

Case File No. 16-0018

Blaine Planning Department / 10801 Town Square Dr NE / Blaine, MN 55449 / (763) 785-6180





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INVICTUS BREWING, LLC
 2025 105th AVENUE NE
 BLAINE, MN 55449

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 7200 Hemlock Lane, Suite 300
 Maple Grove, MN 55369
 763.424.5505
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SUBMITTAL/REVISIONS

03-11-16	CITY SUBMITTAL
03-22-16	PER CITY COMMENTS
03-24-16	PER CITY COMMENTS

PROFESSIONAL SIGNATURE
 I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Nicholas M. Mannel - PE
 License No. 45861
 Date

QUALITY CONTROL

Loucks Project No.	16034
Project Lead	NMM
Drawn By	SRT
Checked By	NMM
Review Date	03/22/16

SHEET INDEX

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SITE PLAN
C2-1

EXISTING	CIVIL LEGEND	PROPOSED
	SANITARY MANHOLE	
	STORM MANHOLE	
	CATCH BASIN	
	CULVERT	
	HYDRANT	
	GATE VALVE	
	POST INDICATOR VALVE	
	LIGHT POLE	
	POWER POLE	
	SIGN	
	BENCHMARK	
	SOL BORINGS	
	WATER MANHOLE	
	TELEPHONE MANHOLE	
	UTILITY MANHOLE	
	ELECTRIC MANHOLE	
	WATER SERVICE	
	SANITARY SERVICE	
	HANDICAP PARKING	
	DIRECTION OF FLOW	
	SPOT ELEVATION	
	CONTOURS	
	SANITARY SEWER	
	STORM SEWER	
	WATERMAIN	
	FORECMAN	
	DRANTILE	
	SILT FENCE	
	CURB & GUTTER	
	RETAINING WALL	
	TRELLINE	
	EASEMENT LINE	
	SETBACK LINE	
	FENCE LINE	
	UNDERGROUND TELE	
	UNDERGROUND GAS	
	OVERHEAD UTILITY	
	UNDERGROUND FIBER OPTIC	
	UNDERGROUND ELECTRIC	
	UNDERGROUND CABLE TV	
	PROPERTY LINE	
	CONIFEROUS TREE	
	DECIDUOUS TREE	
	PARKING COUNTS	

SITE PLAN LEGEND

	CONCRETE SIDEWALK
	BITUMINOUS PAVEMENT
	HEAVY DUTY BITUMINOUS PAVEMENT
	CONCRETE PAVEMENT
	GRAVEL
	CONSTRUCTION LIMITS

SITE DATA

CURRENT ZONING: I2 - HEAVY INDUSTRIAL
 PROPOSED ZONING: I2 - HEAVY INDUSTRIAL
 PROPERTY AREA: 2.00 AC
 EXISTING IMPERVIOUS AREA: 0.17 AC (8.5%)
 PROPOSED IMPERVIOUS AREA: 1.22 AC (61%)

- SITE NOTES**
- ALL PAVING, CONCRETE CURB, GUTTER AND SIDEWALK SHALL BE FURNISHED AND INSTALLED IN ACCORDANCE WITH THE DETAILS SHOWN PER THE DETAIL SHEETS AND STATE/LOCAL JURISDICTION REQUIREMENTS.
 - ACCESSIBLE PARKING AND ACCESSIBLE ROUTES SHALL BE PROVIDED PER CURRENT ADA STANDARDS AND LOCAL/STATE REQUIREMENTS.
 - ALL CURB DIMENSIONS SHOWN ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
 - ALL BUILDING DIMENSIONS ARE TO THE OUTSIDE FACE OF WALL UNLESS OTHERWISE NOTED.
 - TYPICAL FULL SIZED PARKING STALL IS 9' X 20' UNLESS OTHERWISE NOTED.
 - ALL CURB RADII SHALL BE 3.0' UNLESS OTHERWISE NOTED.
 - BITUMINOUS IMPREGNATED FIBER BOARD TO BE PLACED AT FULL DEPTH OF CONCRETE ADJACENT TO EXISTING STRUCTURES AND BEHIND CURB ADJACENT TO DRIVEWAYS AND SIDEWALKS.
 - SEE SITE ELECTRICAL PLAN FOR SITE LIGHTING.

OFF-STREET PARKING CALCULATIONS

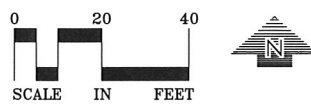
CITY REQUIREMENT:
 1 STALL PER 100 SF
 TOTAL BUILDING S.F. - 8,474 S.F.
 TOTAL PARKING REQUIRED = 8,474 / 100 = 85 STALLS

EXISTING PARKING = 0 STALLS
 PROPOSED TOTAL PARKING PROVIDED = 85 STALLS

ACCESSIBLE PARKING

EXISTING ACCESSIBLE PARKING:	0 STALLS
REMOVED ACCESSIBLE PARKING:	-0 STALLS
PROPOSED ACCESSIBLE PARKING:	5 STALLS
TOTAL	5 STALLS

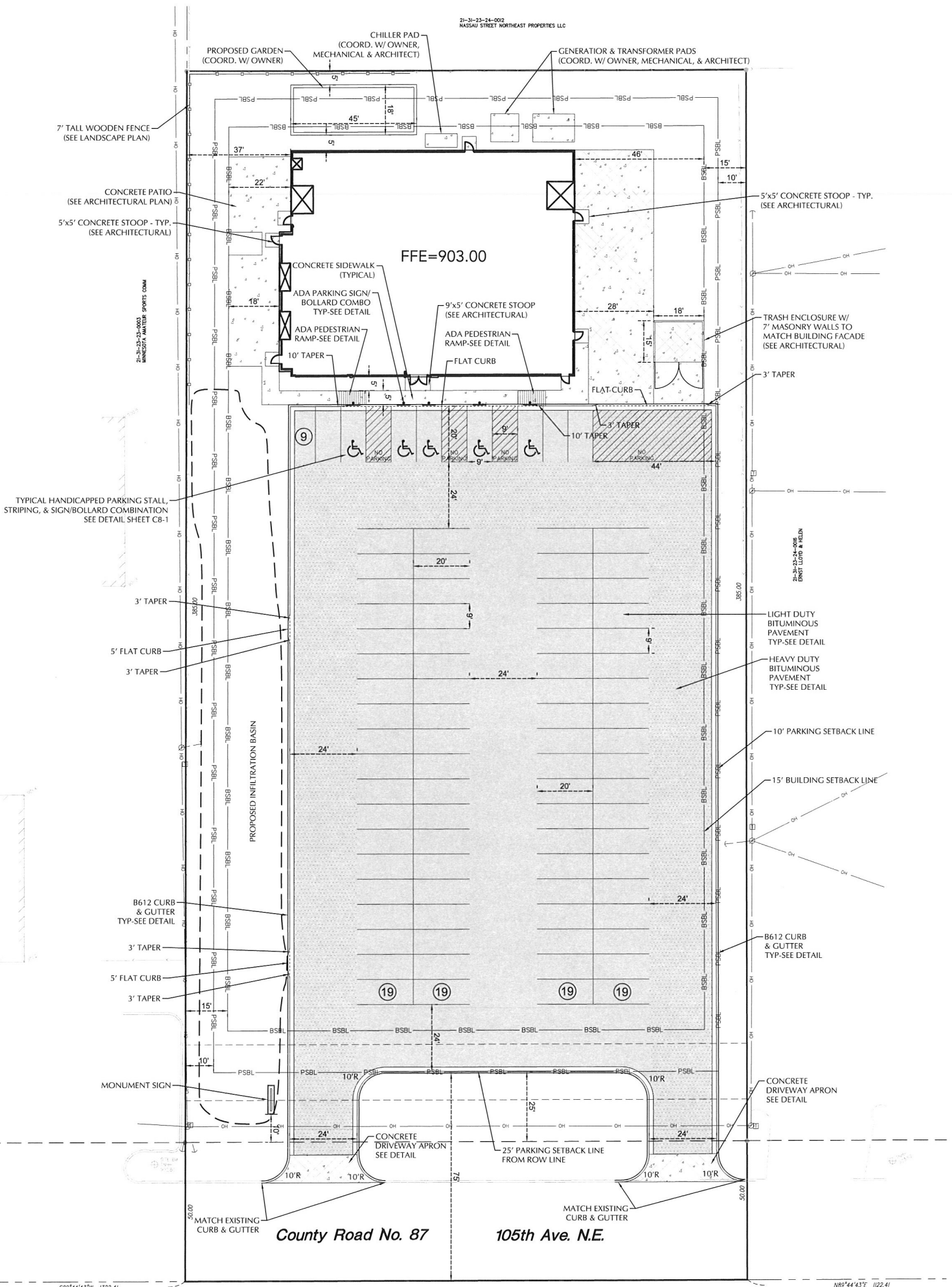
REQUIRED ACCESSIBLE PARKING: 4 STALLS**
 **REQUIRED MINIMUM NUMBER OF ACCESSIBLE SPACES FOR 76 TO 100 STALLS



BENCHMARK
 TOP NUT HYDRANT LOCATED NEAR THE SOUTHWEST OF THE PROPERTY
 ELEVATION=902.80 FEET (NGVD 1929)

WARNING:
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR CALLING FOR LOCATIONS OF ALL EXISTING UTILITIES. THEY SHALL COOPERATE WITH ALL UTILITY COMPANIES IN MAINTAINING THEIR SERVICE AND / OR RELOCATION OF LINES.

THE CONTRACTOR SHALL CONTACT GOPHER STATE ONE CALL AT 651-454-0002 AT LEAST 48 HOURS IN ADVANCE FOR THE LOCATIONS OF ALL UNDERGROUND WIRES, CABLES, CONDUITS, PIPES, MANHOLES, VALVES OR OTHER BURIED STRUCTURES BEFORE DIGGING. THE CONTRACTOR SHALL REPAIR OR REPLACE THE ABOVE WHEN DAMAGED DURING CONSTRUCTION AT NO COST TO THE OWNER.



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	GATE VALVE	
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	LIGHT POLE	
	POKER POLE	
	SIGN	
	BENCHMARK	
	SOK BORINGS	
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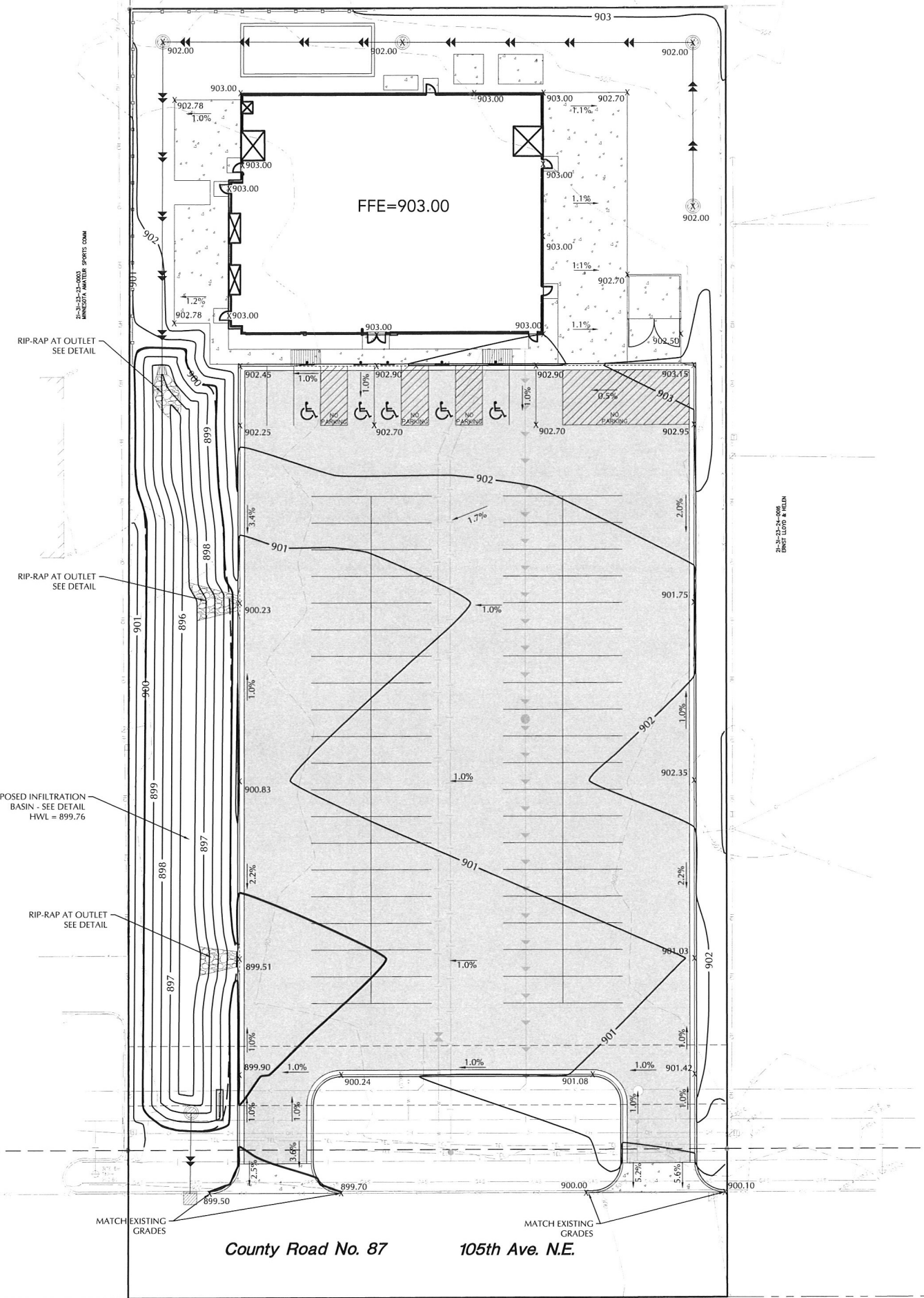
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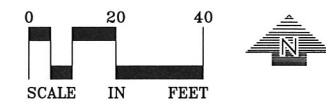
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**GRADING &
DRAINAGE
PLAN**
C3-1



GRADING, DRAINAGE & EROSION CONTROL NOTES

- SPOT ELEVATIONS REPRESENT FINISHED SURFACE GRADES, GUTTER/FLOW LINE, FACE OF BUILDING, OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
- CATCH BASINS AND MANHOLES IN PAVED AREAS SHALL BE SUMPED 0.04 FEET. ALL CATCH BASINS IN GUTTERS SHALL BE SUMPED 0.16 FEET. RIM ELEVATIONS SHOWN ON PLANS DO NOT REFLECT SUMPED ELEVATIONS.
- ALL DISTURBED UNPAVED AREAS ARE TO RECEIVE MINIMUM OF 4 INCHES OF TOP SOIL AND SEED/MULCH OR SOD. THESE AREAS SHALL BE WATERED/MAINTAINED BY THE CONTRACTOR UNTIL VEGETATION IS ESTABLISHED.
- FOR SITE RETAINING WALLS "TW" EQUALS SURFACE GRADE AT TOP FACE OF WALL (NOT TOP OF WALL), "GW" EQUALS SURFACE GRADE AT WALL GRADE TRANSITION, AND "BW" EQUALS SURFACE GRADE AT BOTTOM FACE OF WALL (NOT BOTTOM OF BURIED WALL COURSES).
- STREETS MUST BE CLEANED AND SWEEPED WHENEVER TRACKING OF SEDIMENTS OCCURS AND BEFORE SITES ARE LEFT IDLE FOR WEEKENDS AND HOLIDAYS. A REGULAR SWEEPING SCHEDULE MUST BE ESTABLISHED.
- DUST MUST BE ADEQUATELY CONTROLLED.
- SEE SWPPP FOR ADDITIONAL EROSION CONTROL NOTES AND REQUIREMENTS.
- SEE UTILITY PLANS FOR WATER, STORM AND SANITARY SEWER INFORMATION.
- SEE SITE PLAN FOR CURB AND BITUMINOUS TAPER LOCATIONS.
- SEE LANDSCAPE PLAN FOR FINAL SITE STABILIZATION.



BENCHMARK
TOP NUT HYDRANT LOCATED NEAR THE SOUTHWEST OF THE PROPERTY
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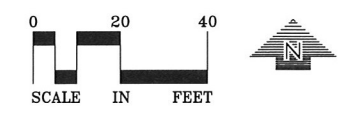
UTILITY PLAN
C4-1

EXISTING	CIVIL LEGEND	PROPOSED
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	STORM MANHOLE	
	CATCH BASIN	
	CULVERT	
	HYDRANT	
	GATE VALVE	
	POST INDICATOR VALVE	
	LIGHT POLE	
	POWER POLE	
	SIGN	
	BENCHMARK	
	SOIL BORINGS	
	WATER MANHOLE	
	TELEPHONE MANHOLE	
	UTILITY MANHOLE	
	ELECTRIC MANHOLE	
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	SANITARY SERVICE	
	HANDICAP PARKING	
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	CONTOURS	
	SANITARY SEWER	
	STORM SEWER	
	WATERMAIN	
	FIREMAN	
	DRAINLINE	
	SALT FENCE	
	CURB & GUTTER	
	RETAINING WALL	
	TREE LINE	
	EASEMENT LINE	
	SETBACK LINE	
	FENCE LINE	
	UNDERGROUND TELE	
	UNDERGROUND GAS	
	OVERHEAD UTILITY	

UTILITY NOTES

- ALL SANITARY SEWER, STORM SEWER AND WATERMAIN UTILITIES SHALL BE FURNISHED AND INSTALLED PER THE REQUIREMENTS OF THE SPECIFICATIONS, THE MINNESOTA PLUMBING CODE, THE LOCAL GOVERNING UNIT, AND THE STANDARD UTILITIES SPECIFICATION OF THE CITY ENGINEERS ASSOCIATION OF MINNESOTA (CEAM), 2013 EDITION.
- ALL UTILITY PIPE BEDDING SHALL BE COMPACTED SAND OR FINE GRANULAR MATERIAL. ALL COMPACTION SHALL BE PERFORMED PER THE REQUIREMENTS OF THE CEAM SPECIFICATION.
- ALL CONNECTIONS TO EXISTING UTILITIES SHALL BE PERFORMED PER THE REQUIREMENTS OF THE STATE AND LOCAL JURISDICTIONS. THE CITY DEPARTMENT OF ENGINEERING AND BUILDING INSPECTIONS DEPARTMENT AND THE CONSTRUCTION ENGINEER MUST BE NOTIFIED AT LEAST 48 HOURS PRIOR TO ANY WORK WITHIN THE PUBLIC RIGHT OF WAY, OR WORK IMPACTING PUBLIC UTILITIES.
- ALL STORM SEWER, SANITARY SEWER AND WATER SERVICES SHALL TERMINATE 5' FROM THE BUILDING FACE UNLESS OTHERWISE NOTED.
- A MINIMUM OF 18 INCHES OF VERTICAL SEPARATION AND 10 FEET OF HORIZONTAL SEPARATION IS REQUIRED FOR ALL UTILITIES UNLESS OTHERWISE NOTED.
- ALL NEW WATERMAIN AND SERVICES MUST HAVE A MINIMUM OF 8.0 FEET OF COVER. EXTRA DEPTH MAY BE REQUIRED TO MAINTAIN A MINIMUM 18" VERTICAL SEPARATION TO SANITARY OR STORM SEWER LINES. THE CONTRACTOR SHALL FIELD ADJUST WATERMAIN TO AVOID CONFLICTS WITH SANITARY SEWER, STORM SEWER, AND SERVICES AS REQUIRED. INSULATION OF WATER AND SANITARY SEWER LINES SHALL BE PROVIDED WHERE 8.0 FEET MINIMUM DEPTH CAN NOT BE ATTAINED.
- ALL FIRE HYDRANTS SHALL BE LOCATED 5 FEET BEHIND BACK OF CURB OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
- PROPOSED PIPE MATERIALS:

WATERMAIN	DIP CLASS 53	2" TO 6" DIAMETER
SANITARY SEWER	PVC SDR 26	6" DIAMETER
STORM SEWER	DUAL WALL HDPE	10" TO 21" DIAMETER
- ALL SANITARY SEWER WYES, TEES AND SERVICES SHALL BE 6" PVC SDR 26.
- ALL PORTIONS OF THE STORM SEWER SYSTEM, INCLUDING CATCH BASINS, LOCATED WITHIN 10 FEET OF THE BUILDING OR WATER SERVICE LINE MUST BE TESTED ACCORDANCE WITH MINNESOTA RULES, PART 4715.2820
- ALL JOINTS AND CONNECTIONS IN THE STORM SEWER SYSTEM SHALL BE GASTIGHT OR WATERTIGHT (SEE MINNESOTA RULES, PART 4715.0700). APPROVED RESILIENT RUBBER JOINTS MUST BE USED TO MAKE WATERTIGHT CONNECTIONS TO MANHOLES, CATCHBASINS, AND OTHER STRUCTURES.
- HIGH-DENSITY POLYETHYLENE (HDPE) STORM DRAINS MUST COMPLY WITH MINNESOTA RULES, PART 4715.0540:
 - PIPES 4-INCH TO 10-INCH IN SIZE MUST COMPLY WITH AASHTO M252.
 - PIPES 12-INCH TO 60-INCH IN SIZE MUST COMPLY WITH ASTM F2306.
 - ALL FITTINGS MUST COMPLY WITH ASTM D3212.
 - WATER-TIGHT JOINTS MUST BE USED AT ALL CONNECTIONS INCLUDING STRUCTURES.

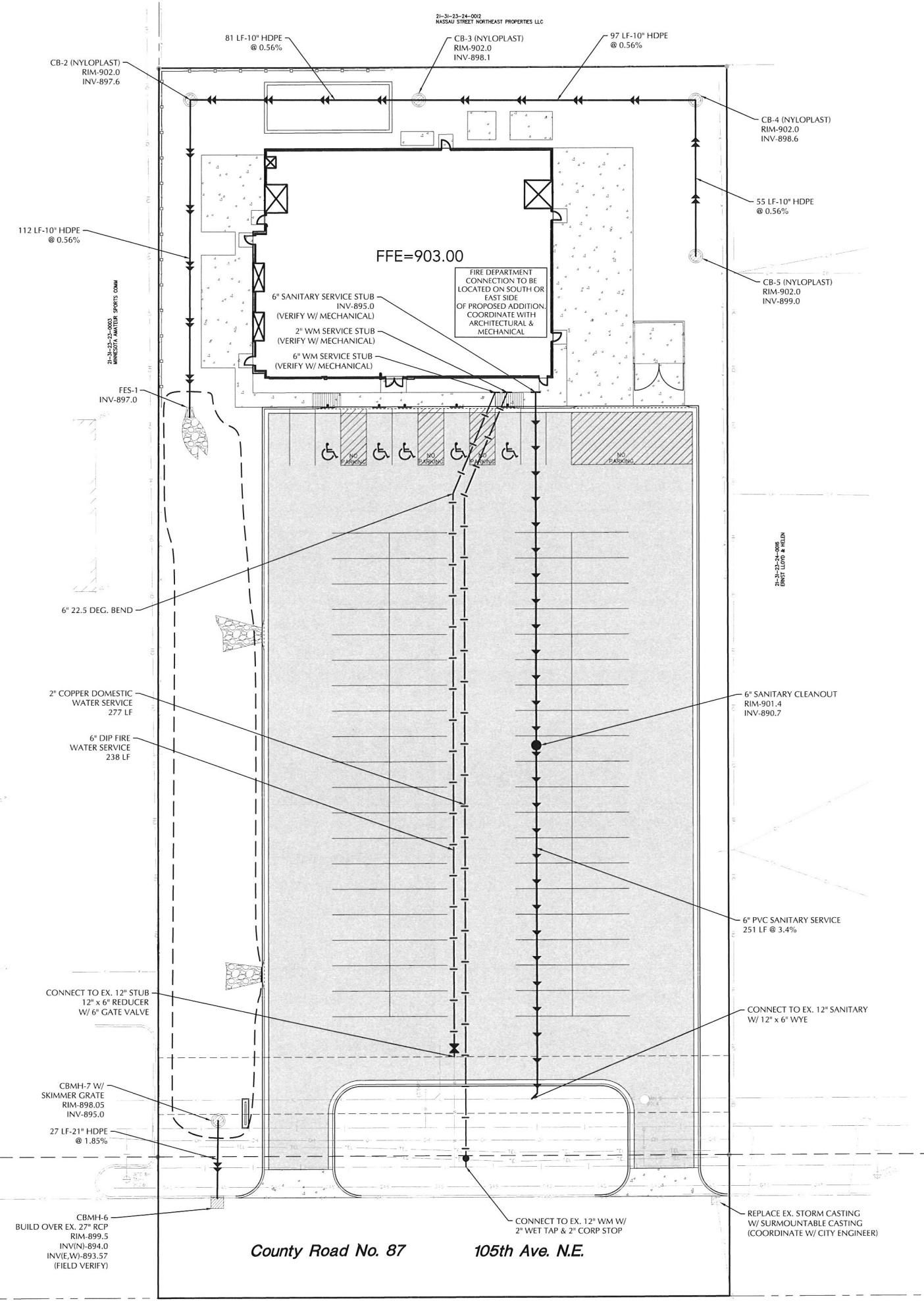


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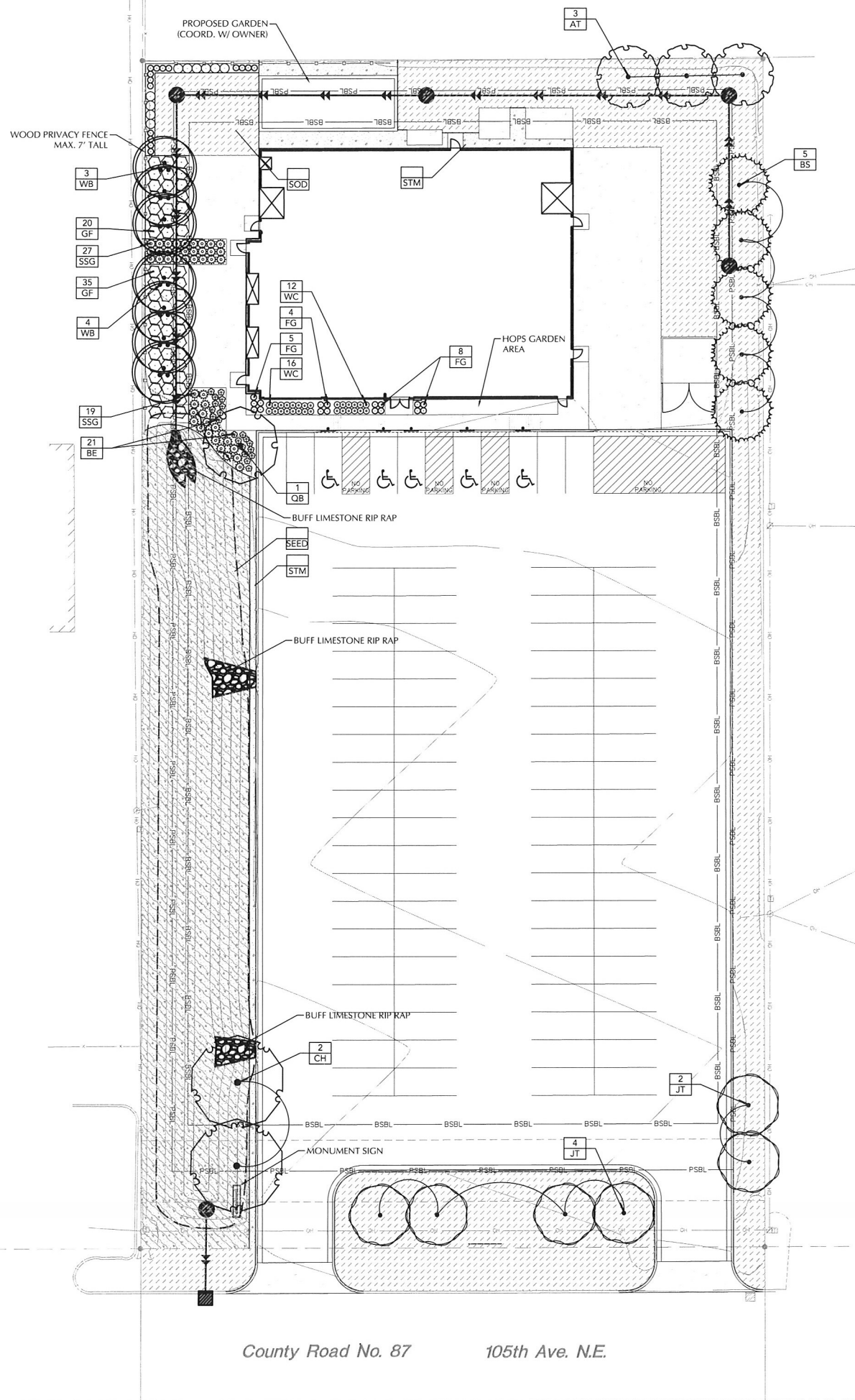
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PLANT SCHEDULE						
DECIDUOUS TREES	QTY	COMMON NAME	BOTANICAL NAME	CONT	SIZE	
CH	2	COMMON HACKBERRY	Celtis occidentalis	B & B	2.5' Cal	
QB	1	SWAMP WHITE OAK	Quercus bicolor	B & B	2.5' Cal	
WB	7	WHITESPIRE BIRCH CLUMP	Betula populifolia 'Whitespire Sr.'	B & B	8' HGT	
EVERGREEN TREES	QTY	COMMON NAME	BOTANICAL NAME	CONT	SIZE	
BS	5	BLACK HILLS SPRUCE FULL FORM	Picea glauca 'Densata'	B & B	6' HGT	
ORNAMENTAL TREES	QTY	COMMON NAME	BOTANICAL NAME	CONT	SIZE	
AT	3	APPLE TREE	Malus x	B & B	1.5' Cal	
JT	6	JAPANESE TREE LILAC	Syringa reticulata	B & B	1.5' Cal	
SHRUBS	QTY	COMMON NAME	BOTANICAL NAME	MIN CONT	MIN SIZE	SPACING
DH	10	DWARF BUSH HONEYSUCKLE	Diervilla lonicera	5 gal	18" HGT	36" o.c.
GF	55	GRO-LOW FRAGRANT SUMAC	Rhus aromatica 'Gro-Low'	5 gal	24" SPRD	48" o.c.
GRASSES	QTY	COMMON NAME	BOTANICAL NAME	MIN CONT	MIN SIZE	SPACING
FG	32	FEATHER REED GRASS	Calamagrostis x acutiflora 'Karl Foerster'	1 gal		24" o.c.
SSG	46	SHENANDOAH SWITCH GRASS	Panicum virgatum 'Shenendoah'	1 gal		36" o.c.
PERENNIALS	QTY	COMMON NAME	BOTANICAL NAME	MIN CONT	MIN SIZE	SPACING
BE	21	BLACK EYED SUSAN	Rudbeckia fulgida 'Goldstrum'	1 gal		24" o.c.
WC	28	WALKERS LOW CATMINT	Nepeta x faassenii 'Walkers Low'	1 gal		24" o.c.
GROUND COVERS	CODE	COMMON NAME	BOTANICAL NAME			
	SEED	NATIVE SEED				
	STM	STONE MULCH 1.5" BUFF LIMESTONE ROCK - 3" MINIMUM DEPTH OVER FILTER FABRIC				
	SOD	TURF SOD				

TREE PRESERVATION REQUIREMENTS

NO EXISTING TREES ARE LOCATED ON SITE THEREFORE THERE IS NO REQUIREMENT FOR TREE REPLACEMENT.

TOTAL CALIPER INCHES REQUIRED = 0"

TREE PLANTING REQUIREMENTS

BUILDING SF = 8,000SF
SITE PERIMETER = 1,170LF

1 OVERSTORY TREE PER 2,000SF OF BUILDING - 4 REQUIRED
OR 1 PER 100LF OF SITE PERIMETER - 12 REQUIRED
15% REDUCTION FOR I-2 ZONING DISTRICT - 10 REQUIRED
OVERSTORY TREES PROVIDED = 10

1 CONIFEROUS TREE PER 2,000SF OF BUILDING - 4 REQUIRED
OR 1 PER 200LF OF SITE PERIMETER - 6 REQUIRED
15% REDUCTION FOR I-2 ZONING DISTRICT - 5 REQUIRED
CONIFEROUS TREES PROVIDED = 5

1 SHRUB PER 300SF OF BUILDING - 27 REQUIRED
OR 1 PER 30LF OF SITE PERIMETER - 39 REQUIRED
15% REDUCTION FOR I-2 ZONING DISTRICT - 33 REQUIRED
SHRUBS PROVIDED = 65

1 ORNAMENTAL TREE PER 2,000SF OF BUILDING - 4 REQUIRED
OR 1 PER 200LF OF SITE PERIMETER - 6 REQUIRED
15% REDUCTION FOR I-2 ZONING DISTRICT - 5 REQUIRED
ORNAMENTAL TREES PROVIDED = 9

GENERAL NOTES

CONTRACTOR SHALL VISIT SITE PRIOR TO SUBMITTING BID. HE SHALL INSPECT SITE AND BECOME FAMILIAR WITH EXISTING CONDITIONS RELATING TO THE NATURE AND SCOPE OF WORK.

VERIFY LAYOUT AND ANY DIMENSIONS SHOWN AND BRING TO THE ATTENTION OF THE LANDSCAPE ARCHITECT ANY DISCREPANCIES WHICH MAY COMPROMISE THE DESIGN AND/OR INTENT OF THE PROJECT'S LAYOUT.

ASSURE COMPLIANCE WITH ALL APPLICABLE CODES AND REGULATIONS GOVERNING THE WORK OR MATERIALS SUPPLIED.

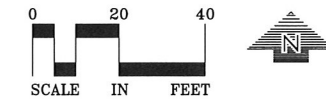
CONTRACTOR SHALL PROTECT ALL EXISTING ROADS, CURBS/GUTTERS, TRAILS, TREES, LAWNS AND SITE ELEMENTS DURING PLANTING OPERATIONS. ANY DAMAGE TO SAME SHALL BE REPAIRED AT NO COST TO THE OWNER.

CONTRACTOR SHALL VERIFY ALIGNMENT AND LOCATION OF ALL UNDERGROUND AND ABOVE GRADE UTILITIES AND PROVIDE THE NECESSARY PROTECTION FOR SAME BEFORE CONSTRUCTION / MATERIAL INSTALLATION BEGINS (MINIMUM 10' - 0" CLEARANCE).

ALL UNDERGROUND UTILITIES SHALL BE LAID SO THAT TRENCHES DO NOT CUT THROUGH ROOT SYSTEMS OF ANY EXISTING TREES TO REMAIN.

EXISTING CONTOURS, TRAILS, VEGETATION, CURB/GUTTER AND OTHER EXISTING ELEMENTS BASED UPON INFORMATION SUPPLIED TO LANDSCAPE ARCHITECT BY OTHERS. CONTRACTOR SHALL VERIFY ANY AND ALL DISCREPANCIES PRIOR TO CONSTRUCTION AND NOTIFY LANDSCAPE ARCHITECT OF SAME.

THE ALIGNMENT AND GRADES OF THE PROPOSED WALKS, TRAILS AND/OR ROADWAYS ARE SUBJECT TO FIELD ADJUSTMENT REQUIRED TO CONFORM TO LOCALIZED TOPOGRAPHIC CONDITIONS AND TO MINIMIZE TREE REMOVAL AND GRADING. ANY CHANGE IN ALIGNMENT MUST BE APPROVED BY LANDSCAPE ARCHITECT.



BENCHMARK

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ELEVATION=902.80 FEET (NGVD 1929)

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PLANNING
CIVIL ENGINEERING
LAND SURVEYING
LANDSCAPE ARCHITECTURE
ENVIRONMENTAL

7200 Hemlock Lane, Suite 300
Maple Grove, MN 55369
763.424.5505
www.loucksinc.com

CADD QUALIFICATION

CADD files prepared by the Consultant for this project are instruments of the Consultant's professional services for use solely with respect to this project. These CADD files shall not be used on other projects, for additions to this project, or for completion of this project by others, without written approval by the Consultant. With the Consultant's approval, others may be permitted to obtain copies of the CADD drawing files for information and reference only. All structural or engineering revisions, additions or deletions to these CADD files shall be made at the full risk of the party making such revisions, additions or deletions and the party shall hold harmless and indemnify the Consultant from any and all responsibility, claims and actions.

SUBMITTAL/REVISIONS

03-11-16 CITY SUBMITTAL
03-22-16 PER CITY COMMENTS
03-24-16 PER CITY COMMENTS

PROFESSIONAL SIGNATURE

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Nicholas M. Mannel - PE
License No. 45861
Date

QUALITY CONTROL

Loucks Project No. 16034
Project Lead NMM
Drawn By SRT
Checked By NMM
Review Date 03/22/16

SHEET INDEX

C1-1 EXISTING CONDITIONS
C2-1 SITE PLAN
C3-1 GRADING & DRAINAGE PLAN
C3-2 SWPPP
C3-3 SWPPP
C4-1 UTILITY PLAN
C8-1 CIVIL DETAILS
L1-1 LANDSCAPE PLAN
L2-1 LANDSCAPE DETAILS

LANDSCAPE PLAN

L1-1

INVICTUS BREWING COMPANY

2025 105TH AVE NE
BLAINE, MN 55449



1 PERSPECTIVE RENDERING
A0.0 NOT TO SCALE



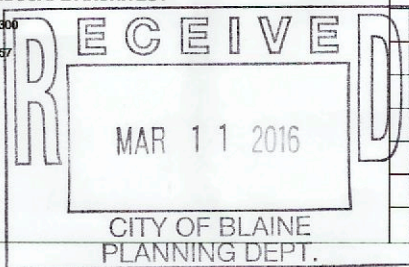
16 PERSPECTIVE FROM 105TH ST.
A0.0 3/16" = 1'-0"

PROJECT TEAM

OWNER
INVICTUS BREWING COMPANY
11981 MIDWAY ST. NE
BLAINE, MN 55449
PHONE NUMBER (612) 723-4090
CONTACT: PREVIN SOLBERG

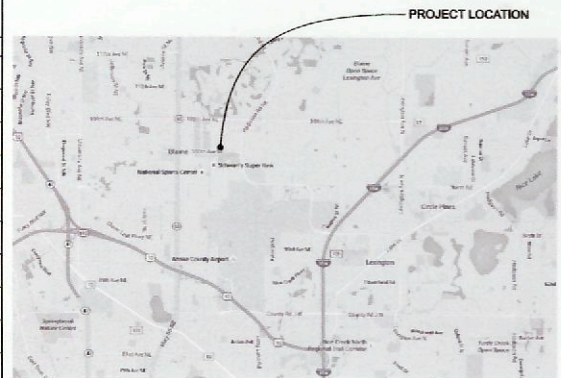
ARCHITECT
MICHAEL J. WILKUS A.L.A.,
15 NINTH AVENUE NORTH
HOPKINS, MINNESOTA 55343
PHONE NUMBER (952) 941-8660
FAX NUMBER (952) 941-2755
CONTACT: KEVIN GREEN

CIVIL ENGINEER / LANDSCAPE ARCHITECT
LOUCKS INC.
7200 HEMLOCK LANE, SUITE 300
MAPLE GROVE, MN 55369
PHONE NUMBER (763) 496-6757
CONTACT: NICK MANNEL



SHEET INDEX

REV. #	SHEET	SHEET TITLE
	A0.0	Cover Sheet
	ALTA	CIVIL SITE SURVEY
	C1-1	EXISTING CONDITIONS PLAN
	C2-1	CIVIL SITE PLAN
	C3-1	GRADING & DRAINAGE PLAN
	C3-2	STORMWATER POLLUTION PREVENTION PLAN
	C3-3	STORMWATER POLLUTION PREVENTION DETAILS
	C4-1	SITE UTILITY PLAN
	C8-1	CIVIL DETAILS
	A2.0	Preliminary Floor Plan
	A3.0	Proposed Exterior Elevations
	L1-1	LANDSCAPE PLAN
	L2-1	LANDSCAPE DETAILS



4 LOCATION MAP
A0.0 NOT TO SCALE



15 North Avenue North, Hopkins, MN 55343
Phone: 952.941.8660 www.wilbusarch.com



INVICTUS BREWING COMPANY
11981 MIDWAY ST. NE
BLAINE, MN 55449

PROJECT INFORMATION:

INVICTUS BREWING
2025 105TH AVE NE
BLAINE, MN 55449

SEAL:
I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION,
OR REPORT WAS PREPARED BY ME OR UNDER MY
DIRECT SUPERVISION AND THAT I AM A DULY LICENSED
ARCHITECT UNDER THE LAWS OF THE STATE OF
MINNESOTA.

Print Name: MICHAEL J. WILKUS

Signature:
License No.: 16390
Expiration Date: 00-00-00
Date: 03-11-16

PROJECT NO.: 2016-0073
DRAWN BY: CASEY COTTAMP
CHECKED BY: KEVIN GREEN

ISSUE: DATE:
CUP SUBMITTAL: 03-11-2016




REVISION: DATE:

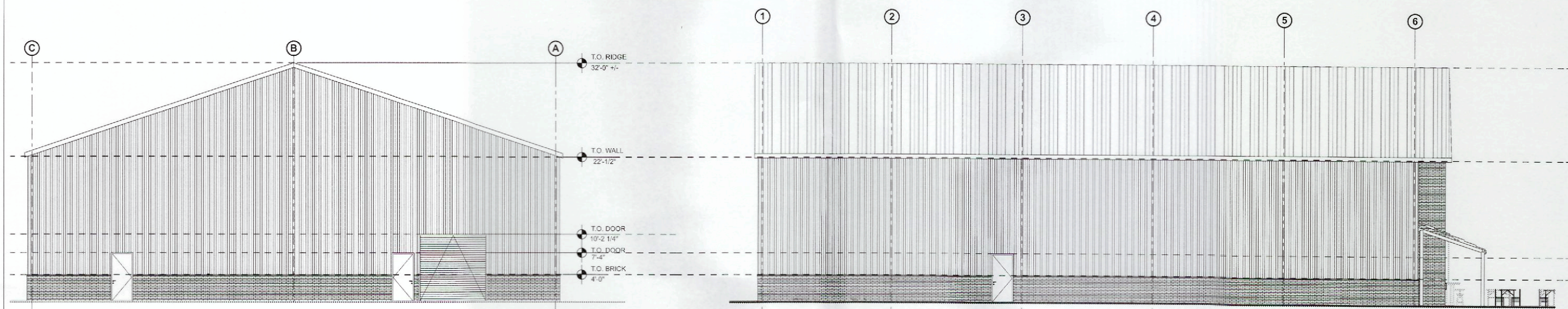
PROJECT LOCATION:
BLAINE, MN

SHEET NUMBER / TITLE:
A0.0

Cover Sheet

PROPOSED EXTERIOR MATERIALS

-  STANDING SEAM METAL ROOF
-  CORRUGATED METAL SIDING
-  COMMON BRICK

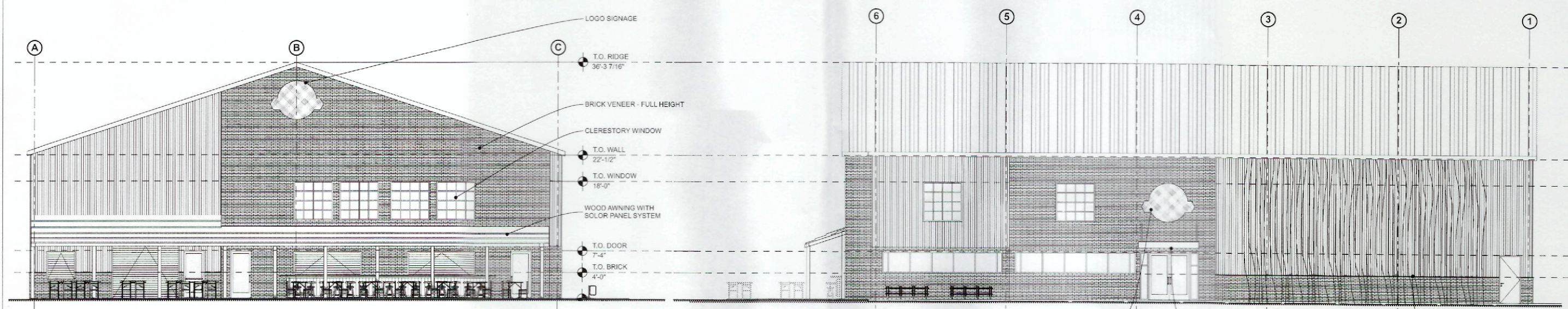


13% MASONRY

22% MASONRY

9 EAST ELEVATION
A3.0
1/8" = 1'-0"

1 NORTH ELEVATION
A3.0
1/8" = 1'-0"

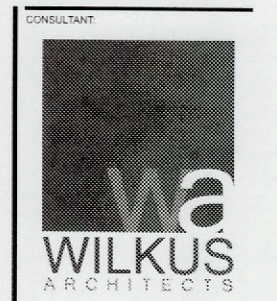


70% MASONRY

52% MASONRY

11 WEST ELEVATION
A3.0
1/8" = 1'-0"

3 SOUTH ELEVATION
A3.0
1/8" = 1'-0"



15 North Avenue South - Hopkins, MN 55343
Phone: 952.941.8881 | www.wilkusarch.com



INVICTUS BREWING COMPANY
11981 MIDWAY ST. NE
BLAINE, MN 55449

PROJECT INFORMATION

INVICTUS BREWING
2025 105TH AVE NE
BLAINE, MN 55449

SEAL
I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.

Print Name: MICHAEL J. WILKUS

Signature:
License No.: 16385
Expiration Date: 06-06-00
Date: 03-11-16

PROJECT NO.: 2016-0079
DRAWN BY: CASLY COUGAMP
CHECKED BY: KEVIN GREEN

ISSUE: _____ DATE: _____
CUP SUBMITTAL: 03-11-2016

REVISION: _____ DATE: _____

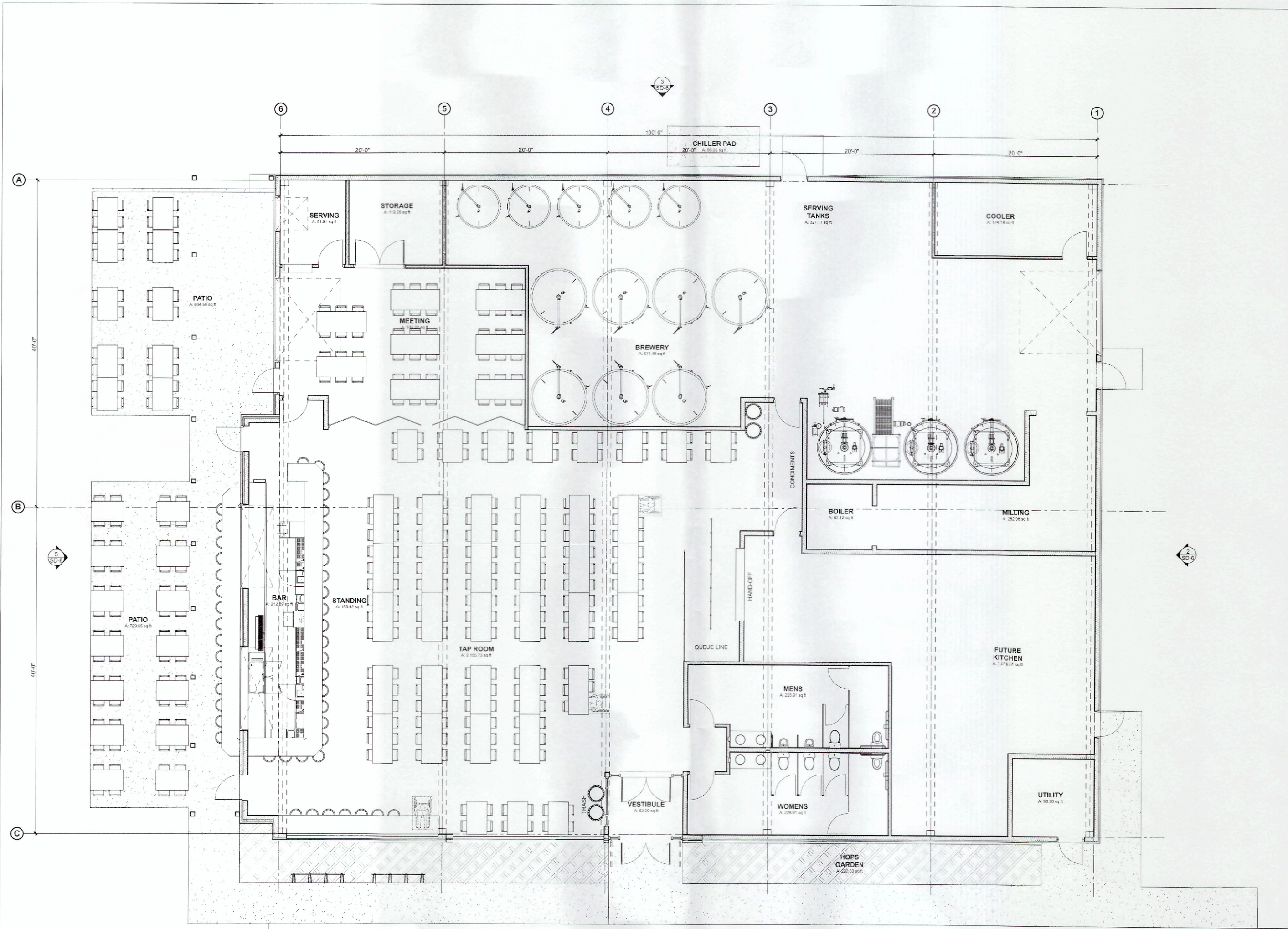
PROJECT LOCATION:

BLAINE, MN

SHEET NUMBER / TITLE:

A3.0

Proposed Exterior Elevations



1 PRELIMINARY FLOOR PLAN
 A2.0 3/16" = 1'-0"



12 Finch Avenue North, Hopkins, MN 55343
 Phone: 952.241.8263 | www.wilkusarch.com

CLIENT



INVICTUS BREWING COMPANY
 11981 MIDWAY ST. NE
 BLAINE, MN 55449

PROJECT INFORMATION:

INVICTUS BREWING
 2025 105TH AVE NE
 BLAINE, MN 55449

SEAL:
 I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A QUALIFIED ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.

Print Name: MICHAEL J. WILKUS

Signature:
 License No. 18380
 Expiration Date 00-00-00
 Date 03-11-16

PROJECT NO. 2016-007
 DRAWN BY CASEY COTCAMP
 CHECKED BY KEVIN GREEN

ISSUE: DATE:
 CUP SUBMITTAL 03-11-2016

REVISION: DATE:

PROJECT LOCATION:

BLAINE, MN

SHEET NUMBER / TITLE:

A2.0

Preliminary Floor Plan

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