGE 4 OF 5)
 - 1"11/2" PLATE HEIGHT FROM FOYER FLOOR TO TOP OF GARAGE WALL
 - ALL DEAK VS. HEADERS TO BE 1/2" x 10" UNLESS OTHERWISE NOTED.
 - ALL 3/4" x 6" HEADERS TO BE 1/2" x 10" UNLESS OTHERWISE NOTED.
 - ALL GATES 12" x 6" UNLESS OTHERWISE NOTED.

WINDOWS AND PATIO DOOR LIST			
WINDOWS/PATIO DOORS	ROUGH OPENING	STC.	J
3660-2	6'-0" x 5'-0 1/4"	30	10
3442 S/D	2'-6" x 3'-6 1/4"	30	10
3642 S/D	3'-0" x 3'-6 1/4"	30	10
3122-1	2'-0" x 3'-6 1/4"	30	10
3636 - FIXED	3'-0" x 3'-0 1/4"	30	10
3608 1/2	5'-0" x 6'-8"	30	28
3618 - 1 TRANK.	3'-0" x 11'-6 1/4"	30	10
3" DOOR	36 5/16" x 67 3/16"	30	10

MAIN FLOOR PLAN

1/4" = 1'-0"

1625⁰⁵

*Lakes 29m Addition - See Attached Document

CITY OF BLAINE

RESOLUTION NO. 05-42

GRANTING A CONDITIONAL USE PERMIT
PER SECTION 29.80 OF THE ZONING ORDINANCE
OF THE CITY OF BLAINE
MAIN STREET 1000, LLC
EAST OF RADISSON ROAD AND SOUTH OF 125TH AVENUE
(WEST AND EAST OF HARPERS STREET ALIGNMENT)

WHEREAS, an application has been filed by Main Street 1000, LLC as conditional use permit Case File No. 05-01; and

WHEREAS, a public hearing has been held by the Blaine Planning Commission on January 11, 2005; and

WHEREAS, the Blaine Planning Commission recommends said conditional use permit be approved; and

WHEREAS, the Blaine City Council has reviewed said case on February 7th and 17th, 2005.

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Blaine that a conditional use permit is hereby approved per Section 29.80 of the zoning ordinance to develop up to 94 single family detached lots and 405 attached townhomes as part of a master planned phased development based on the following conditions:

The Lakes of Radisson North Second Addition Single Family Detached - DF Development Standards:

Permitted Uses

1. Single-family detached dwellings.
2. Group family daycare.

Accessory Uses

1. Private garages - one detached accessory structure, with area less than 120 square feet, will be permitted.
2. Private swimming pools/meeting the requirements of Blaine Municipal Code Section 6-121.
3. Keeping of not more than two (2) boarders and/or roomers per dwelling unit.

Conditional Uses

1. Home occupations listed as conditional uses fewer than 33.11.

Standards

1. Front yard setback - 25 feet. 20-foot for the lots with alley access.
2. Side-yard setback- five (5) feet for house-five (5) feet for garage except that rear alley garages may be set at zero lot line. In no instance may structures on adjacent lots be less than 5 feet house to garage or 10 feet house to house.
3. Corner side yard setback - 20 feet. Garages facing and accessing the corner side yard shall have setback of 25 feet.
4. Rear yard setback - 25 feet for house or front facing garage. 22-foot for the lots with alley access.
5. Maximum building height - 2 1/2 stories or 35 feet.
6. It shall be required for all single family dwellings that there be an attached garage constructed of a minimum of four hundred (400) square feet, with no dimension less than 20 feet. Total garage space shall not exceed one thousand (1,000) square feet. Detached garages or accessory storage buildings above 120 square feet are not permitted. Accessory storage buildings below 120 square feet must meet 5-foot side and rear yard setbacks and be located within the rear yard.
7. Minimum square footage above grade for all homes to be 1,240 square feet.
8. Maximum building pad size – 40 feet in width.
9. No side entries are allowed.
10. All homes to be constructed utilizing pre-approved exterior materials, roof pitches and elevations. All house exteriors to utilize maintenance-free materials to the extent possible. All house exteriors to provide enhanced window fenestration. Care to be taken to utilize a variety of home styles, front elevations and colors to provide maximum housing variety within each neighborhood. Developer to establish criteria to ensure that adjacent single-family homes built within the development do not have the same exterior color or architectural elevations.
11. All residential dwellings must be built in conformance with the current edition of the Minnesota State Building Code.
12. Driveways shall not be constructed closer than five (5) feet to the property line except as provided with alley facing garages, which can be zero lot line. All driveways and approaches shall be hard surfaced using concrete, bituminous asphalt or other City approved material that is consistent in durability and quality.
13. Rear yard alleys or service drives are considered private shared driveways and are to be maintained privately by covenant agreement or homeowner's association.
14. It shall be required that all yards of a new single-family dwelling be sodded over a minimum of four (4) inches of topsoil (black dirt containing not more than 35 percent sand). Yards may be seeded over four (4) inches of black dirt if underground irrigation is installed with the home.
15. Each lot shall contain one overstory tree (2 ½ inch caliper), one conifer tree (minimum of 6 feet in height), and one ornamental tree (2 inch caliper).
16. Underground irrigation required for all landscaped areas.

17. Fences, if permitted by developer covenants, are to meet the standards of the Blaine Zoning Ordinance Chapter 33.09 (a-f), with the exception that adjacent to water or park outlots fences shall have maximum height of four (4) feet. Fence styles to be approved by the Master Homeowner's Association and constructed with maintenance free materials.
18. All homes, within the development to incorporate Airport Noise Abatement Standards to mitigate noise impacts.
19. Developer to execute and record, with the sale of each single family lot, an affidavit indicating to homebuyers that the soils located in the rear and side yards of the single family lots have not been corrected to accommodate general building construction or pools and that additional effort may be required, by the homeowner, to stabilize those soils before additional construction could occur.

The following conditions are recommended for the 405 attached townhome units to be constructed:

1. Construction of all attached housing units to be generally guided by the City Council's Resolution and by depictions, drawings and information on the attached plans. All site plans and unit plans require approval of the Planning Department prior to work beginning. All site work to meet the Performance Standards Section 33.00 of the Zoning Ordinance.
2. All site plans to be reviewed, by the City, for how the site plans deal with berming and landscaping along 125th Avenue, setbacks between units and paved surfaces, provision for adequate and convenient off-street parking, landscape treatments along project edges and between project types, emergency vehicle access, fire hydrant spacing, and private park facility.
3. All housing units to incorporate Airport Noise Abatement Standards with Central Air conditioning.
4. Developer to install grouped mailboxes with design and locations approved by City and US Postal Service.
5. All attached housing units, with total structure sizes greater than 8,500 square feet, to be provided with automatic fire suppression systems.
6. Minimum floor area above grade for attached condominiums and townhomes of 1,225 square feet.
7. Model home sales area with one temporary office trailer to be set-up based on location, site and landscape plans to be approved by the City prior to installation. Sales trailer to be removed within one year from 1st phase final plat approval by the City Council.
8. One (1) overstory tree, one (1) conifer tree and one ornamental tree are required to be planted, for each residential unit, within the townhome development.
9. All ornamental trees must be at least 2-inch caliper.
10. The following units to have enhanced end units (Rottlund):

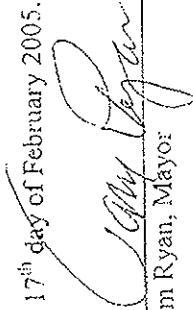
- Vistas Lot #22 Block 1 (East End)
 Lots #23-25 Block 1 (South End)
- Villas Lot # 5 Block 1 (South End)
 Lot # 9 Block 1 (East End)
- Garden Homes Lot #28 Block 1 (East End)
 Lots # 34-35 Block 1 (South End)
 Lot #16 Block 2 (North End)
 Lot #17 Block 2 (West End)
- Urban Villas Lot # 1 Block 1 (East End)
 Lot # 4 Block 1 (West End)
 Lot # 27 Block 1 (East End)
 Lot # 1 Block 2 (East End)
 Lot # 7 Block 2 (North End)
 Lot # 8 Block 2 (West End)
 Lot #12 Block 2 (West End)

11. The three units facing Street G in the Sharper attached townhome area to have brick up to the roof on the column with four windows on the front elevations. This column has been specifically noted on the attached elevations.

PASSED by the City Council of the City of Blaine this 17th day of February 2005.

ATTEST:


 Jane M. Cross, CMC, City Clerk


 Tom Ryan, Mayor