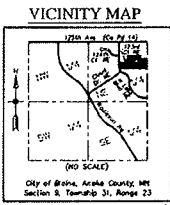
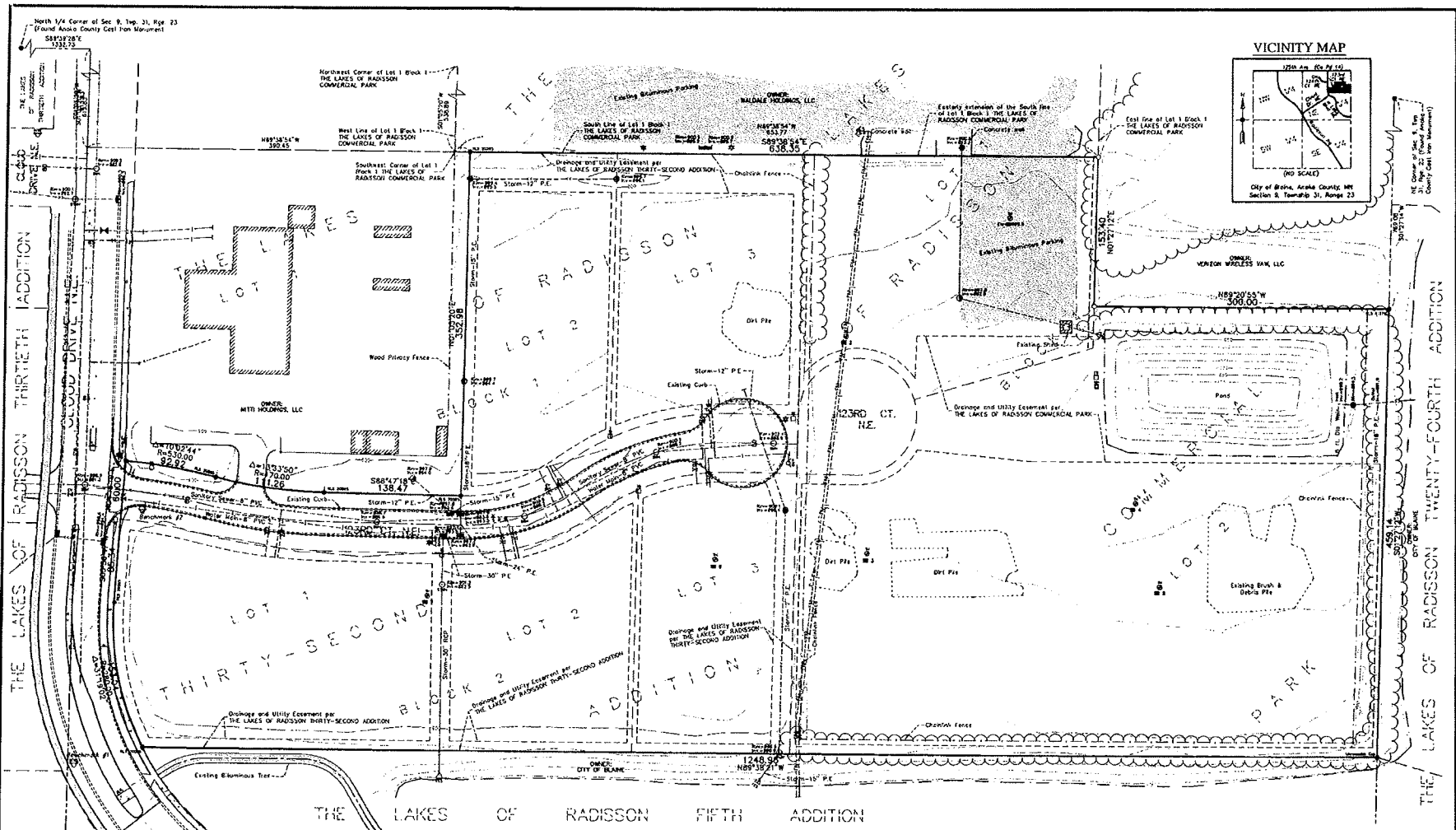


Case File No. 14-0029

Blaine Planning Department / 10801 Town Square Dr NE / Blaine, MN 55449 / (763) 785-6180





Carlson McCain
 ENGINEERS, ARCHITECTS, PLANNERS
 248 Apollo Dr. Suite 100, Lino Lakes, MN 55014
 Phone: 763-489-7900 Fax: 763-489-7959

EXISTING CONDITIONS
 THE LAKES OF RADISSON 59TH ADDITION
 Brainerd, MN

GORMAN DEVELOPMENT, LLC
 1877 Station Parkway
 Andover, MN

REVISIONS

1.	NO CHG	DATE: 06/20/11
2.		
3.		
4.		
5.		
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8.		
9.		
10.		

Name: Thomas B. Balfour
 Signature: _____
 Date: 05/05/11, Sheet # 1 of 1

BENCHMARK

- Top rock of boulder located in the northwest corner of Cloud Dr. & West Lake Blvd. (DWS-1021) (NOV 29)
- Top rock of boulder located in the southeast corner of 133rd Court & West Lake Blvd. (DWS-1021) (NOV 29)

LEGAL DESCRIPTION

Lot 1 and 2, Block 1, and lots 1, 2, and 3, Block 2, THE LAKES OF RADISSON THIRTY-SECOND ADDITION, according to the recorded plat thereof, Anoka County, Minnesota.

AND

Lot 2, Block 1, and that part of Lot 1, Block 1, THE LAKES OF RADISSON COMMERCIAL PARK, according to the recorded plat thereof, Anoka County, Minnesota, lying south of the line following described line:

Commencing at the Northwest corner of said Lot 1, thence South 21 degrees 03 minutes 20 seconds West, curved bearing, along the West line thereof 538.89 feet to the Southeast corner of said Lot 1 and the point of beginning of said line to be described; thence South 89 degrees 46 minutes 24 seconds East along the Southern line of said Lot 1 and its easterly extension 653.77 ft. to the westerly line of said Lot 1 and acd the line terminating.

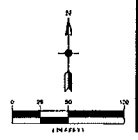
NOTES

1) Bearings shown herein are based on the Washington County Coordinate System, NAD 83, 95 Adjustment.

- LEGEND**
- - Denotes Anoka County Section Monument, as noted
 - - Denotes Found Iron Pipe or DRI Nide, as noted
 - - Denotes Set Iron Pole, Marked with PLS 40361
 - ⊙ - Denotes Light Pole
 - ⊙ - Denotes Sanitary Manhole
 - ⊙ - Denotes Storm Manhole
 - ⊙ - Denotes Miscellaneous Sign
 - ⊙ - Denotes Fire Hydrant
 - ⊙ - Denotes Gate Valve
 - ⊙ - Denotes Hand Hole
 - ⊙ - Denotes Electric Box
 - ⊙ - Denotes Soil Boring
 - ⊙ - Denotes Telephone Box
 - ⊙ - Denotes Flared End Section
 - ⊙ - Denotes Catch Basin
 - ⊙ - Denotes Concrete Surface
 - ⊙ - Denotes Bituminous Surface
 - ⊙ - Denotes Existing Fence as noted
 - ⊙ - Denotes Existing Water
 - ⊙ - Denotes Watermain
 - ⊙ - Denotes Sanitary Sewer
 - ⊙ - Denotes Storm Sewer
 - ⊙ - Denotes Foreman
 - ⊙ - Denotes Existing Tree Line

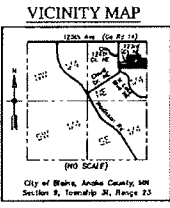
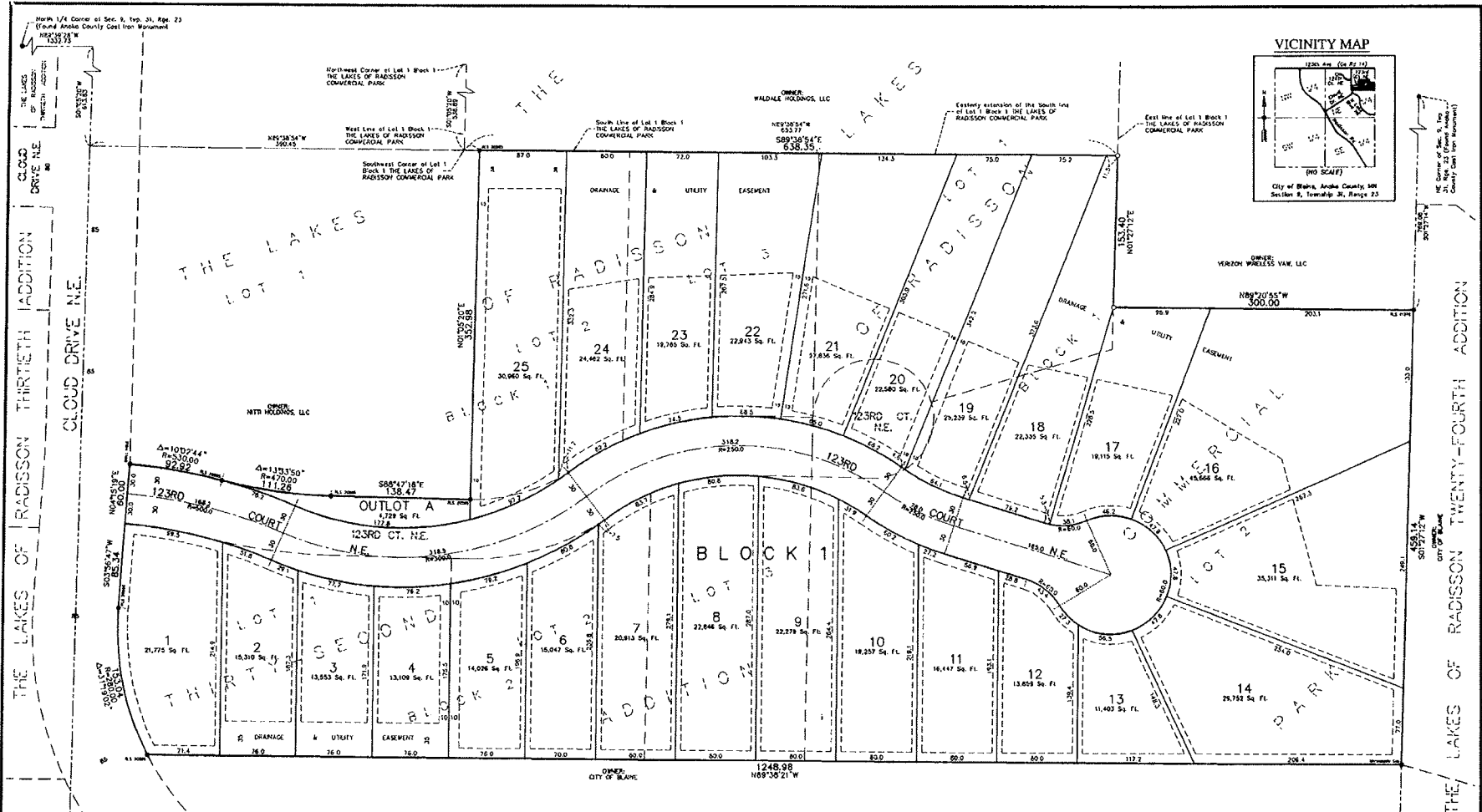
SITE DATA

TOTAL SITE AREA = 114.26 AC.



CALL BEFORE YOU DIG

Know what's below.
Call before you dig.



Carlson McCain
 ENVIRONMENTAL ENGINEERING & SURVEYING
 248 Apollo Dr., Suite 100, Lino Lakes, MN 55014
 Phone: 763-489-7900 Fax: 763-489-7959

PRELIMINARY PLAT
 THE LAKES OF RADISSON 59TH ADDITION
 Blaine, MN

GORHAM DEVELOPMENT, LLC
 1877 Station Parkway
 Andover, MN

REVISIONS

NO.	DATE	DESCRIPTION
1		FOR CITY PERMITAL REVIEW
2		
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DATE: 11/04/14
 DRAWN BY: JRM
 CHECKED BY: JRM
 SCALE: AS SHOWN
 FILE NO.: 1412

I hereby certify that this survey, plat or plan was prepared by me or under my direct supervision and that I am a duly licensed Land Surveyor under the laws of the State of Minnesota.

DATE: 11/04/14 License # 46381

LEGAL DESCRIPTION

LOT 1 and 2, Block 1, and lots 1, 2, and 3, Block 2, THE LAKES OF RADISSON THIRTY-SECOND ADDITION, according to the recorded plat thereof, Anoka County Minnesota AND

LOT 2, Block 1, and that part of Lot 1, Block 1, THE LAKES OF RADISSON COMMERCIAL PARK, according to the recorded plat thereof Anoka County, Minnesota, lying southerly of the following described tract:

Comprising of the Northwest corner of said Lot 1; thence South 01 degrees 05 minutes 20 seconds West, assumed bearing, along the West line thereof 508.89 feet to the southwestern corner of said Lot 1; and the point of beginning of said line to be described, thence South 83 degrees 38 minutes 54 seconds East along the southerly line of said Lot 1 and its easterly extension 823.77 ft to the easterly line of said Lot 1 and said line thence terminating.

NOTES

1) Buildings shown hereon are based on the Anoka County Coordinate System, NAD 83, 1995 Adjustment.

2) Existing right-of-way of 123rd Court N.E. as depicted on the plat of THE LAKES OF RADISSON THIRTY-SECOND ADDITION and THE LAKES OF RADISSON COMMERCIAL PARK are proposed to be vacated.

3) All drainage and utility easements as depicted on the plat of THE LAKES OF RADISSON THIRTY-SECOND ADDITION lying over, under, and across lots 1, 2, and 3, Block 1 and lots 1, 2, and 3, Block 2, are proposed to be vacated.

4) All drainage and utility easements as depicted on the plat of THE LAKES OF RADISSON

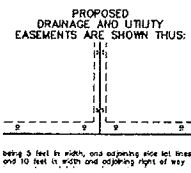
SITE DATA

TOTAL SITE AREA.....**414.26 AC.**
 TOTAL ROW AREA.....**41.62 AC.**
 OUTLOT AREA.....**40.11 AC.**
 TOTAL LOT AREA.....**412.53 AC.**
 TOTAL NUMBER OF LOTS.....**25**
 SMALLEST LOT.....**11,403 S.F.**
 LARGEST LOT.....**30,960 S.F.**
 AVERAGE LOT SIZE.....**21,831 S.F.**

GROSS DENSITY.....**1.75 LOTS/AC.**
 NET DENSITY.....**1.98 LOTS/AC.**
 (TOTAL SITE AREA LESS RIGHT-OF-WAY)

EXISTING ZONING.....**DF**
 PROPOSED ZONING.....**DF**
 UTILITIES.....**AVAILABLE**

MINIMUM HOUSE SETBACK DATA:
 FRONT.....**35 FT.**
 SIDE HOUSE.....**10 FT.**
 SIDE GARAGE.....**5 FT.**
 SIDE STREET.....**20 FT.**
 EXISTING ZONING.....**DF**
 REAR SETBACK.....**30 FT.**
 MIN. INT. SETBACK.....**11.400 FT.**



LEGEND

● - Denotes Anoka County Section Monument, as noted
 ● - Denotes Found Iron Pipe or Drill Hole, as noted

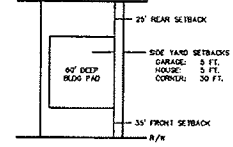


BENCHMARK

1. Top nail of hydrant located in the northeast corner of Cloud Dr. in Block 1 (Lake Plat. Div. #89.31 (2010 75))
 2. Top nail of hydrant located in the southwest corner of 123rd Court & West Lake Blvd. (Div. #2011 (2010 29))



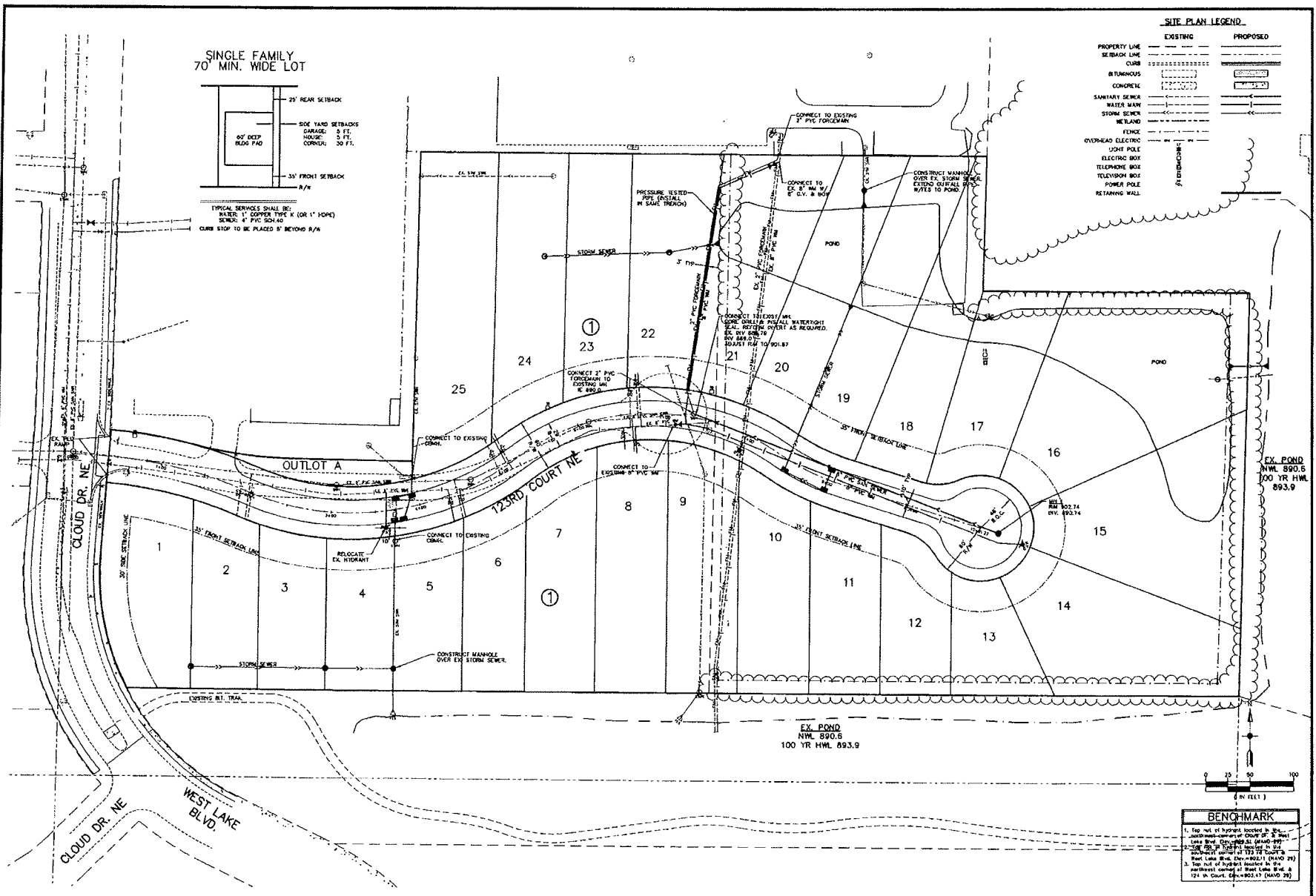
SINGLE FAMILY
70' MIN. WIDE LOT



TYPICAL SERVICES SHALL BE:
WATER: 1" COPPER TYPE K (OR 1" HDPE)
SEWER: 4" PVC SCH 40
GAS: 1/2" CPVC

SITE PLAN LEGEND

EXISTING	PROPOSED
PROPERTY LINE	---
SETRBACK LINE	---
CURB	---
BITUMENOUS	---
CONCRETE	---
SANITARY SEWER	---
WATER MAIN	---
STORM SEWER	---
WETLAND	---
FENCE	---
OVERHEAD ELECTRIC	---
LIGHT POLE	---
ELECTRIC BOX	---
TELEPHONE BOX	---
TELEVISION BOLE	---
POWER POLE	---
RETAINING WALL	---



**Carlson
McCain**
ENGINEERS, ARCHITECTS, PLANNERS & SURVEYORS
248 Apollo Dr., Suite 100, Lake Lakes, MN 55014
Phone: 763-489-7900 Fax: 763-489-7959

PRELIMINARY SITE & UTILITY PLAN
THE LAKES OF RADISSON
59TH ADDITION
Blaine, Minnesota

GORHAM DEVELOPMENT, LLC
1877 Station Parkway
Andover, MN 55304

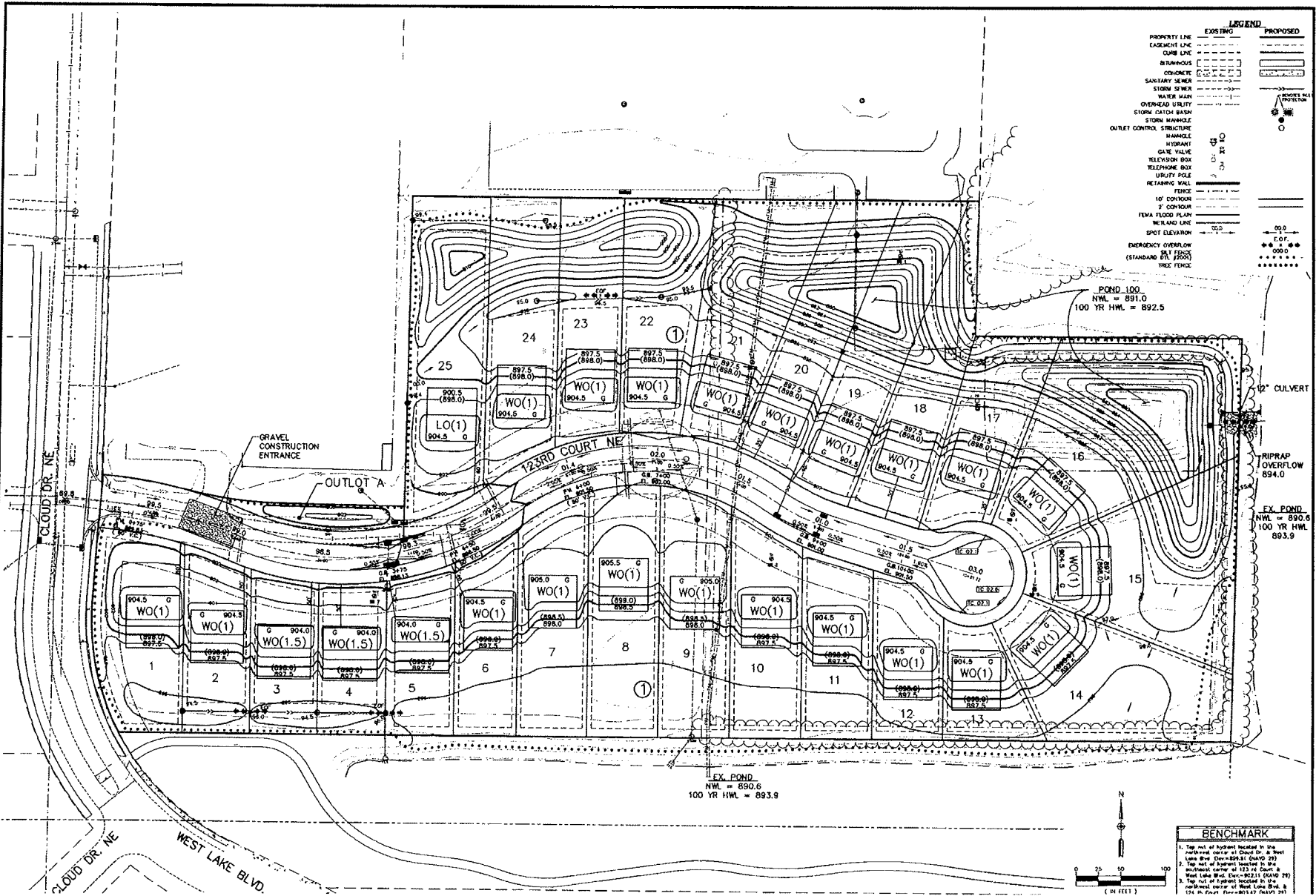
REVISIONS

1.	5/20/14 8" W/S & 2" P/S CONNECTION
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24.	
25.	

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Name: John J. Kristofan, P.E.
Signature: [Signature]
Date: 5/20/14 License No.: 25961

BENCHMARK
1. Top of 1" of hydrant located in NW 1/4 of Section 20, T125N, R102W, S14E, MN State Plane Coordinate System, Zone 16N, NAD 83, Elevation = 890.6 feet (NAVD 83).
2. Top of 1" of hydrant located in SW 1/4 of Section 21, T125N, R102W, S14E, MN State Plane Coordinate System, Zone 16N, NAD 83, Elevation = 893.9 feet (NAVD 83).
3. Top of 1" of hydrant located in SW 1/4 of Section 22, T125N, R102W, S14E, MN State Plane Coordinate System, Zone 16N, NAD 83, Elevation = 893.9 feet (NAVD 83).



LEGEND

EXISTING	PROPOSED
PROPERTY LINE	---
EASEMENT LINE	---
CURB LINE	---
BITUMINOUS	---
CONCRETE	---
SAWDRY SEWER	---
STORM SEWER	---
WATER MAIN	---
OVERHEAD UTILITY	---
STORM CATCH BASIN	---
STORM MANHOLE	---
OUTLET CONTROL STRUCTURE	---
HAMMOCK	---
IRRIGANT	---
GRATE VALVE	---
TELEVISION BOX	---
TELEPHONE BOX	---
UTILITY POLE	---
RETAINING WALL	---
FENCE	---
10' CONTOUR	---
2' CONTOUR	---
FEMA FLOOD PLAN	---
MEASUREMENT LINE	---
SPOT ELEVATION	---
EMERGENCY OVERFLOW (STANDARD)	---
EMERGENCY OVERFLOW (SPECIAL)	---
TREE FENCE	---

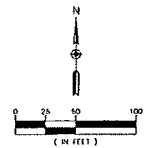
**Carlson
McCain**
 ENVIRONMENTAL - ENGINEERING - SURVEYING
 248 Apollo Dr. Suite 100, Lino Lakes, MN 55014
 Phone: 763-489-7900 Fax: 763-489-7989

**PRELIMINARY GRADING
& EROSION CONTROL PLAN**
**THE LAKES OF RAISSON
59TH ADDITION**
 Blaine, Minnesota

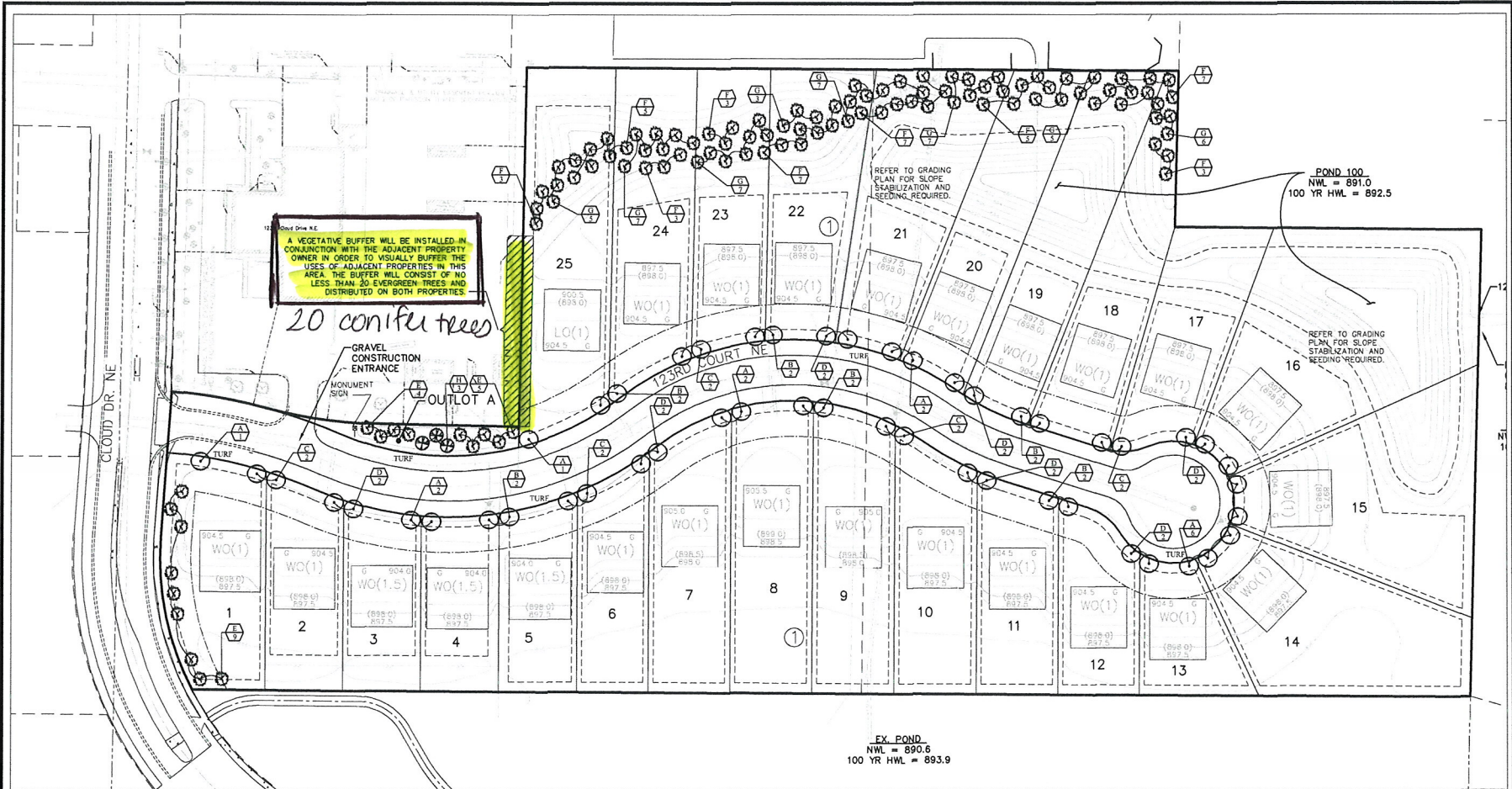
GORHAM DEVELOPMENT, LLC
 1877 Station Parkway
 Ancker, MN 55304

REVISIONS
 1. 2/25/14 Update Per City Comments
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BENCHMARK
 1. Top of all markers located in the
 northeast corner of Cloud Dr. at West
 Lake Blvd. (Elev = 893.31) (NAD 83)
 2. Top of all markers located in the
 northeast corner of 123rd Court at
 West Lake Blvd. (Elev = 892.15) (NAD 83)
 3. Top of all markers located in the
 northeast corner of West Lake Blvd. at
 174th St. (Elev = 893.82) (NAD 83)



Name: Edna J. Kuylenstierna, P.E.
 Signature: *E. J. Kuylenstierna*
 Date: 2/25/14 License #: 210692



PLANT SCHEDULE

CODE	QTY	COMMON NAME/LATIN NAME	SIZE	ROOT	REMARKS	PLANT TYPE
A	14	AUTUMN FLAZZ WISPER Acer x freemanii 'Jeffersred'	2" x 2"	B&B	STRAIGHT LEADER	DECIDUOUS OVERSTORY TREES
B	10	SWAMP WHITE OAK	2" x 2"	B&B	STRAIGHT LEADER	CONFEROUS OVERSTORY TREES
C	12	BUR OAK	2" x 2"	B&B	STRAIGHT LEADER	
D	14	HACKBERRY	2" x 2"	B&B	STRAIGHT LEADER	CONFEROUS OVERSTORY TREES
E	43	NOBLES SPRUCE	10"	B&B	FULL FORM	
F	47	HEART PINK	10"	B&B	FULL FORM	ORNAMENTAL TREES
G	3	RIVER BIRCH	10"	B&B	CLUMP FORM	
H	3	BRUCE SPRUCE	10"	B&B	1.5" SPICES MINIMUM	

QUANTITIES SHOWN IN THE PLANTING SCHEDULE ARE FOR THE CONTRACTOR'S CONVENIENCE. CONTRACTOR TO VERIFY QUANTITIES SHOWN ON THE PLAN.

LANDSCAPE NOTES

- CONTRACTOR SHALL FIELD VERIFY LOCATIONS AND ELEVATIONS OF EXISTING UTILITIES AND TOPOGRAPHIC FEATURES PRIOR TO THE COMMENCEMENT OF LANDSCAPE INSTALLATIONS. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF DISCREPANCIES OR VARIATIONS FROM THE PLANS.
- REFER TO LANDSCAPE DETAIL SHEET FOR GENERAL PLANTING NOTES, IRRIGATION NOTES AND PLANTING DETAILS.
- REFER TO GRADING PLAN FOR GRADES, EROSION CONTROL AREAS, AND DIMENSIONING.
- THE OWNER RESERVES THE RIGHT TO INCREASE THE NET QUANTITIES OF LANDSCAPE UNITS, USE LARGER UNIT SIZES, OR VARY THE SPECIES ACCORDING TO AVAILABILITY AT THE TIME OF PLANTING PER THE PROJECT ENGINEERS WRITTEN APPROVAL.
- LANDSCAPE CONTRACTOR SHALL SUBMIT A WATERING PLAN TO THE OWNER TO MAINTAIN THE PLANTS THROUGH THE WARRANTY PERIOD.
- 6" MIN. DEPTH OF TOPSOIL TO BE USED IN ALL PLANTING AREAS. MIXTURE SHALL NOT CONTAIN MORE THAN 35% SAND MIXTURE.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF BLAINE STANDARDS.

MONUMENT SIGN



PATTEN LANDSCAPE ARCHITECTURE, LLC
P.O. Box 1017
Blaine, MN 55014
Phone: 763-520-7013
© Patten Landscape Architecture, LLC

Name: David W. Patten
Signature: *[Signature]*
Date: 5/20/14 License #: 41458

N
0 25 50 100
(SCALE IN FEET)

Carlson McCain
ENVIRONMENTAL - ENGINEERING - SURVEYING
248 Apollo Dr, Suite 100, Lino Lakes, MN 55014
Phone: 763-489-7900 Fax: 763-489-7959

LANDSCAPE PLAN
THE LAKES OF RADISSON
59TH ADDITION
Blaine, Minnesota

GORHAM DEVELOPMENT, LLC
1877 Station Parkway
Andover, MN 55304

REVISIONS

1.	Landscaping Buffer note added 4/16/14
2.	
3.	
4.	
5.	
6.	

DRAWN BY: DWP
DESIGNED BY: DWP
ISSUE DATE: 5/20/14

Landscaping on west of Lot 25



REVISIONS	BY
030715	NF.

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DESIGN AND DRAFTING BY:
CROIX DESIGN AND DRAFTING, Inc.
 ARCHITECTURAL DESIGN AND DRAFTING SERVICE •
 HOME PLAN SERVICE • CUSTOM HOMES • REMODELING •
 PH: (763) 757-5897 • FAX: (763) 757-4383 •
 WWW.CROIXDESIGN.COM

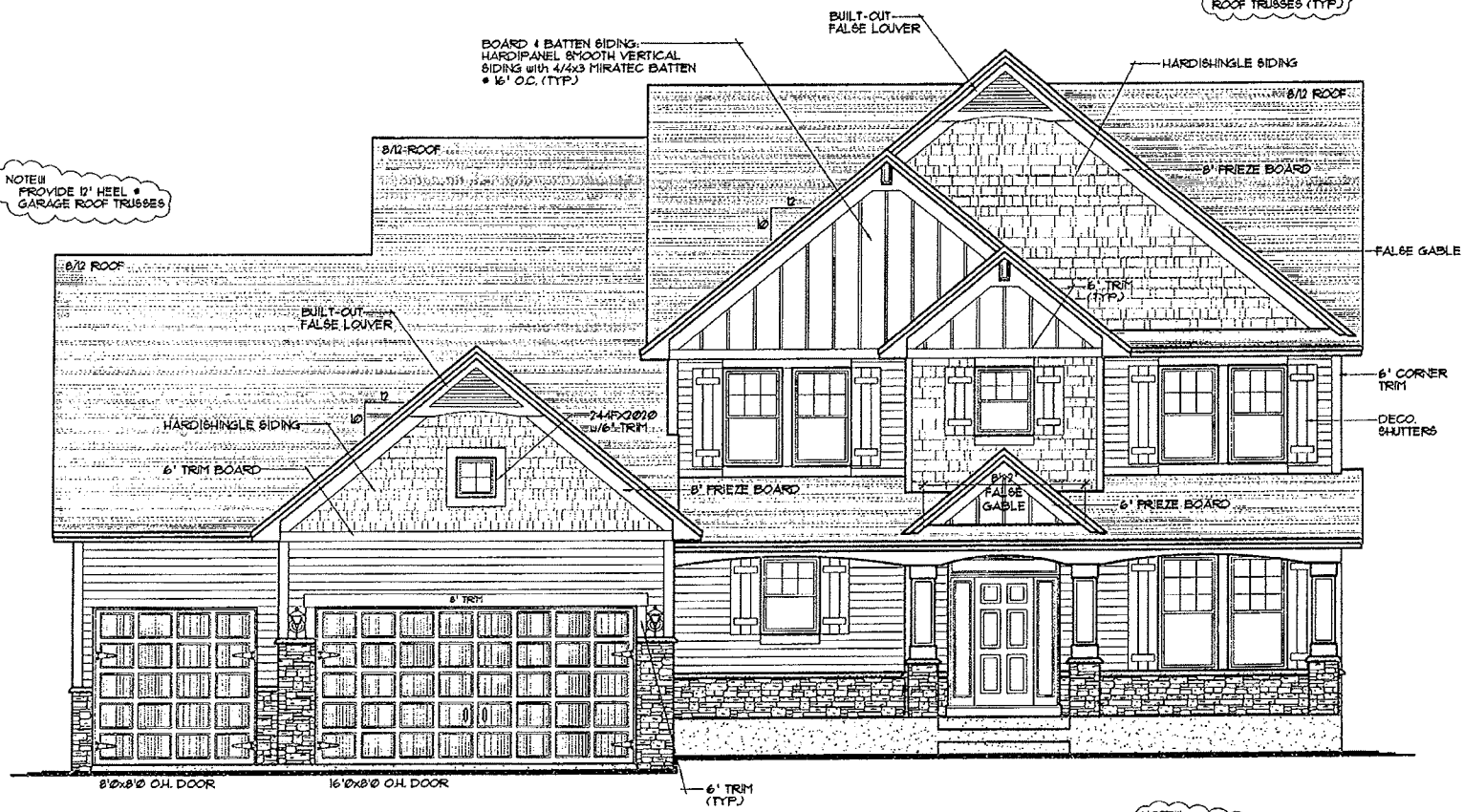
BUILT BY:
GORHAM CUSTOM HOMES, LLC

DRAWN	NF.
CHECKED	XX
DATE	12/18/2011
SCALE	AS NOTED
CADD FILE #	11092
SHEET	1 OF 8

- ANDERSEN WINDOWS SPEC'D.
- WINDOWS w/WINDOW GRIDS
- STONE VENEER WHERE SHOWN
- HARDIPLANK LAP SIDING
- ALUMINUM COFFITS & FASCIA

NOTE: PROVIDE STANDARD ENERGY HEEL • ALL ROOF TRUSSES (TYP.)

NOTE: PROVIDE 12' HEEL • GARAGE ROOF TRUSSES



BOARD & BATTEN SIDING, HARDIPANEL SMOOTH VERTICAL SIDING w/ 1/4x3 MIRATEC BATTEN • 16' O.C. (TYP.)

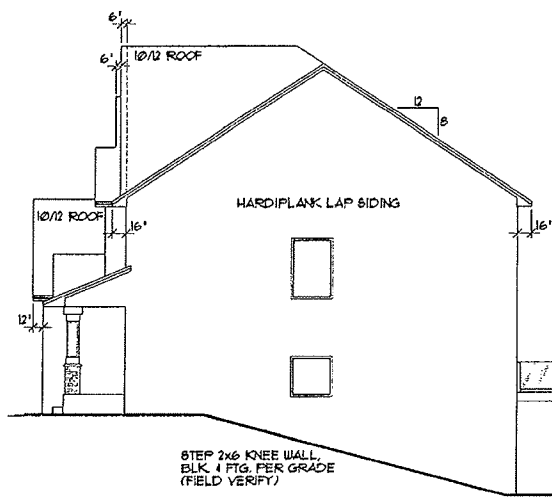
NOTE: DROP GARAGE (1 COURSE) POUR GARAGE SLAB ON TOP OF 10th COURSE • (1/2 COURSE BASEMENT AREA)

FRONT ELEVATION 1/4" = 1'-0"

1575 SQFT. FIRST FLOOR
 1540 SQFT. SECOND FLOOR
 3265 SQFT. TOTAL
 348 SQFT. (FINISHED BASEMENT)
 384 SQFT. OPEN AREA STAIRS (NOT INCLUDED)

NOTE: 9'-1 1/8" PLATE HEIGHT • ENTIRE FIRST FLOOR (TYP.)

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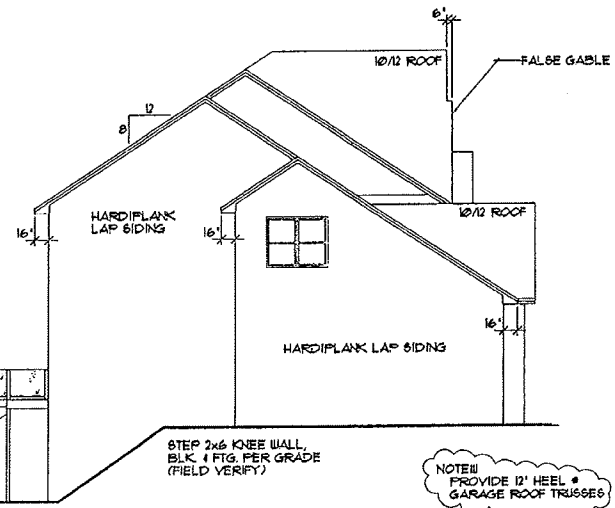


STEP 2x6 KNEE WALL,
BLK. 1 FTG. PER GRADE
(FIELD VERIFY)

RIGHT ELEVATION 1/8"=1'-0"

NOTES
PROVIDE STANDARD
ENERGY HEEL # ALL
ROOF TRUSSES (TYP.)

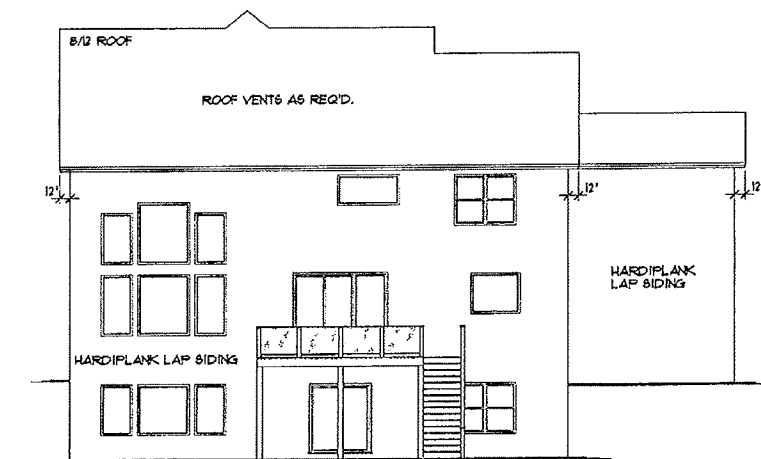
STAIR RAIL REQUIRED
BUT NOT SHOWN



STEP 2x6 KNEE WALL,
BLK. 1 FTG. PER GRADE
(FIELD VERIFY)

LEFT ELEVATION 1/8"=1'-0"

NOTE#
PROVIDE 12' HEEL #
GARAGE ROOF TRUSSES



REAR ELEVATION 1/8"=1'-0"

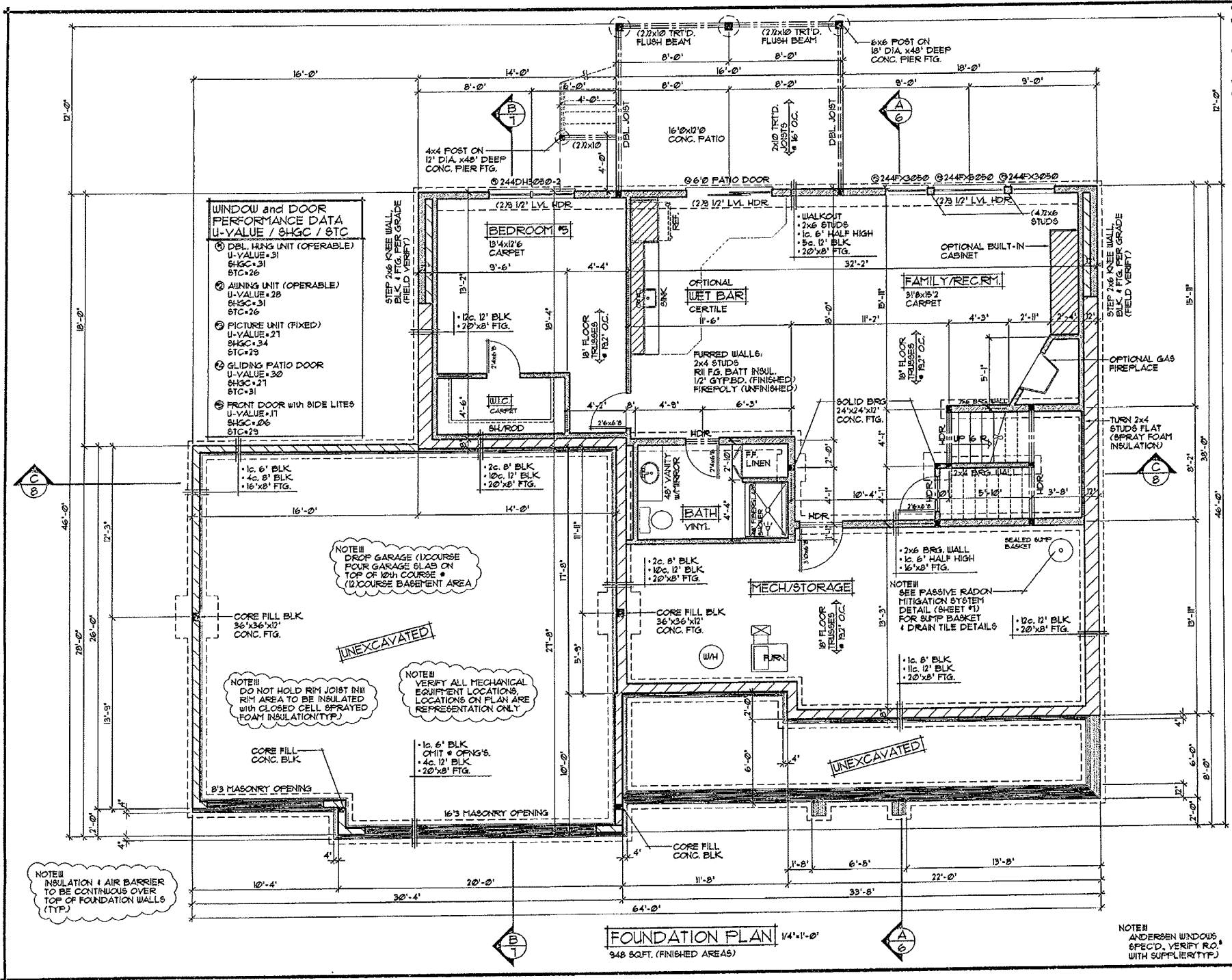
REVISIONS
XXXXXXXX 0000 BT:XX
XXXXXXXX 0000 BT:XX

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CROIX DESIGN and DRAFTING, Inc.
11400 374-0971 FAX (763) 374-1888 ANDOVER, MINNESOTA

BUILT BY
GORHAM
CUSTOM HOMES, LLC

SHEET
2
9
00
CADD FILE #
12/21



REVISIONS
XXXXXX 000000 BY:XX
XXXXXX 000000 BY:XX

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CROIX DESIGN and DRAFTING, Inc.
 1000 W. WISCONSIN ST. SUITE 100
 ANDOVER, MINNESOTA 55002
 PHONE: (763) 937-3397 FAX: (763) 937-4371

BUILT BY:
GORHAM CUSTOM HOMES, LLC

SHEET
3
 of 8
CADD FILE
 11032

NOTE III
 ANDERSEN WINDOWS
 SPEC'D. VERIFY R.O.#
 WITH SUPPLIER (TYP)

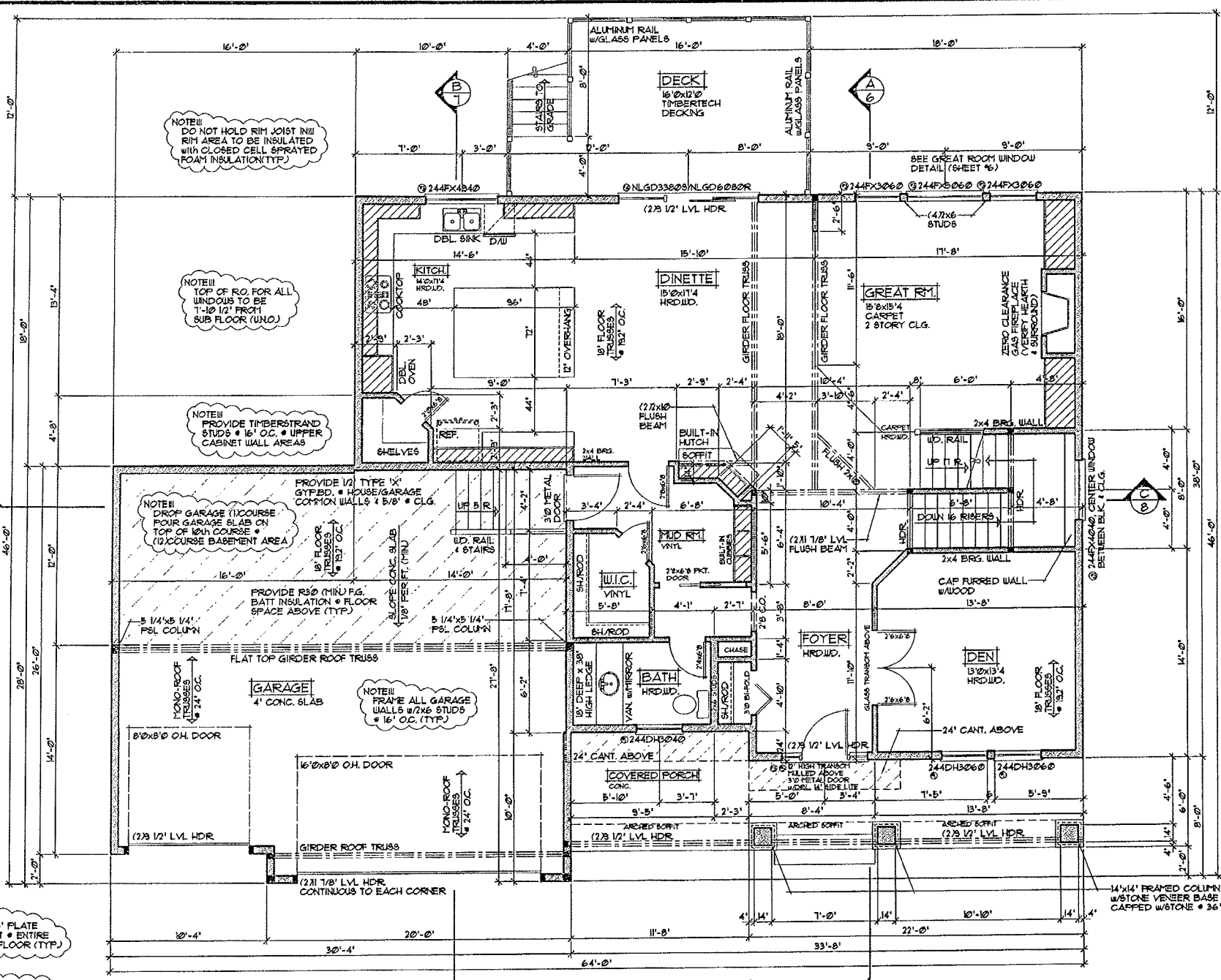
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SPECIAL NOTICE:
 THESE DRAWINGS AND SPECIFICATIONS ARE PREPARED BY THE ARCHITECT AND ENGINEER FOR THE OWNER'S USE ONLY. THE OWNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR VERIFYING THE ACCURACY OF ALL DIMENSIONS AND CONDITIONS SHOWN ON THESE DRAWINGS. THE ARCHITECT AND ENGINEER SHALL NOT BE RESPONSIBLE FOR ANY CHANGES OR OMISSIONS MADE OR FOR ANY CONSTRUCTION NOT SHOWN OR SPECIFIED ON THESE DRAWINGS. NO REPRESENTATION IS MADE OR IMPLIED FOR RECORD.

CROIX DESIGN and DRAFTING, Inc.
 14410 135TH AVE. S.W. SUITE 100
 ANDOVER, MINNESOTA 55002
 (763) 937-3597 FAX (763) 937-3436

BUILT BY:
GORHAM
 CUSTOM HOMES, LLC

SHEET
 4
 OF 8
 CADD FILE #
 11092



NOTE: DO NOT HOLD RIM JOIST IN RIM AREA TO BE INSULATED WITH CL-CEP CELL SPRAYED FOAM INSULATION (TYP)

NOTE: TOP OF F.O. FOR ALL WINDOWS TO BE 1'-10 1/2" FROM SUB FLOOR (UNO.)

NOTE: PROVIDE TIMBERSTRAND STUDS @ 16" O.C. @ UPPER CABINET WALL AREAS

NOTE: DROP GARAGE (1 COURSE FOUR GARAGE SLAB ON TOP OF 10th COURSE @ 12 COURSE BASEMENT AREA)

PROVIDE R30 (MIN) F.G. BATT INSULATION @ FLOOR SPACE ABOVE (TYP)

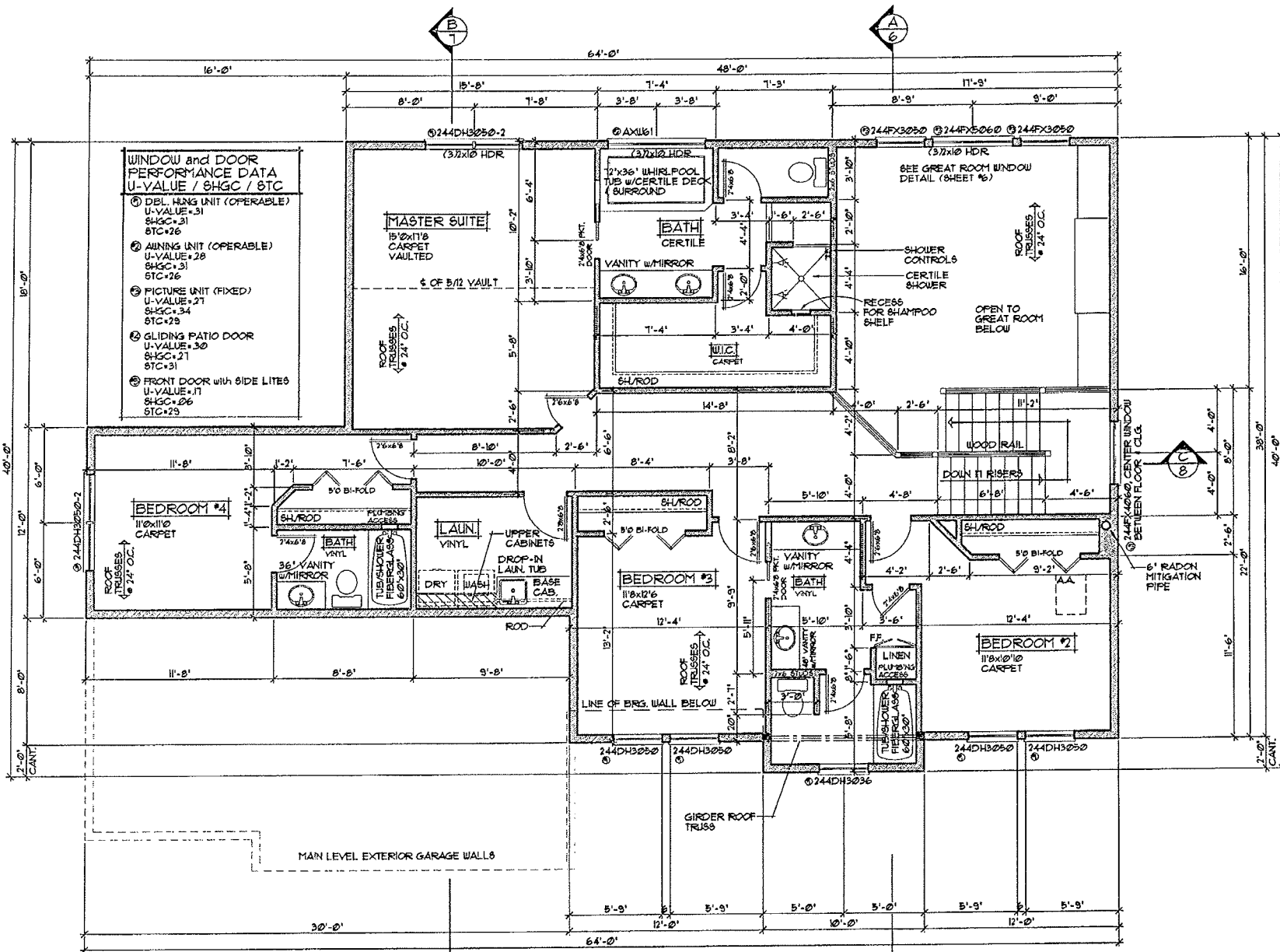
NOTE: FRAME ALL GARAGE WALLS W/ 2X6 STUDS @ 16" O.C. (TYP)

NOTE: 5'-1 1/8" PLATE HEIGHT @ ENTIRE FIRST FLOOR (TYP)

NOTE: PROVIDE STANDARD ENERGY HEEL @ ALL ROOF TRUSSES (TYP)

FIRST FLOOR PLAN 1/4"=1'-0"
 1525 SQ.FT.

NOTE: ANDERSEN WINDOWS, SPEC'D. VERIFY F.O. WITH SUPPLIER (TYP)



WINDOW and DOOR PERFORMANCE DATA
U-VALUE / SHGC / STC

- 1 DEL. HING UNIT (OPERABLE)
U-VALUE=.31
SHGC=.31
STC=76
- 2 AWNING UNIT (OPERABLE)
U-VALUE=.28
SHGC=.31
STC=76
- 3 PICTURE UNIT (FIXED)
U-VALUE=.21
SHGC=.34
STC=28
- 4 GLIDING PATIO DOOR
U-VALUE=.30
SHGC=.21
STC=31
- 5 FRONT DOOR with SIDE LITES
U-VALUE=.11
SHGC=.26
STC=29

NOTE: DO NOT HOLD RIM JOIST IN! RIM AREA TO BE INSULATED WITH CLOSED CELL SPRAYED FOAM INSULATION(TYP.)

SECOND FLOOR PLAN 1/4"=1'-0"

1540 SQFT.
384 SQFT. OPEN AREA STAIRS (NOT INCLUDED)

NOTE: PROVIDE STANDARD ENERGY HEEL * ALL ROOF TRUSSES (UNO.)

NOTE: ANDERSEN WINDOWS, SPEC'D. VERIFY R.O. WITH SUPPLIER(TYP.)

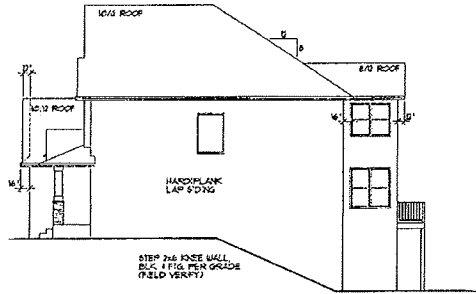
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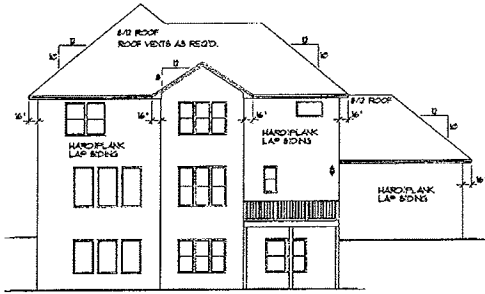
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(952) 831-1111

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GORHAM
CUSTOM HOMES, LLC

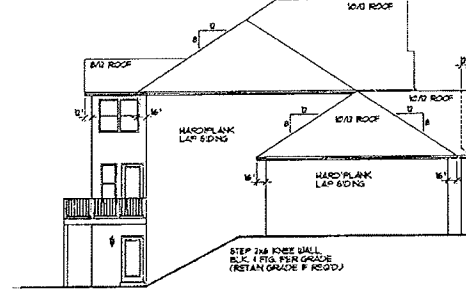
SHEET	5
OF 8	
CADD FILE #	11022



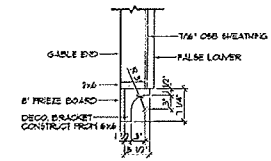
RIGHT ELEVATION 18'-11"-0"



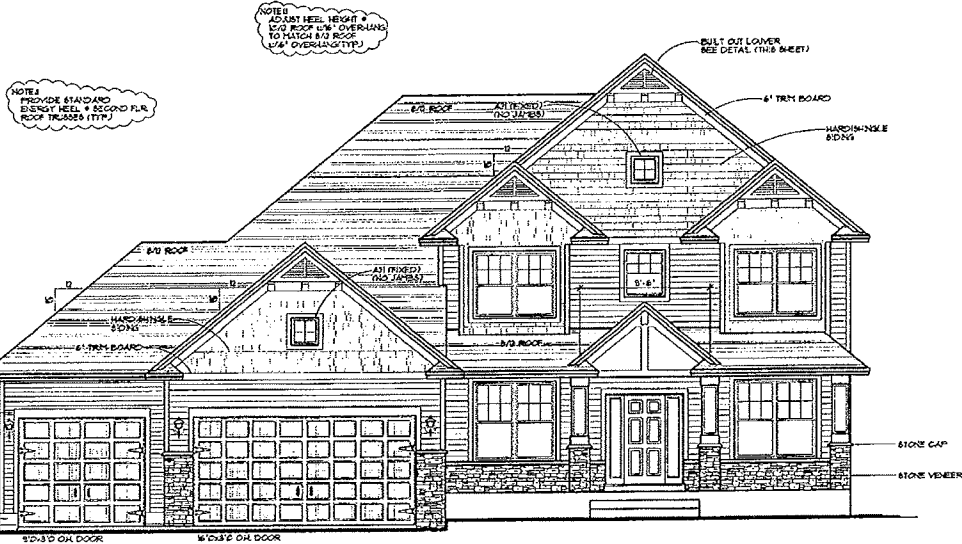
REAR ELEVATION 18'-11"-0"



LEFT ELEVATION 18'-11"-0"



BUILT OUT LOUVER DETAIL 1'-11"-0"



FRONT ELEVATION 18'-11"-0"

148 SQFT FIRST FLOOR
 827 SQFT SECOND FLOOR
 975 ± SQFT TOTAL

NOTE:
 ONE GARAGE TROUSERS
 FOUR GARAGE BLAD ON
 TOP OF ROOF COURSE &
 (REGULOUS BLADE-ENT AREA)

NOTE:
 PROVIDE BRACKETS
 & BENTY NEEL & SECOND FLR
 ROOF TRUSSES (TYP)

NOTE:
 ADJUST NEEL HEIGHT &
 10/12 ROOF L/W OVERHANG
 TO MATCH 8/12 ROOF
 L/W OVERHANG (TYP)

- ANDERSON 100 SERIES WINDOW SPEC'D.
- WINDOW CASINGS AS SHOWN
- STONE VENEER WHERE SHOWN
- HARDPLANK LAP SIDING
- ALUMINUM BOPPS & FASCIA
- DECORATIVE SHUTTERS WHERE SHOWN
- 4" UNDOU TRIM WHERE SHOWN

NOTE:
 5'-11\"/>

REVISED	BY
D144	MP

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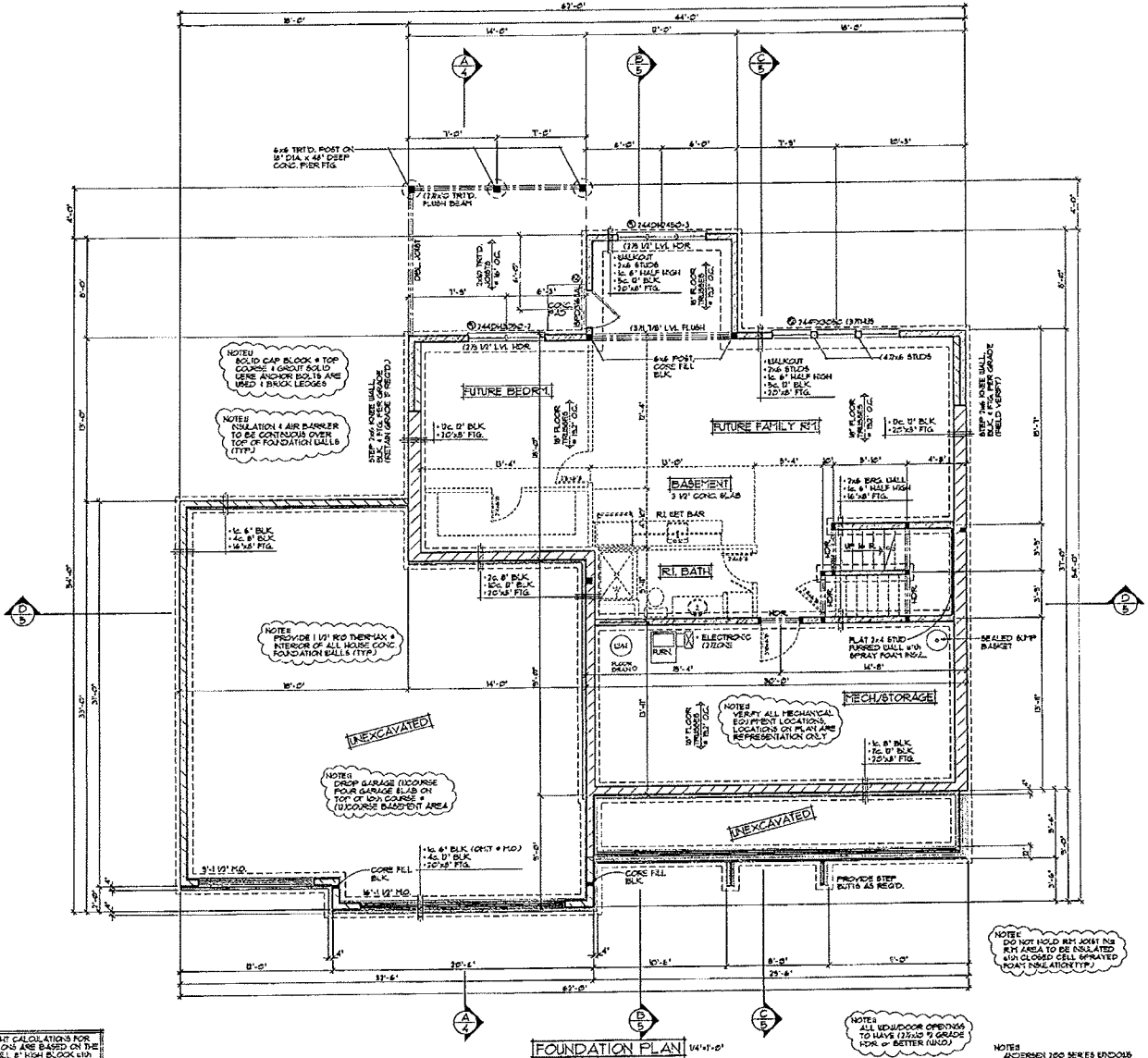
GORHAM CUSTOM HOMES, LLC
 1770 Blaine Parkway, Blaine, TN 37020
 615-932-1177
 www.gorhamhomes.com

THE
HOOPER RESIDENCE
 3155 128th COURT NE
 LOT 21, BLOCK 1, THE LAKES OF RADISSON 28th ADDITION
 BLAINE, MN

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DATE	1/2
BY	MP
CHECKED	XXX
DATE	3/25/2013
SCALE	AS NOTED
PROJECT	128th
SHEET	1 OF 5

WINDOW and DOOR PERFORMANCE DATA U-VALUE / SHGC / SFC	
1) DBL HNS UNIT (OPERABLE)	U-VALUE: .30 SHGC: .31 SFC: 11
2) PICTURE UNIT (FIXED)	U-VALUE: .28 SHGC: .33 SFC: 13
3) ADJNG UNIT (OPERABLE)	U-VALUE: .28 SHGC: .31 SFC: 13
4) WIPED PATIO DOOR	U-VALUE: .33 SHGC: .34 SFC: 13
5) FRONT DOOR W/ 8 SIDE LITES	U-VALUE: .11 SHGC: .24 SFC: 15



ALL HEIGHT CALCULATIONS FOR FOUNDATIONS ARE BASED ON THE USE OF REL. 1" HIGH BLOCK WITH 1/4" JOINTS. IF MODULAR BLOCK IS USED, CONTRACTORS SHOULD ADJUST HEIGHTS ACCORDINGLY.

FOUNDATION PLAN 1/4"=1'-0"

REVISIONS

NO. 1	AS SHOWN
NO. 2	AS SHOWN
NO. 3	AS SHOWN
NO. 4	AS SHOWN
NO. 5	AS SHOWN

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 1177 Main Street, Suite 100, Gorham, ME 04038
 Tel: 603.833.1177
 Fax: 603.833.1178
 www.gorhamcustomhomes.com

GORHAM
 CUSTOM HOMES, LLC

PROJECT: 1777 Main Street, Suite 100, Gorham, ME 04038
 DRAWING NO: 1777 Main Street, Suite 100, Gorham, ME 04038
 DATE: 10/10/2017

DESIGNED BY: [Name]
 CHECKED BY: [Name]
 DRAWN BY: [Name]

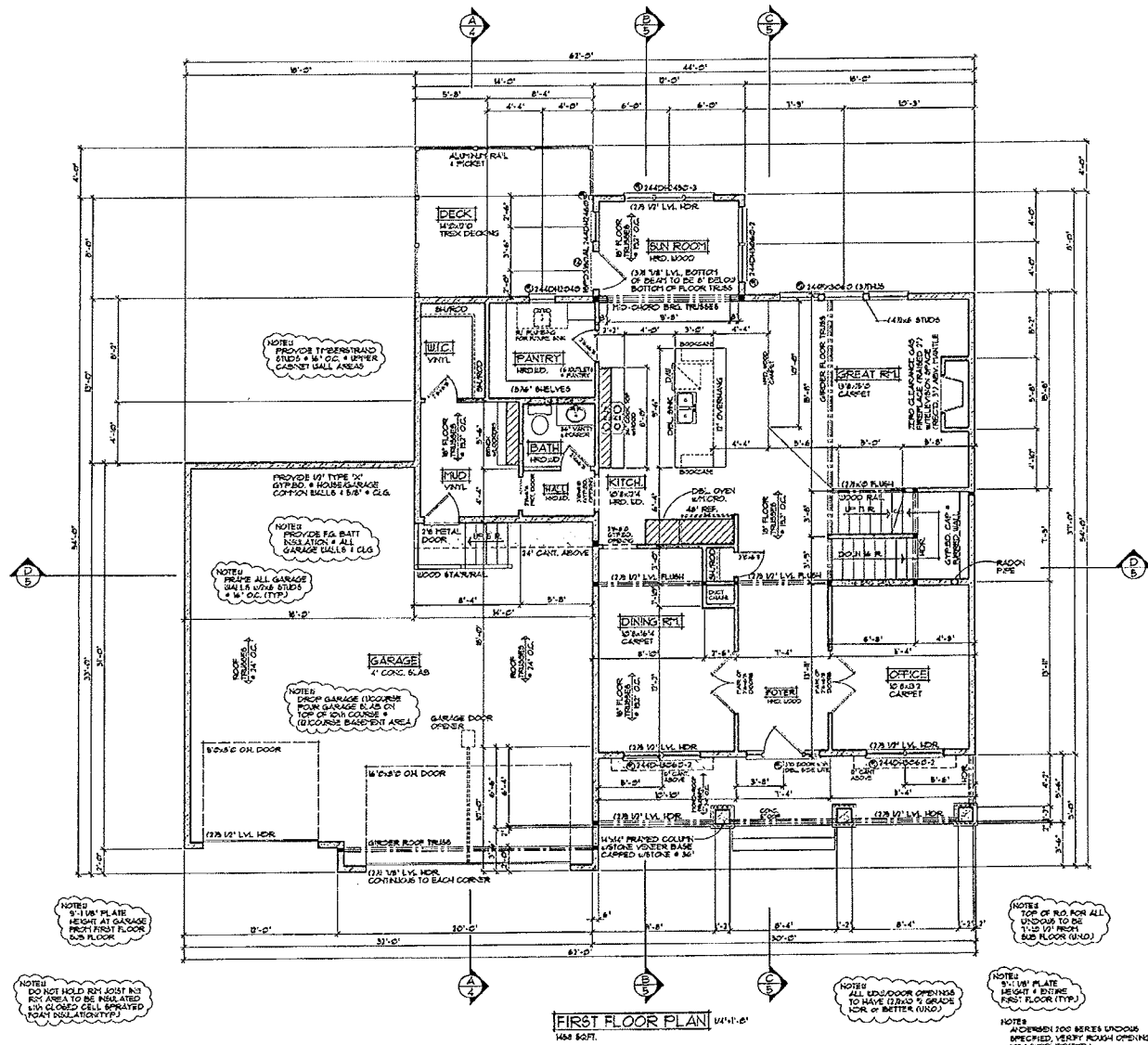
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1	REVISIONS
2	REVISIONS
3	REVISIONS
4	REVISIONS
5	REVISIONS

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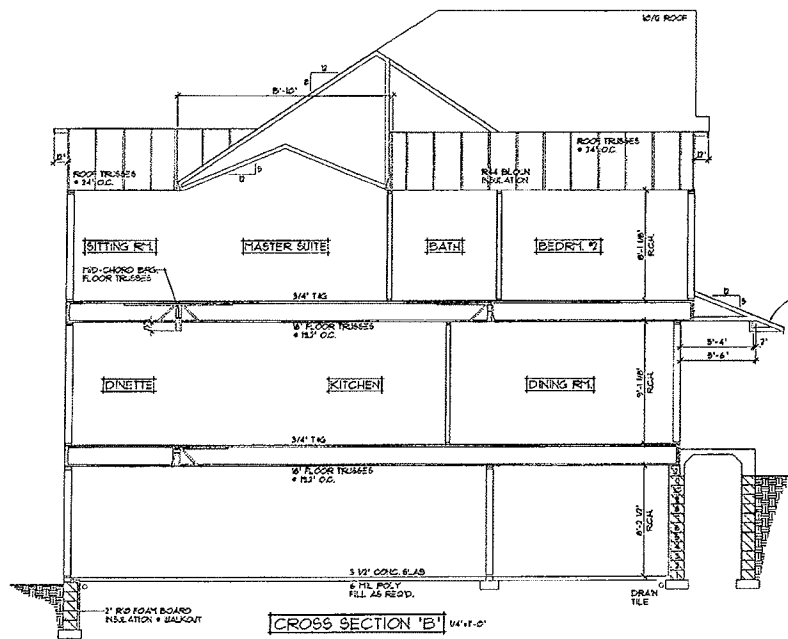
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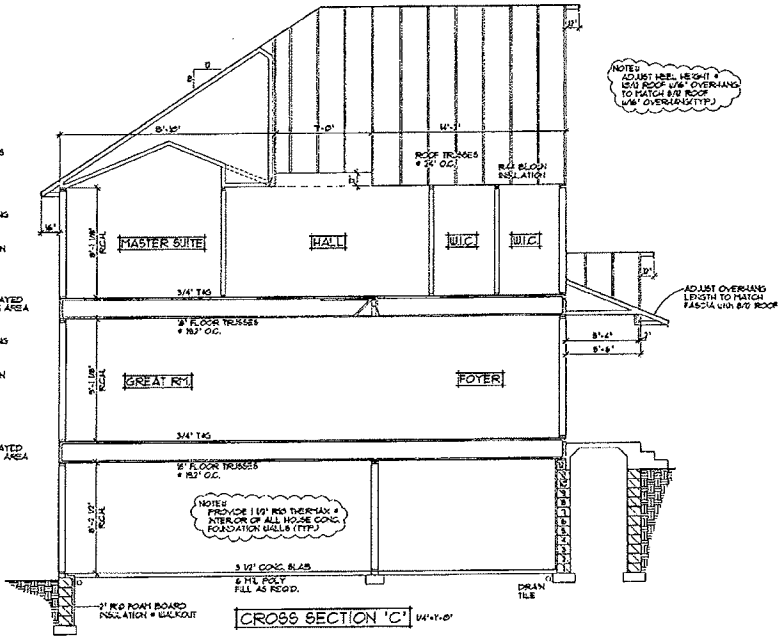


WINDOW and DOOR PERFORMANCE DATA	
U-VALUE / SHGC / STC	
1	601.14X3.00 (OPERABLE) U-VALUE: 0.26 SHGC: 0.33 STC: 17
2	612.00X6.00 (FIXED) U-VALUE: 0.25 SHGC: 0.33 STC: 17
3	601.14X3.00 (OPERABLE) U-VALUE: 0.26 SHGC: 0.33 STC: 17
4	601.14X3.00 (FIXED) U-VALUE: 0.26 SHGC: 0.33 STC: 17
5	601.14X3.00 (FIXED) U-VALUE: 0.26 SHGC: 0.33 STC: 17
6	601.14X3.00 (FIXED) U-VALUE: 0.26 SHGC: 0.33 STC: 17

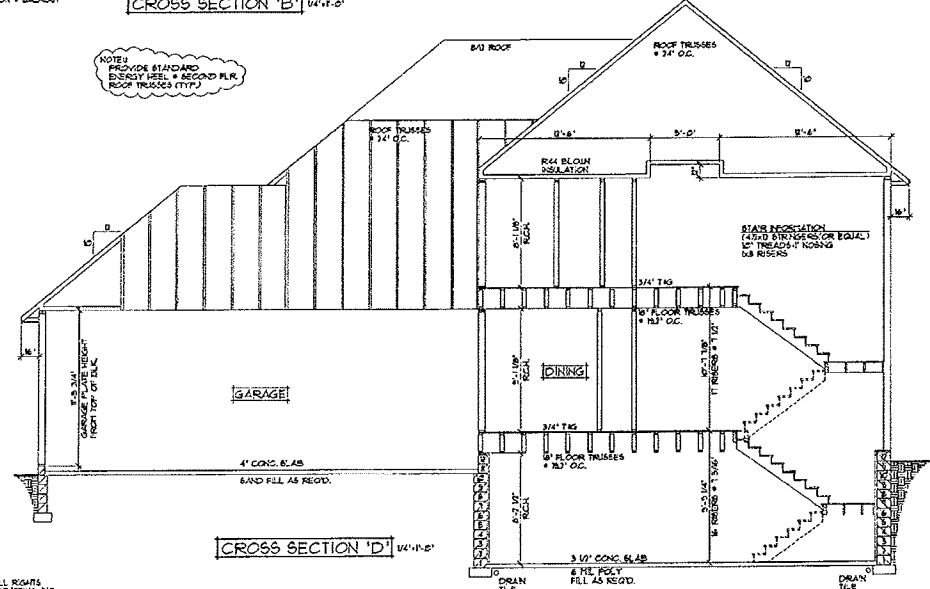
FIRST FLOOR PLAN 1/4"=1'-0"
 168 SQ. FT.



CROSS SECTION 'B' 1/4\"/>



CROSS SECTION 'C' 1/4\"/>



CROSS SECTION 'D' 1/4\"/>

ROOF VENTS AS REQ'D.
ASPHALT SHINGLES
ICE GUARDSHIELD
1/2\"/>

ALUMINUM FASCIA
ALUMINUM SOFFIT

HARD PLANK LAP SIDING
HOUSEWRAP
7/8\"/>

R15 CLOSED CELL SPRAYED
FOAM INSULATION + R14 AREA

HARD PLANK LAP SIDING
HOUSEWRAP
7/8\"/>

R15 CLOSED CELL SPRAYED
FOAM INSULATION + R14 AREA

6\"/>

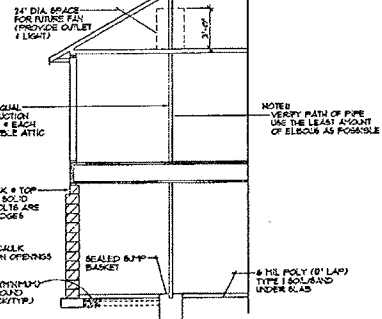
2x4 TRIM PLATE
6\"/>

ANCHOR STRIPS
6\"/>

NOTE:
ADJUST HSE. HEIGHT
1/2\"/>

NOTE:
PROVIDE 1\"/>

NOTE:
PROVIDE STANDARD
ENERGY SEAL + SECOND FLR.
ROOF TRUSSES (TYP)



ALTERNATE METHOD FOR PASSIVE
RADON MITIGATION SYSTEM

ALL WEIGHT CALCULATIONS FOR
ROOF LOADS ARE BASED ON THE
USE OF FULL 8\"/>

REVISED	BY	DATE

CROIX DESIGN AND DRAFTING, INC.
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 Houston, Texas 77036
 (281) 415-1100
 www.croixdesign.com

GORHAM
 CONSTRUCTION, LLC
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 Houston, Texas 77036
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 www.gorhamconstruction.com

SHEET
 5
 CAD FILE
 1103



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 763-242-3706 Lic#1698
 Email hedberghomesinc@aol.com



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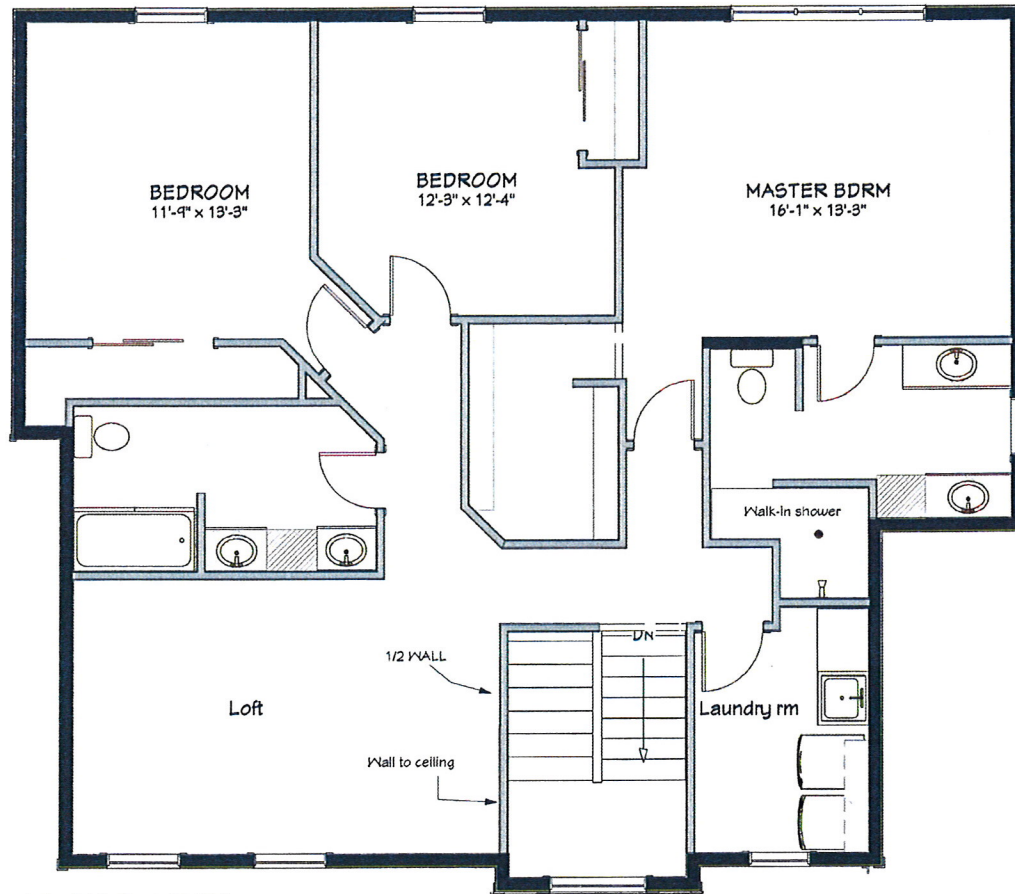
Note: These drawings are interpretation of the general floor plan. It is not to be an exact rendition, all measurements are to be verified.

Project Name
 McLee

Date
 7-18-13
Rev.
 date

1 - 3

Acceptance of plans: _____
 Date: _____



LIVING AREA
1305 sq ft

BEDROOM
11'-9" x 13'-3"

BEDROOM
12'-3" x 12'-4"

MASTER BDRM
16'-1" x 13'-3"

Loft

1/2 WALL


Wall to ceiling

Laundry rm

Walk-in shower

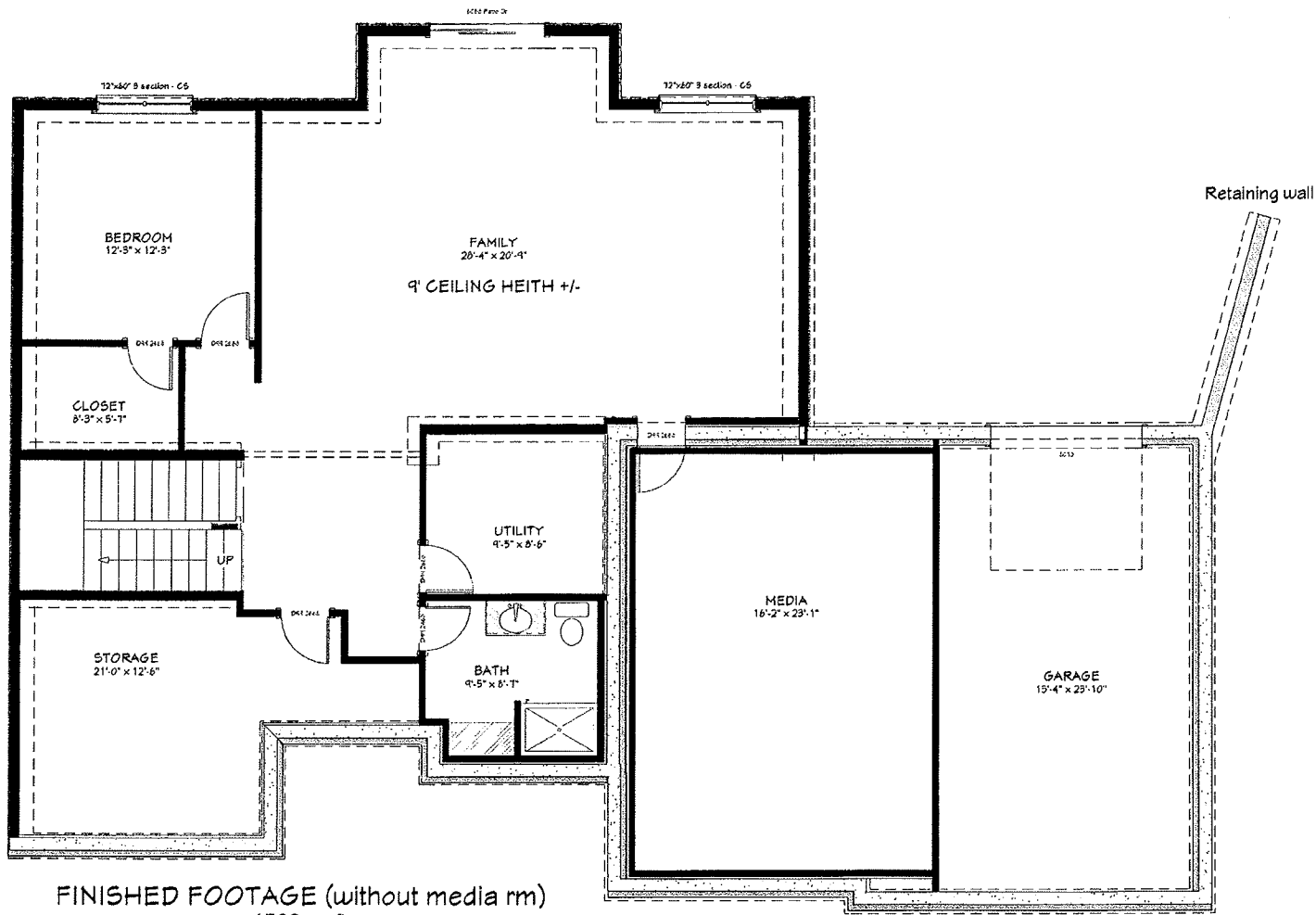
DN

Acceptance of plans: _____
Date: _____

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<p>Date 7-18-13</p> <p>Rev. date</p>	<p>Project Name McLee</p>
<p>3 - 3</p>	

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FINISHED FOOTAGE (without media rm)
1522 sq ft

Acceptance of plans: _____
Date: _____

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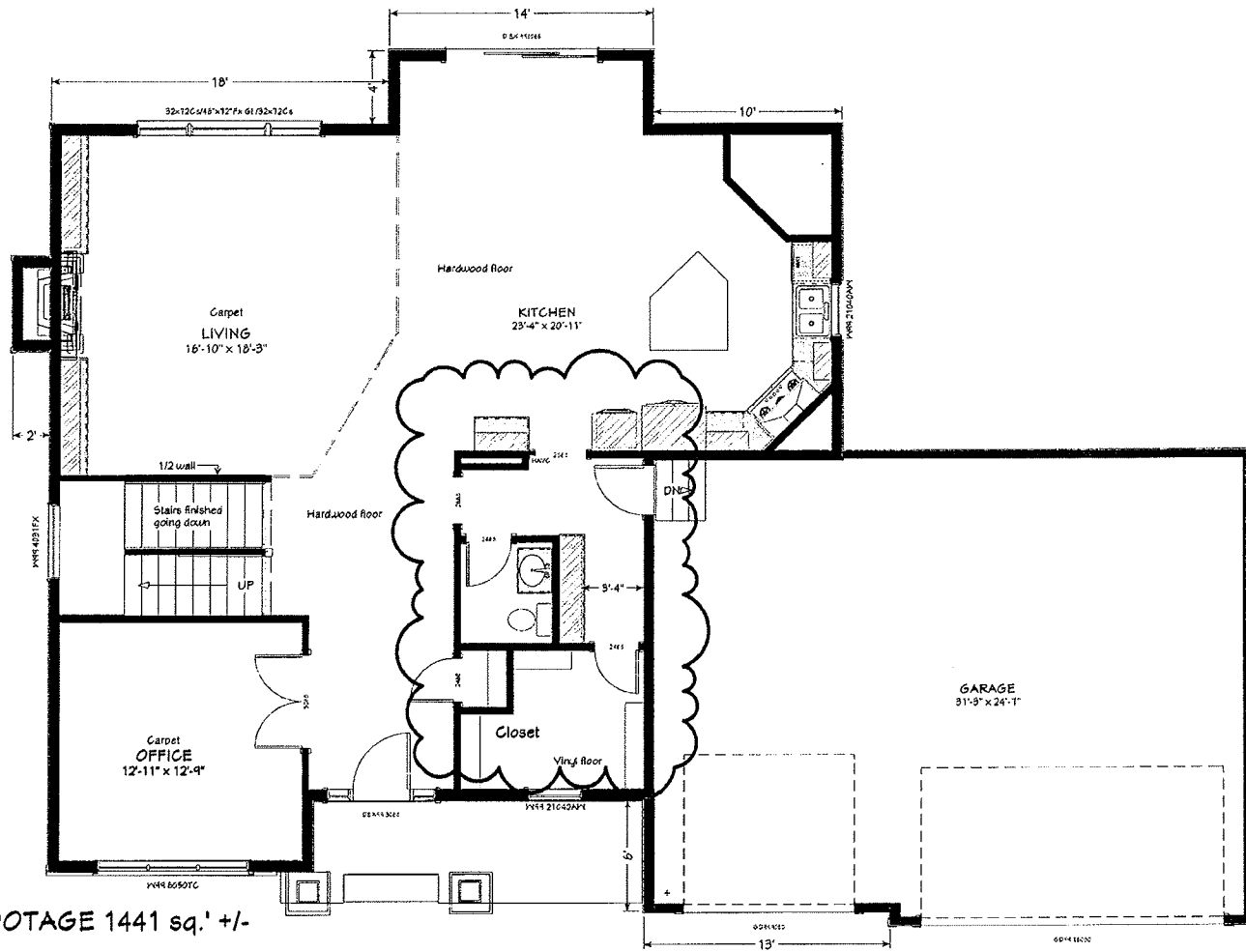


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Project Name
Ehren & Jennifer McCrehan

Date: 3-24-13
Rev. date: 4-4-13

1 - 4



1ST FLOOR FOOTAGE 1441 sq.' +/-

Total finished footage 3076 sq.'

Acceptance of plans: _____
Date: _____

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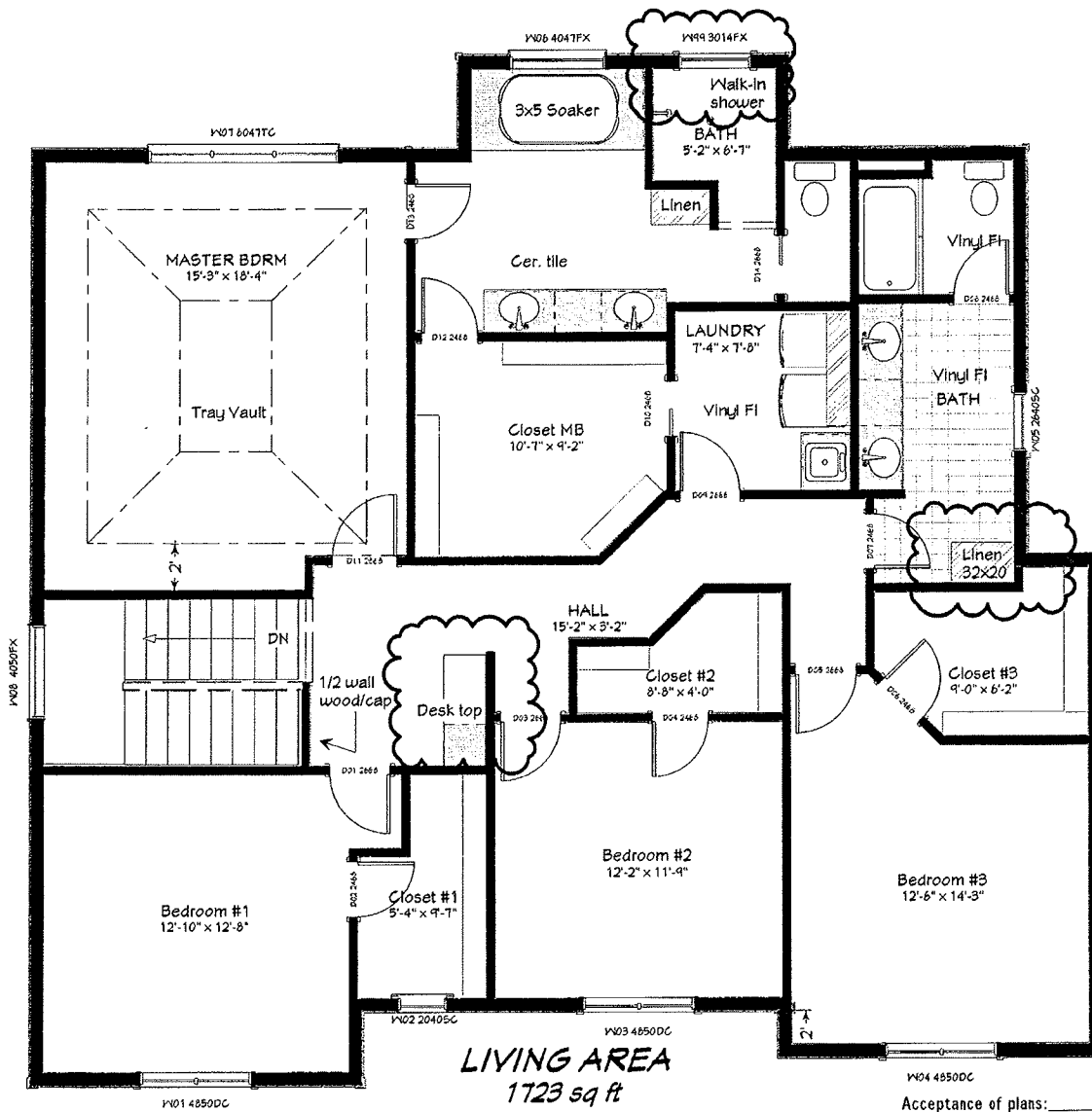


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Project Name
Ehren & Jennifer McGeehan

Date
3-24-13
Rev.
date
4-1-13

2 - 4



LIVING AREA
1723 sq ft

4247 117th Ave Blaine, MN 55449
763-242-3706 Lic#1698
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Hedberg
HOMES

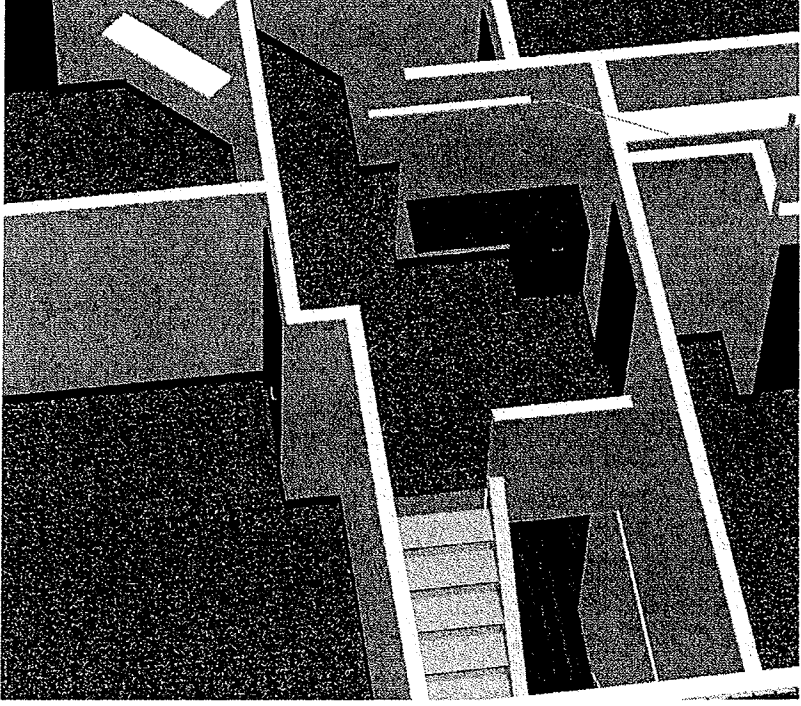
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Project Name
Elren & Jennifer McGeehan

Date 3-29-13
Rev. date 4-1-13

3 - 4

Acceptance of plans: _____
Date: _____



Acceptance of plans: _____
 Date: _____

Date
 3-29-13
Rev.
 date
 4-4-13

Project Name
 Ehren &
 Jennifer
 McGeehan

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THE ENCLAVE COVENANTS

1. Builders may place one marketing sign on a lot which they have purchased for a model or spec, or a lot on which they are building a home. Signs will be no more than 8 sq. ft. in size. A model home may have a model home sign no more than 16 sq. ft. in size.
2. Minimum sq. footage on houses shall be as follows:
 - a. Rambler – 1600 sq. ft. above grade
 - b. 2-story – 1200 sq. ft. on main level and at least 2200 sq. ft. above grade
3. All roofs shall have decorative shingles or better with 7/12 minimum pitch on main part of roof.
4. All exterior fronts shall have brick, stone, cement board. No vinyl, aluminum or steel siding (except soffit & fascia). Sides and rear may be vinyl, aluminum or steel.
5. All driveways shall be concrete – maximum width of 24 ft.
6. The entire yard must be sodded the year of possession. If weather conditions do not permit of installation, then sod shall be installed by June 15th of the following year. All homes must also have underground sprinkler system and a minimum landscape allowance of \$5,000, excluding sod & sprinkler.
7. Automobiles of homeowners should be parked in the garage as much as possible. There shall be no parking of motor homes, camp trailers, boat trailers or any other type of recreational vehicle, except for a temporary 24-hour period, provided that such 24-hour period does not violate any city ordinances.
8. There shall be no dog kennels or dog runs.
9. Swimming pools shall be “in ground” only, if the lot allows. Any pool equipment building shall be screened with shrubbery.
10. Fences allowed in rear yards only and cannot be of wood material. (See Master Declaration and Covenants.)

THE ENCLAVE

Proposed 25 lot single-family housing development in The Lakes of Radisson, Blaine, MN.

Features that will make this site an attractive residential neighborhood.

Across the street from an elementary school is a good choice for residential. (When the area was first zoned industrial, there was no school there.)

The deep single-family lots are very attractive to families.

Price range of homes will be \$425,000 to \$600,000.

Covenants will be on made to insure the integrity of the neighborhood.

The landscape plan shows berming along the north area of lots with many 6 ft. tall spruce & fir trees.

Berming on Outlot A with tree spaded 10 ft. tall balsam fir trees and an entrance monument for an attractive entrance and buffering from industrial lot.

9 - 10 ft. tall fir or spruce trees on Lot 1 for an attractive buffer from street.

The existing curb and asphalt street will be removed and replaced.

Builders ready and eager to start are: Gotham Custom Homes, Hedberg Homes, Regency Homes, Price Homes and SW Wold Builders.

Upon completion, which will be quick, it will bring approx. \$12,000,000 of assessed valuation to that area.



The Enclave

PARCEL DESCRIPTION
THE LAKES OF RADISSON 32ND
ADDITON & that part of THE LAKES
OF RADISSON COMMERCIAL PARK.

SITE DATA:	
TOTAL AREA:	± 14.25 AC.
TOTAL ROW AREA:	± 1.62 AC.
TOTAL OUTLOT AREA:	± 0.11 AC.
TOTAL LOT AREA:	± 12.52 AC.
TOTAL NUMBER OF LOTS:	25

SETBACK CRITERIA:
 MIN. LOT AREA: 11,400 SQ. FT.
 MIN. LOT WIDTH @ SETBACK: 70 FT.
 MIN. FRONT SETBACK: 25 FT.
 SIDE HOUSE SETBACK: 10 FT.
 SIDE GARAGE SETBACK: 5 FT.
 REAR SETBACK: 30 FT.
 SIDE STREET SETBACK: 20 FT.

**Carlson
McCain**
 ENVIRONMENTAL • ENGINEERING • SURVEYING
 248 Apollo Dr. Suite 100, Lino Lakes, MN 55014
 Phone: 763-489-7900 Fax: 763-489-7959

SKETCH PLAN
THE ENCLAVE
 Blaine, Minnesota

GORHAM DEVELOPMENT, LLC
 1877 Station Parkway
 Andover, MN

REVISIONS

1	Per client. GAGE/14
2	
3	
4	
5	

DRAWN BY: CT
 CHECK DATE: GAGE/14
 FILE NO: