

**FEASIBILITY REPORT AND  
COST ESTIMATE  
FOR  
IMPROVEMENT PROJECT NO. 12-17  
PAUL PARKWAY  
FROM OAK PARK BOULEVARD  
TO ULYSSES STREET**

**CITY OF BLAINE, MINNESOTA  
January 17, 2013**

**Storm drainage improvements, storm water quality management,  
class 5 aggregate base, spot concrete curb and gutter replacement,  
spot concrete sidewalk replacement, asphalt pavement replacement,  
signage and striping, and related appurtenant construction.**

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.



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Assistant City Engineer  
Minn. Lic. No. 26771



**CITY OF BLAINE**  
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# FEASIBILITY REPORT

## PROJECT NO. 12-17

### EXECUTIVE SUMMARY

The proposed project will partially reconstruct Paul Parkway NE from Oak Park Boulevard NE to Ulysses Street NE. Proposed improvements include spot concrete curb and gutter replacement, spot concrete sidewalk replacement, storm sewer structures, asphalt surface, traffic control signage, striping, and appurtenant construction.

The estimated cost of improvements is \$797,850 with \$254,469 proposed to be assessed over a ten-year period. Replacement of existing hydrants and existing sanitary sewer structure castings/rings, at an estimated cost of \$14,580, is proposed to be paid for by the City Public Utility Fund. The remaining portion of \$528,801 is proposed to be paid from the City's Municipal State Aid Street funds and the City's Pavement Management Program Funds.

The project is necessary, cost-effective, and feasible and will result in a benefit to the properties proposed to be assessed.

## 1. PROJECT HISTORY

The Blaine City Council initiated the project and ordered the preparation of a feasibility report on October 4, 2012, with Resolution No. 12-130.

This report is based on field observations, record drawing information, 2011 aerial photography, and 2012 topographic survey.

## 2. PROJECT AREA CHARACTERISTICS

The project area includes Paul Parkway NE, beginning at Oak Park Boulevard NE and terminating at Ulysses Street NE.

The existing Paul Parkway was constructed in two separate years. The west bound lanes were constructed in 1971 and the east bound lanes were constructed in 1980. The street was constructed as an urban parkway section with a landscaped median, 2-13 foot drive lanes, storm sewer, sanitary sewer, and water main. There are existing five foot concrete sidewalks on both sides of Paul Parkway NE from Oak Park Boulevard NE to Ulysses Street NE. The street has received previous pavement preservation treatments including a bituminous overlay in 1992 and seal coat in 2000.

The Anoka County Soil Survey indicates the predominant soil types in the project area to be Lacustrine sand with silt. Based on past projects in the area, the project will require dewatering operations to install underground improvements.

The proposed project is located in the Coon Creek Watershed District. Paul Parkway NE crosses over County Ditch 41-Branch 8 which is part of the Federal Emergency Management Agency designated flood area. As the project is not proposing to change the elevation of the roadway there will be no impacts to the flood plain. No portion of the project will impact wetlands as identified on the City's wetland inventory map.

The property at the southwest corner of Paul Parkway and Ulysses Street is proposing a project. Any additional improvements required for the development of this parcel maybe incorporated with the Paul Parkway project but would be 100% the financial obligation of the developer.

See Exhibit No. 1 for the project location.

## 3. PROPOSED IMPROVEMENTS

The proposed improvements will include partial reconstruction of the existing urban street section, modifying the existing storm drainage system, replacement of hydrants, and replacement of sanitary sewer castings and rings. The improvements are necessary, cost-effective, and feasible. Each improvement is further described as follows:

**A. Sanitary Sewer**

Public Works and Engineering staffs have reviewed the existing sanitary sewer along the Paul Parkway NE corridor and concur that there are no issues with the existing mains. The project will include the removal of the existing manhole castings/rings and installation of new castings/rings on all sanitary manholes.

See Exhibit No. 2 for the sanitary sewer location map.

**B. Water Main**

Public Works and Engineering staffs have also reviewed the water main installation dates and water main break data along the Paul Parkway NE corridor and concur that there are no issues with the existing main. Therefore, the scope of the project will not include any replacement of existing water main along the corridor. The project will include removal and replacement of the existing hydrants and hydrant gate valves along with adjusting existing gate valve boxes located within the street typical sections.

See Exhibit No. 3 for the water main location map.

**C. Street Construction**

The proposed construction will begin at the westerly terminus of Oak Park Boulevard NE and continue easterly over the existing Paul Parkway NE alignment, terminating at Ulysses Street NE. The proposed project will partially reconstruct the existing typical section. The street typical section will be reconstructed with a section composed of 4 -inches bituminous on 8-inches of reclaimed gravel base over a compacted subgrade. Partial reconstruction of the existing curb is proposed with approximately 25% removed and replaced.

The proposed project will remove and update all pedestrian ramps and crossings to current ADA standards along with any broken sidewalk panels.

The preliminary survey by E.G. Rud and Sons indicates dedicated right-of-way of 100 feet for the entire length of the project corridor. There is no anticipated additional right-of-way needed for the project.

See Exhibit No. 4 for the proposed street and storm sewer location map.

D. **Storm Drainage**

Storm water runoff from the streets will be captured and controlled with the existing catch basins and storm sewer pipe system. The project is proposing to remove all existing storm sewer structures and reconstruct all to precast structures also converting several to sump structures to aid in the removal of sediments. The project will include the removal of the existing castings and rings and installation of new castings and rings on all storm sewer structures.

Coon Creek Watershed District will conduct a plan review for the project.

See Exhibit No. 4 for the proposed street and storm sewer location map.

4. **IMPACT OF PROPOSED IMPROVEMENTS**

The proposed street improvements will not create any new maintenance issues for the Public Works staff other than the annual cleaning of the sump manholes. The City will work with affected property owners and the Contractor to resolve any situation that may arise during construction. Short term traffic delays, construction dust and noise, and erosion will occur. Efforts to minimize these impacts include the restriction of work hours and dust and erosion control measures included in the project. Any disruptions that occur to existing yards, sprinkler systems, and driveways will be restored.

**SUMMARY OF ESTIMATED PROJECT COSTS AND FUNDING**

**Project:** 12-17  
**Description:** Paul Parkway NE Improvements

<b>Cost Item</b>	<b>Percent</b>	<b>Amount</b>
<b>Construction Costs</b>		
Street Construction		\$ 536,550
Storm Sewer		43,650
Water Main		6,150
Sanitary Sewer		4,650
<b>Total Construction Costs</b>		<b>\$ 591,000</b>
<b>Administrative Costs</b>		
Engineering	18%	\$ 106,380
Assessment	1%	5,910
Legal	2%	11,820
Administration	4%	23,640
Capitalized Interest	8%	47,280
Bonding	2%	11,820
<b>Total Administrative Costs</b>		<b>\$ 206,850</b>
<b>TOTAL ESTIMATED PROJECT COSTS</b>		<b>\$ 797,850</b>

**Temporary Funding Source**

City Internal Funds

**Permanent Funding Source**

MSAS Funds, Assessments, Pavement Management Program Funds (PMP Funds), and Public Utility Funds,

(ENR Construction Index for December 2012 is 10796.6)

**Funding**

Total Paid from Public Utility Funds	\$ 14,580
Total Generation from Assessments	\$ 254,469
Total Paid from MSAS Fund/PMP Funds	\$ 528,801

## 6. ASSESSMENT METHODOLOGY

It is proposed that the project be assessed over 10 years in accordance with the City's Assessment Policy. It is proposed to assess this project using the linear foot method for the commercial/high density residential properties. The front foot assessments are based on 50% of the entire cost of the improved 52 foot street section per the city assessment policy.

See Exhibit No. 5 for the parcels proposed to be assessed and Exhibit No. 6 for the proposed assessment roll.

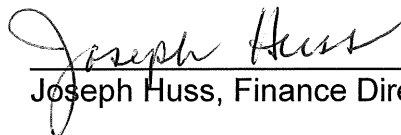
## 7. FINANCE

The proposed project will be temporarily financed by the City. Permanent funding will be provided by the MSAS account, MSAS Street Maintenance account, Pavement Management Program Funds, city water and sewer utility funds, and the costs assessed to the benefiting parcels in accordance with current City Assessment Policy and Minnesota Statutes Chapter 429, Special Assessment Laws.

### A. Finance Director Statement

With reference to this Feasibility Report for Improvement Project 12-17 as prepared by the City of Blaine Engineering Department dated January 17, 2013, I find the following:

1. The project will be temporarily funded through existing City internal funds whereupon permanent financing will be obtained through the City's Municipal State Aid Street Funds, MSAS Street Maintenance Funds, Pavement Management Program Funds, Public Utility Funds, and assessments.
2. Sufficient moneys are currently available from the City's internal funds to temporarily fund the special assessment portion of the project. It is estimated that \$254,469 will be assessed.
3. Sufficient moneys are currently available from the City's Public Utility Funds to pay for proposed utility improvements for street reconstruction at an estimated cost of \$14,580.

  
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Joseph Huss, Finance Director

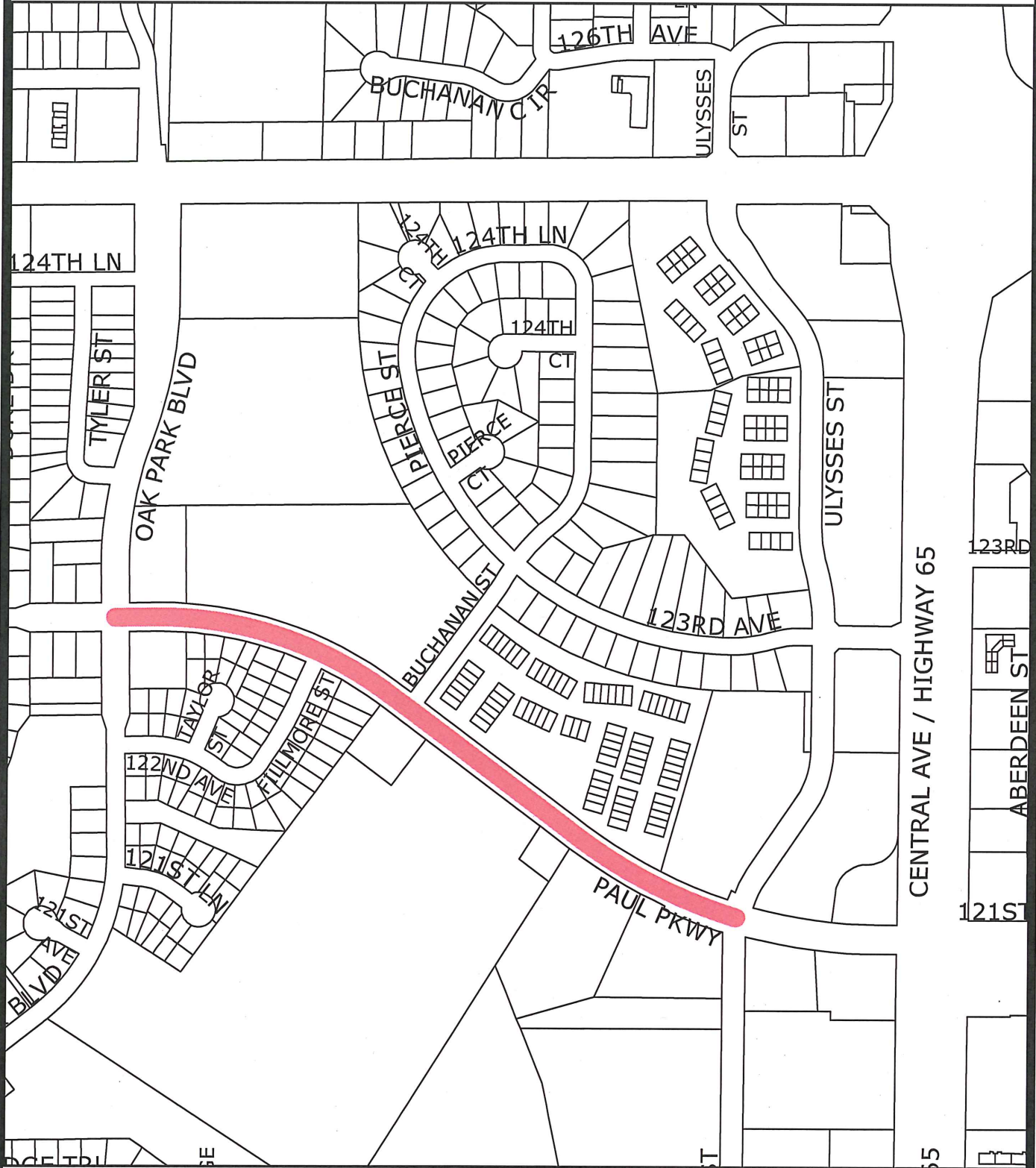


8. **PROJECTED SCHEDULE**

January 17, 2013	Receive Feasibility Report Order Public Hearing
February 12, 2013	Public/Business Information Meeting to discuss project and proposed assessments
February 21, 2013	Hold Public Hearing Order Improvements and Order Preparation of Plans and Specifications
April 4, 2013	Approve Plans and Specifications Order Advertisement for Bids
April 30, 2013	Open Bids
May 16, 2013	Award Contract
Aug – Oct 2013	Construct Improvements
Nov 2013	Assess Project
2014	First assessment payment due with real estate taxes

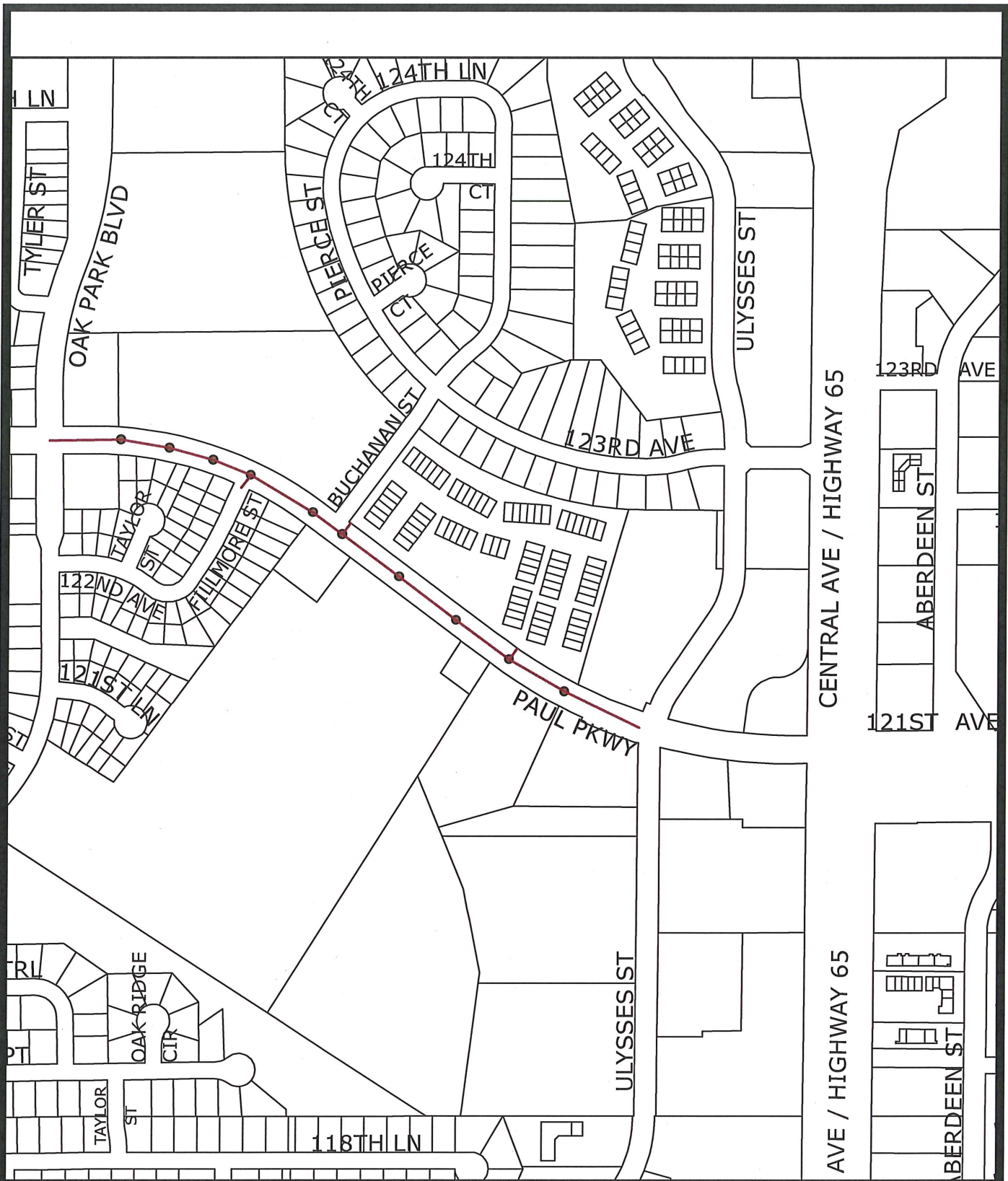
9. **PROJECT FEASIBILITY AND RECOMMENDATION**

The project as proposed is technically and financially feasible, cost effective, and will result in a benefit to the properties proposed to be assessed. It is recommended that the Council accept this report, hold the public hearing, and order the improvements.



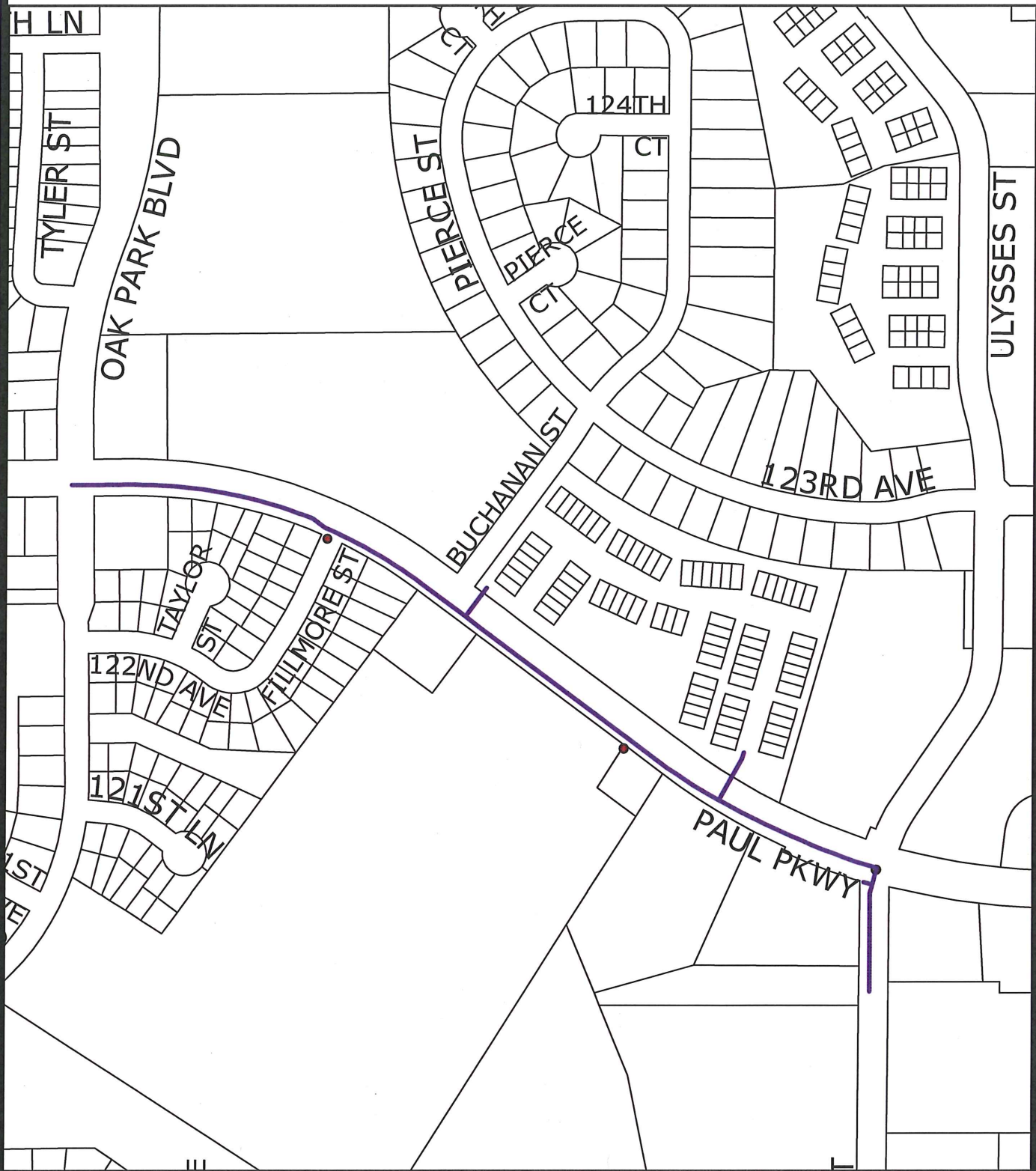
## Exhibit 1 Project Location Map Project 12-17





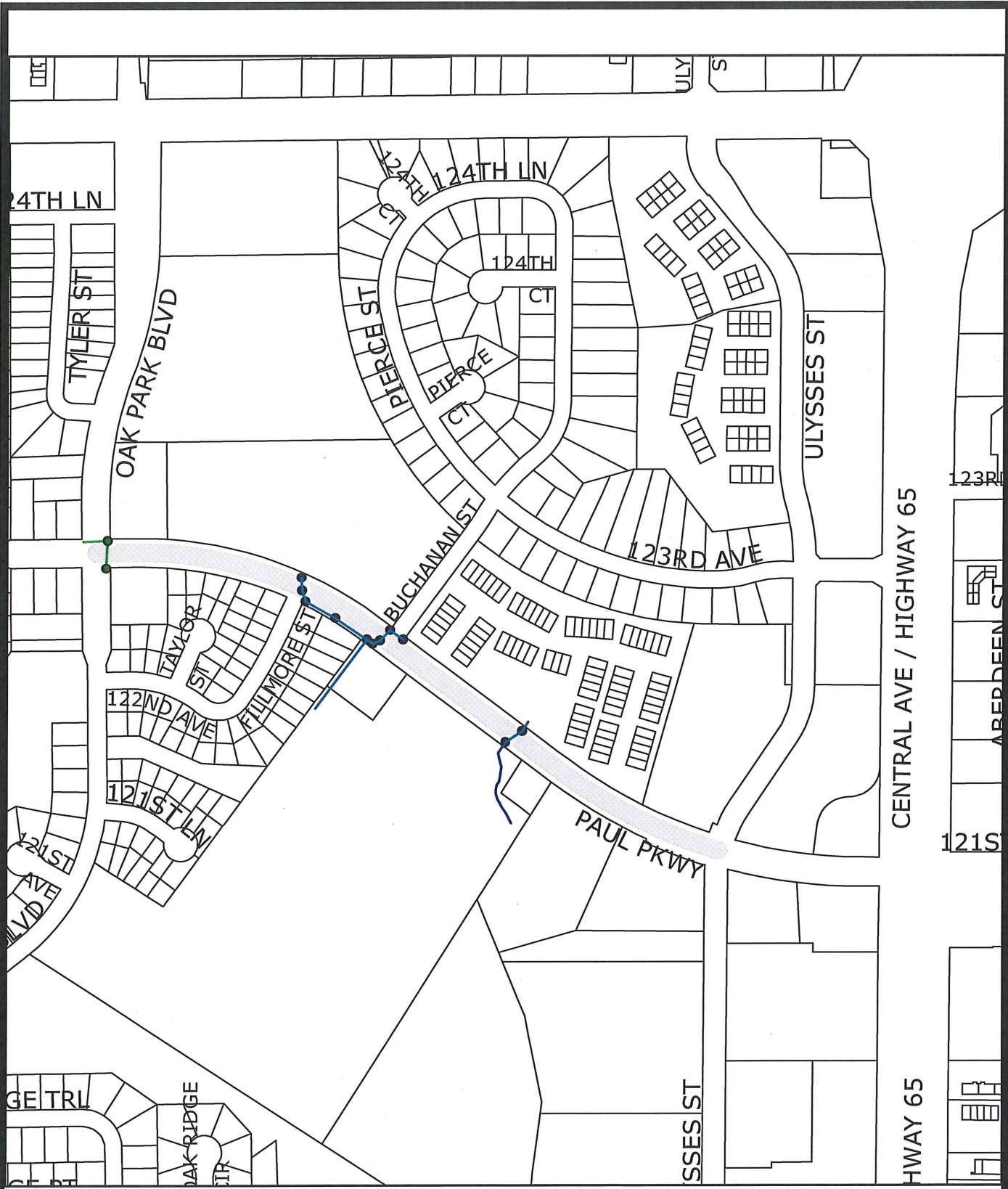
## Exhibit 2 Sanitary Sewer Map Project 12-17





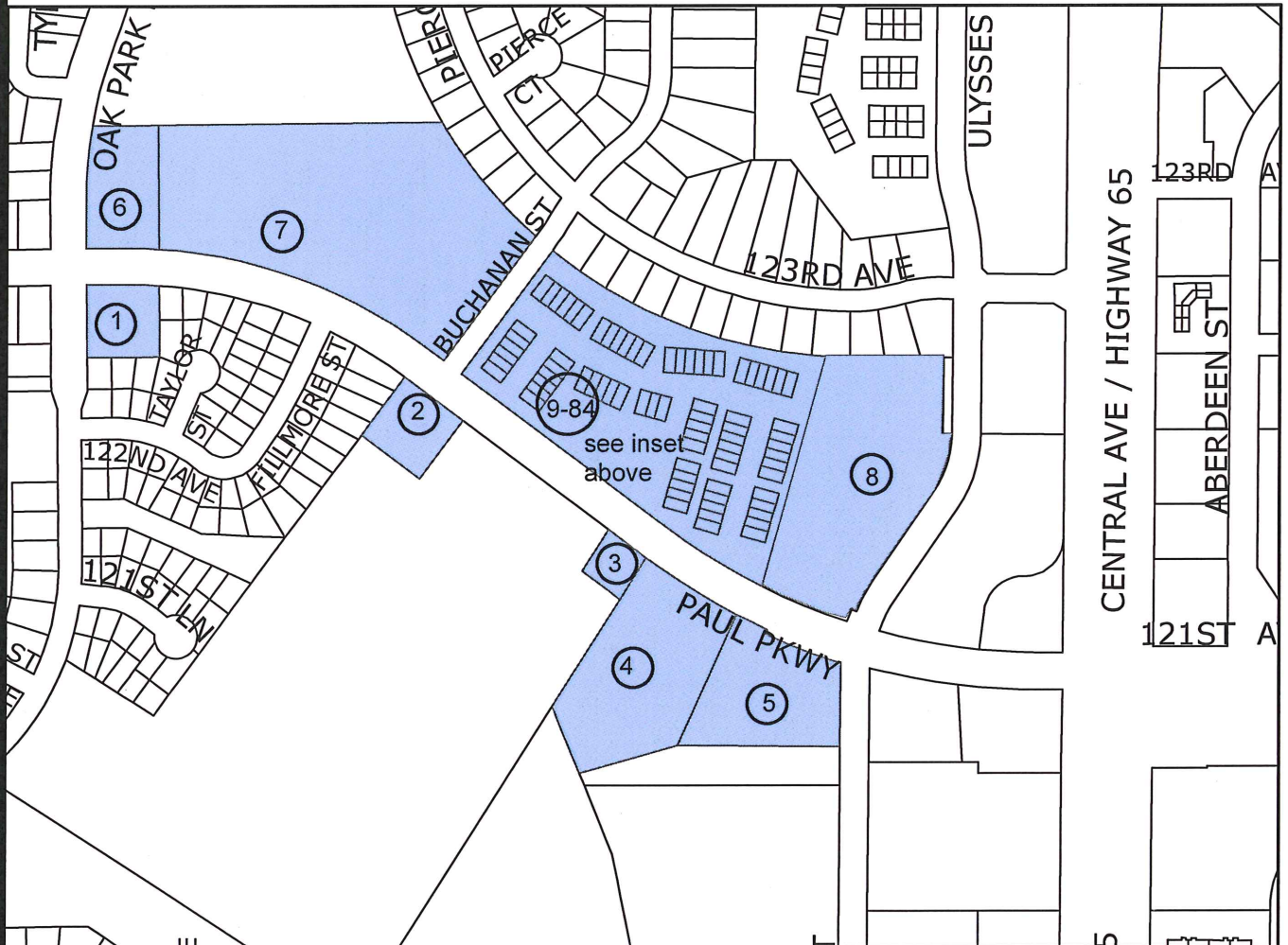
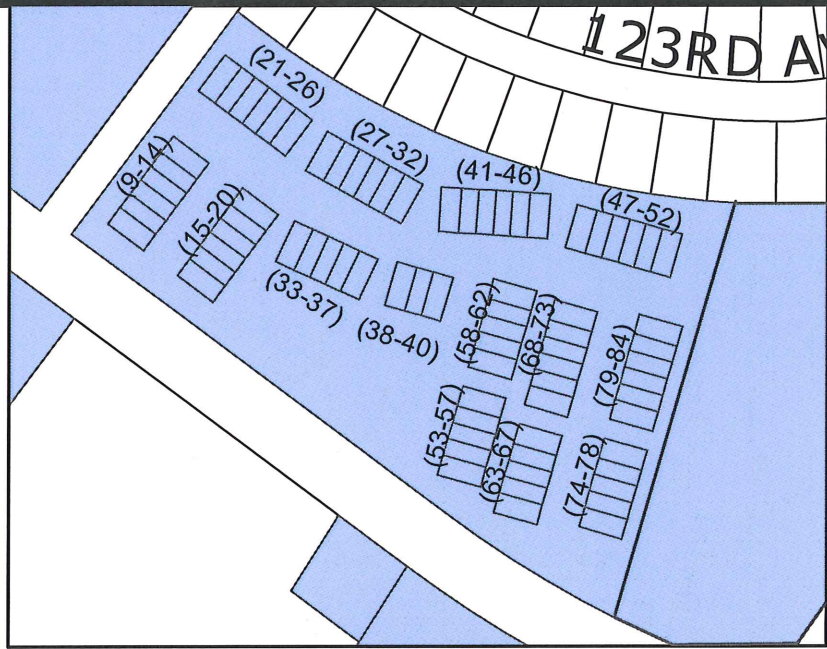
### Exhibit 3 Watermain Location Map Project 12-17





## Exhibit 4 Street and Storm Sewer Location Map Project 12-17





## Exhibit 5 Assessment Map Project 12-17

Assessed Parcel #

Paul Parkway NE  
Project Number 12-17

Proposed Assessment Roll

PARCEL NUMBER	PIN	OWNER	ADDRESS	Total Front Footage (LF)	Residential Unit	Residential Street Unit Assessment Rate (25%)	Commercial Street Front Foot Assessment Rate (50%)	Total Street Assessment
1	07 31 23 14 0002	1000 PAUL PARKWAY LLC	1000 Paul Parkway	200.11			84.20	\$16,849.26
2	08 31 23 23 0001	CITY OF BLAINE	1100 Paul Parkway	200			84.20	\$16,840.00
3	08 31 23 23 0004	CITY OF BLAINE	1200 Paul Parkway	130			84.20	\$10,946.00
4	08 31 23 31 0015	M & I Marshall & Isley Bank	Lot1, Block 1, Blaine Commons	295.23			84.20	\$24,858.37
5	08 31 23 31 0016	M & I Marshall & Isley Bank	Lot 2, Block 1, Blaine Commons	164.14			84.20	\$13,820.59
6	07 31 23 31 0096	PSLT-ALS Properties 1 LLC	1005 Paul Parkway	200.08			84.20	\$16,846.74
7	08 31 23 23 0084	BLAINE PARTNERS LLC	1029 Paul Parkway	709.97			84.20	\$59,779.47
8	08 31 23 24 0002	DESOTO ASSOCIATES LLC	93 S Owasso Blvd	254.03			84.20	\$21,389.33
9	08 31 23 23 0115	Gatzke	12202 Buchanan Ct	11.43			84.20	\$962.36
10	08 31 23 23 0114	Osland	12206 Buchanan Ct	11.43			84.20	\$962.36
11	08 31 23 23 0113	McCarty	12210 Buchanan Ct	11.43			84.20	\$962.36
12	08 31 23 23 0112	Difley	12214 Buchanan Ct	11.43			84.20	\$962.36
13	08 31 23 23 0111	Murray	12218 Buchanan Ct	11.43			84.20	\$962.36
14	08 31 23 23 0110	Nadofney	12222 Buchanan Ct	11.43			84.20	\$962.36
15	08 31 23 23 0121	Mamman	12203 Buchanan Ct	11.43			84.20	\$962.36
16	08 31 23 23 0120	Fagerlie	12207 Buchanan Ct	11.43			84.20	\$962.36
17	08 31 23 23 0119	Gardner	12211 Buchanan Ct	11.43			84.20	\$962.36
18	08 31 23 23 0118	Mbilima	12215 Buchanan Ct	11.43			84.20	\$962.36
19	08 31 23 23 0117	Yankaway	12219 Buchanan Ct	11.43			84.20	\$962.36
20	08 31 23 23 0116	Stavish	12223 Buchanan Ct	11.43			84.20	\$962.36
21	08 31 23 23 0125	Van Buren	1151 122nd Lane	11.43			84.20	\$962.36
22	08 31 23 23 0126	McMillian	1155 122nd Lane	11.43			84.20	\$962.36
23	08 31 23 23 0127	Wells Fargo Bank	1159 122nd Lane	11.43			84.20	\$962.36
24	08 31 23 23 0128	Plum	1161 122nd Lane	11.43			84.20	\$962.36
25	08 31 23 23 0129	Olsen	1165 122nd Lane	11.43			84.20	\$962.36
26	08 31 23 23 0130	Knitter	1169 122nd Lane	11.43			84.20	\$962.36
27	08 31 23 23 0131	Susick	1181 122nd Lane	11.43			84.20	\$962.36
28	08 31 23 24 0121	Besch	1185 122nd Lane	11.43			84.20	\$962.36
29	08 31 23 24 0122	Osweller	1189 122nd Lane	11.43			84.20	\$962.36
30	08 31 23 24 0123	Beck	1191 122nd Lane	11.43			84.20	\$962.36
31	08 31 23 24 0124	Schoonover	1195 122nd Lane	11.43			84.20	\$962.36
32	08 31 23 24 0125	Kaluza	1199 122nd Lane	11.43			84.20	\$962.36
33	08 31 23 23 0122	Mortensen	1180 122nd Lane	11.43			84.20	\$962.36
34	08 31 23 23 0123	Beimert	1184 122nd Lane	11.43			84.20	\$962.36
35	08 31 23 23 0124	Castle	1188 122nd Lane	11.43			84.20	\$962.36
36	08 31 23 24 0083	Losee Trustee	1192 122nd Lane	11.43			84.20	\$962.36
37	08 31 23 24 0084	Klein Trustee	1196 122nd Lane	11.43			84.20	\$962.36
38	08 31 23 24 0086	Holman	1202 122nd Lane	11.43			84.20	\$962.36
39	08 31 23 24 0087	Tomczak	1206 122nd Lane	11.43			84.20	\$962.36
40	08 31 23 24 0088	Drusko	1210 122nd Lane	11.43			84.20	\$962.36
41	08 31 23 24 0126	Gottschalk	1211 122nd Lane	11.43			84.20	\$962.36
42	08 31 23 24 0127	Atkinson	1215 122nd Lane	11.43			84.20	\$962.36
43	08 31 23 24 0128	Thompson	1219 122nd Lane	11.43			84.20	\$962.36
44	08 31 23 24 0129	Johnson	1221 122nd Lane	11.43			84.20	\$962.36
45	08 31 23 24 0130	Oconnor	1225 122nd Lane	11.43			84.20	\$962.36
46	08 31 23 24 0131	Huber	1229 122nd Lane	11.43			84.20	\$962.36
47	08 31 23 24 0132	Siira	1241 122nd Lane	11.43			84.20	\$962.36
48	08 31 23 24 0133	Schoff	1245 122nd Lane	11.43			84.20	\$962.36
49	08 31 23 24 0134	Engle	1249 122nd Lane	11.43			84.20	\$962.36
50	08 31 23 24 0135	Baker	1251 122nd Lane	11.43			84.20	\$962.36
51	08 31 23 24 0136	Jacobson	1255 122nd Lane	11.43			84.20	\$962.36
52	08 31 23 24 0137	Greene	1259 122nd Lane	11.43			84.20	\$962.36
53	08 31 23 24 0098	Syke	12207 Lincoln Street	11.43			84.20	\$962.36
54	08 31 23 24 0097	Hansen	12211 Lincoln Street	11.43			84.20	\$962.36
55	08 31 23 24 0096	Buggert & Person	12215 Lincoln Street	11.43			84.20	\$962.36
56	08 31 23 24 0095	Pluff	12219 Lincoln Street	11.43			84.20	\$962.36
57	08 31 23 24 0094	Kretsch	12223 Lincoln Street	11.43			84.20	\$962.36
58	08 31 23 24 0093	Giang	12233 Lincoln Street	11.43			84.20	\$962.36
59	08 31 23 24 0092	Olsen	12237 Lincoln Street	11.43			84.20	\$962.36
60	08 31 23 24 0091	Bushman	12241 Lincoln Street	11.43			84.20	\$962.36
61	08 31 23 24 0090	Dornogalla	12245 Lincoln Street	11.43			84.20	\$962.36
62	08 31 23 24 0089	Johnson	12249 Lincoln Street	11.43			84.20	\$962.36
63	08 31 23 24 0109	Plum	12202 Johnson Street	11.43			84.20	\$962.36
64	08 31 23 24 0108	Carlson	12206 Johnson Street	11.43			84.20	\$962.36
65	08 31 23 24 0107	Blanshan	12210 Johnson Street	11.43			84.20	\$962.36
66	08 31 23 24 0106	Birr	12214 Johnson Street	11.43			84.20	\$962.36
67	08 31 23 24 0105	Sticha	12218 Johnson Street	11.43			84.20	\$962.36
68	08 31 23 24 0104	Carlson	12226 Johnson Street	11.43			84.20	\$962.36
69	08 31 23 24 0103	Tessema & Babeta	12230 Johnson Street	11.43			84.20	\$962.36
70	08 31 23 24 0102	Cunningham	12234 Johnson Street	11.43			84.20	\$962.36
71	08 31 23 24 0101	Koppes	12238 Johnson Street	11.43			84.20	\$962.36
72	08 31 23 24 0100	Wiecks	12242 Johnson Street	11.43			84.20	\$962.36
73	08 31 23 24 0099	Briggs	12246 Johnson Street	11.43			84.20	\$962.36
74	08 31 23 24 0120	Christensen	12203 Johnson Street	11.43			84.20	\$962.36
75	08 31 23 24 0119	Schiech	12207 Johnson Street	11.43			84.20	\$962.36
76	08 31 23 24 0118	Bohman	12211 Johnson Street	11.43			84.20	\$962.36
77	08 31 23 24 0117	Hillock	12215 Johnson Street	11.43			84.20	\$962.36
78	08 31 23 24 0116	Mortenson	12219 Johnson Street	11.43			84.20	\$962.36
79	08 31 23 24 0115	Ehrhardt	12227 Johnson Street	11.43			84.20	\$962.36
80	08 31 23 24 0114	Bockwitz	12231 Johnson Street	11.43			84.20	\$962.36
81	08 31 23 24 0113	Omundson	12235 Johnson Street	11.43			84.20	\$962.36
82	08 31 23 24 0112	Dizdarevic	12239 Johnson Street	11.43			84.20	\$962.36
83	08 31 23 24 0111	Schlegel	12243 Johnson Street	11.43			84.20	\$962.36
84	08 31 23 24 0110	Etfefeld-Fischer	12247 Johnson Street	11.43			84.20	\$962.36

3022.2 Total \$254,469.24

Estimated Residential Assessment Rate \$/Unit or \$/Front Foot  
 Estimated Commercial/Industrial Assessment Rate \$168.40/Front Foot