

**Case File No. 16-0003**

Blaine Planning Department / 10801 Town Square Dr NE / Blaine, MN 55449 / (763) 785-6180



# LOT LINE ADJUSTMENT SURVEY

## (SHEET 1 OF 2 SHEETS)

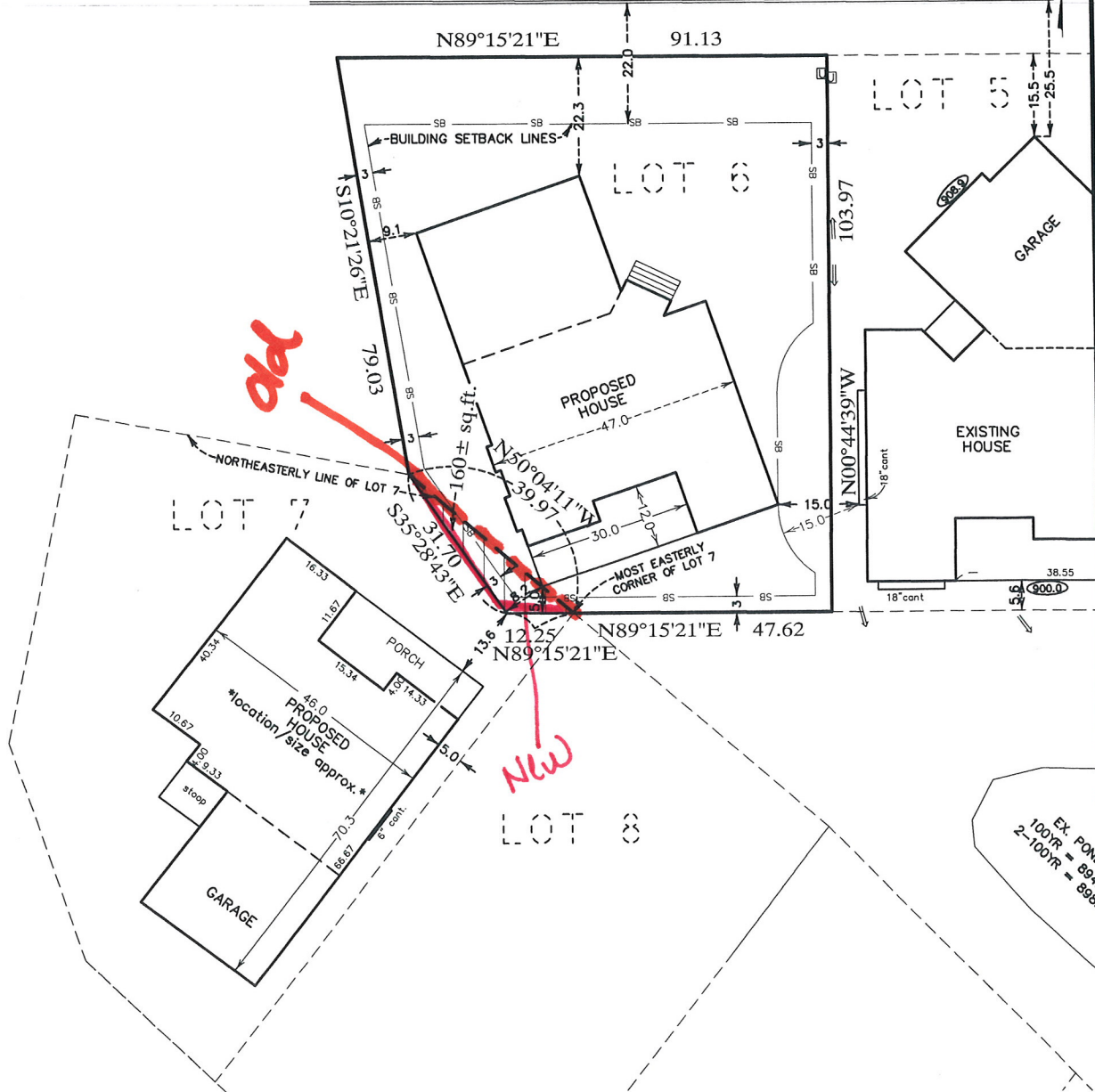
PROPERTY ADDRESS:  
11053 Amen Circle  
N.E., Blaine, MN

FOR: PAULSON CONSTRUCTION

0 20  
( IN FEET )  
1 inch = 20 ft.



AMEN CIRCLE



### PROPOSED PARCEL "A" LEGAL DESCRIPTION

Lot 6, Block 2, AMEN CORNER SECOND ADDITION, Anoka County, Minnesota, and that part of Lot 7, said Block 2, described as follows:

Beginning at the most easterly corner of said Lot 7; thence North 50 degrees 04 minutes 11 seconds West (assumed bearing) along the northeasterly line of said Lot 7 a distance of 39.97 feet to an angle point on said northeasterly line; thence South 35 degrees 28 minutes 43 seconds East 31.70 feet; thence North 89 degrees 15 minutes 21 seconds East 12.25 feet to the point of beginning.

### PROPOSED PARCEL "B" LEGAL DESCRIPTION

Lot 7, Block 2, AMEN CORNER SECOND ADDITION, Anoka County, Minnesota, EXCEPT the following described property:

Beginning at the most easterly corner of said Lot 7; thence North 50 degrees 04 minutes 11 seconds West (assumed bearing) along the northeasterly line of said Lot 7 a distance of 39.97 feet to an angle point on said northeasterly line; thence South 35 degrees 28 minutes 43 seconds East 31.70 feet; thence North 89 degrees 15 minutes 21 seconds East 12.25 feet to the point of beginning.

I hereby certify that this plan, survey or report was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota.

  
ERIC R. VICKARYOUS

Date: Jan. 19th, 16' Reg. No. 44125

**ACRE LAND SURVEYING**  
Serving Twin Cities Metro  
area and beyond  
763-458-2997 acrelandsurvey@gmail.com

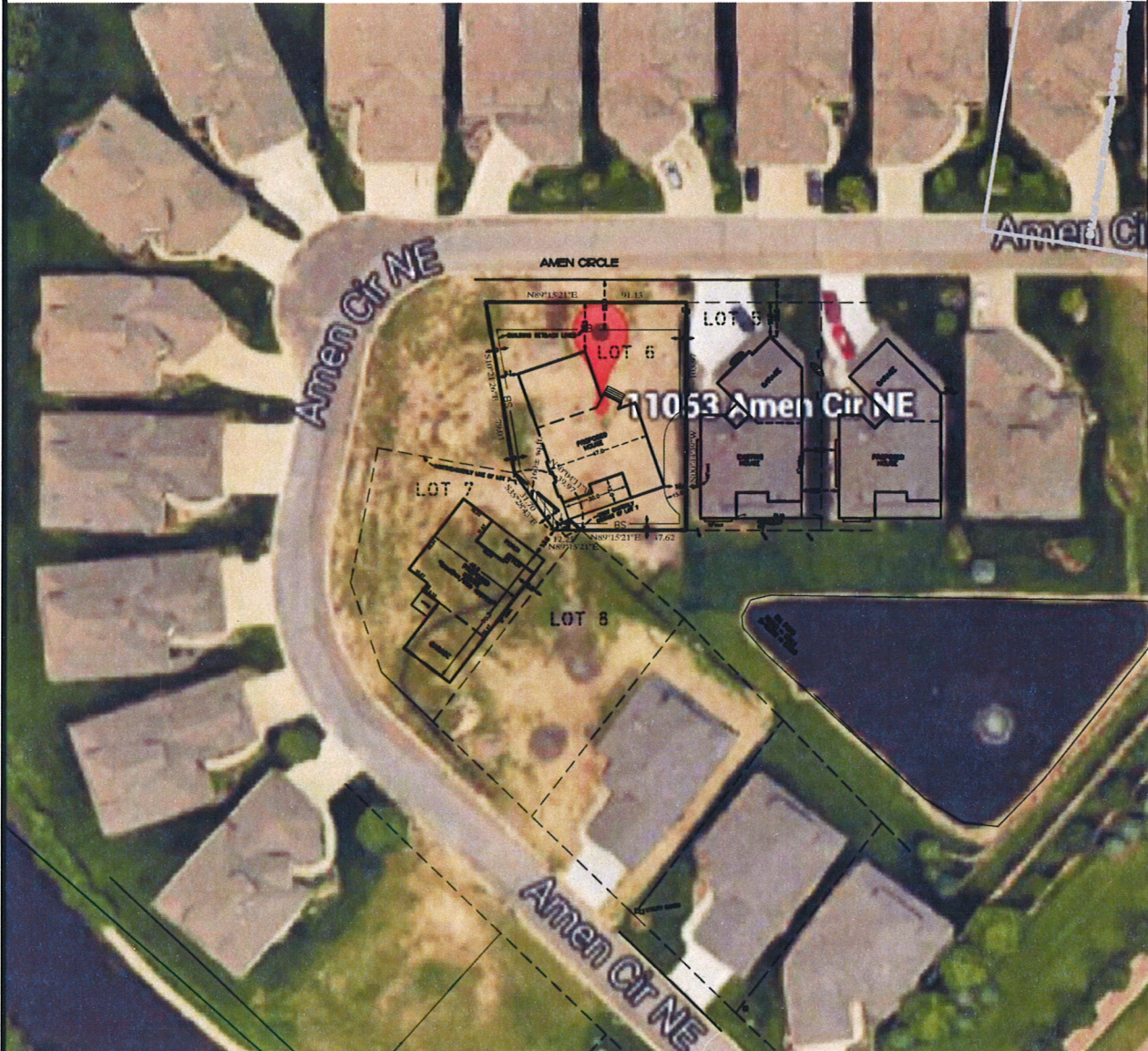
# LOT LINE ADJUSTMENT SURVEY (SHEET 2 OF 2 SHEETS)

FOR: PAULSON CONSTRUCTION

PROPERTY ADDRESS:  
11053 Amen Circle  
N.E., Blaine, MN

0 50  
( IN FEET )  
1 inch = 50 ft.

NORTH



## DEVELOPMENT INFORMATION


- PROPERTY IS ZONED PUD ("DF"~DEVELOPMENT FLEX ZONING STANDARDS)
- SEE CITY RESOLUTION 98-277 FOR DETAILS.
- ADJACENT PROPERTIES WITHIN 350' ARE ALL ZONED "DF".
- PROPOSED SETBACKS:
  - FRONT (FROM CURB = 22 FEET)
  - SIDE/REAR SETBACK = 3 FEET FROM PROPERTY LINES
  - MINIMUM 15 FEET BETWEEN STRUCTURES

I hereby certify that this plan, survey or report was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota.

  
ERIC R. VICKARYOUS

Date: Jan. 19th. 16' Reg. No. 44125

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