

Case File No. 17-0038
Pressed, Inc.

Blaine Planning Department / 10801 Town Square Dr NE / Blaine, MN 55449 / (763) 785-6180



Hours of Operation for the Juice Bar will be 7am-7pm M-F and 8am-5pm Sat-Sun.

I attached a preliminary yoga class schedule to show the hours we will be operating the yoga rooms (yellow font color is used for classes in the second room).

We will have a desk staff 30 min before each class to check in students, as well as the instructor that will be teaching that class. Teachers are paid per/class so once the class is over and the room is cleaned they have fulfilled their class slot. This happens for each class everyday. There will always be 1-2 people at the juice bar while open for anyone with questions between classes. This will be our daily operation of the yoga rooms.

Hot Yoga/Flow/Sculpt/Barre

	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday	Sunday	
6am-7am	Hot 1	Hot 2	Hot 2	Hot 1	Hot 2			
6:30am-7:30am		Barre		Sculpt				
8am-9am	Hot 1		Hot 1		Hot 1	Hot 2	Hot 2	
9am-10am						Barre	Sculpt	
9:30am-10:30am	Hot 1	Hot 1	Hot 2	Hot 1	Hot 2	Hot 1	Hot 1	
10:30am-11:30am						Gentle Flow		
11am-12pm		Gentle Flow		Gentle Flow				
5pm-6pm	Hot 1	Hot 1	Hot 1	Hot 1	Hot 2			
6:30pm-7:30pm	Hot 2	Hot 2	Hot 2	Hot 2	Hot 1			
8pm-9pm	Hot 1 C	Hot 1 C	Hot 1 C	Hot 1 C				
38 Classes		6	7	6	7	5	4	3

Code Information

THE FOLLOWING CODES AND STANDARDS-LATEST EDITION, ARE USED IN PREPARATION OF THESE DOCUMENTS. THE CONTRACTOR SHOULD REVIEW AND BE FAMILIAR WITH THE REQUIREMENTS AND STANDARDS THEREIN. ANY NON-COMPLIANCE DISCOVERED BY OR MADE KNOWN TO THE CONTRACTOR SHALL BE REPORTED PROMPTLY TO THE ARCHITECT.

- 2015 MINNESOTA BUILDING CODE (MBC)
- 2015 MINNESOTA FIRE CODE (MFC)
- 2015 MINNESOTA ACCESSIBILITY CODE (MAC)
- 2015 MINNESOTA ENERGY CODE (MEC)

- OTHER CODE DOCUMENTS TO BE USED BY OTHERS:
- 2015 MINNESOTA MECHANICAL & FUEL GAS CODE (MVC & MFGC)
 - 2015 MINNESOTA PLUMBING CODE (MPC)
 - 2017 NATIONAL ELECTRICAL CODE (NEC)

Building Information

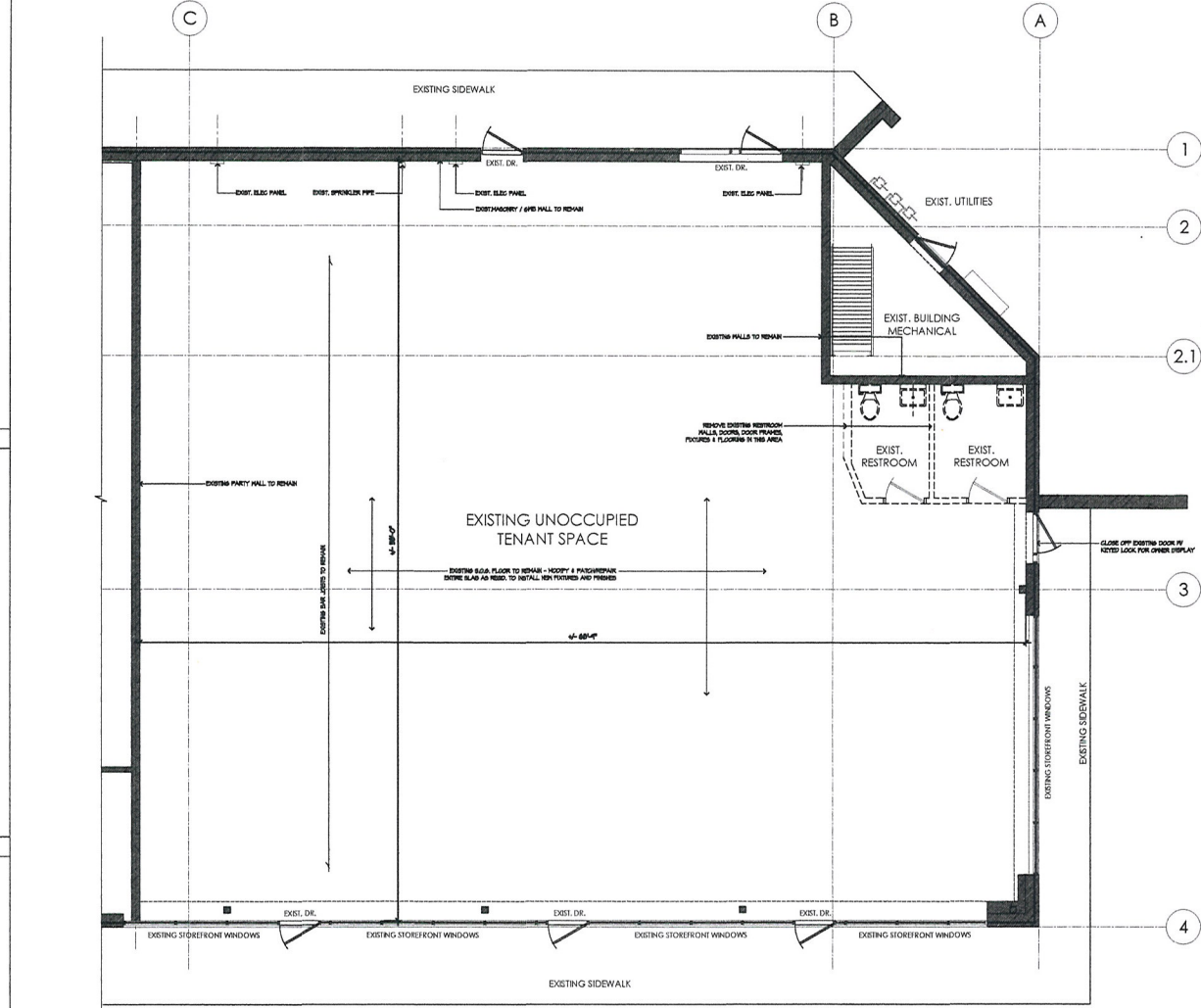
Pressed Juice Rental Space: 3756 Net Square Feet
3800 Gross Square Feet

Existing Construction: Non-Combustible / Type III Fully Sprinklered Steel Structural Frame - Posts & Beam & Roof Masonry Facade & Concrete Slab On Grade

Code Analysis

Occupancy Classification	Group B per 303.1.1 - Assembly space with <50 Occs.
Occupant Load - Table 1004.1.2	Exercise Room = 50 Gross / 1717 / 50 = 34 Occs. Kitchen = 200 Gross / 231/200 = 1 Occ. Merchandise = 100 Gross / 1039/100 = 10 Occs. Storage = 300 Gross / 153/300 = 0 Occs. Total = 45 Occs.
Fixture Count - Table 2902.2	2 WC / 2 LAV / 1 DF / 1 MOP SINK
Exit Access - Table 1015.1	One exit is required for Type B Occupancy with an occupant load of 49 or less. Exit Access Travel Distance of 300 feet or less per Table 101.6.2 - Actual distance 33'-0". Common Path of Travel less than 100 feet per Table 101.4.3 - Actual distance 33'-0".

THESE DRAWINGS ARE BASED UPON ARIACAD BACKGROUNDS PROVIDED TO THE ARCHITECT BY THE LEASING AGENT. ALL DIMENSIONS MUST BE FIELD VERIFIED PRIOR TO CONSTRUCTION. THE ARCHITECT IS NOT RESPONSIBLE FOR ANY/ALL DISCREPANCIES BETWEEN THESE DRAWINGS AND THE AS-BUILT CONDITIONS.



GENERAL INFORMATION

1. THE ARCHITECT IS NOT RESPONSIBLE FOR PROVIDING STRUCTURAL, MECHANICAL/ELECTRICAL, ENGINEERING, OR FIRE PROTECTION SERVICES. SEE ADDITIONAL DRAWINGS PROVIDED BY CONTRACTOR FOR FURTHER INFORMATION.
2. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING ALL DIMENSIONS & EXISTING CONDITIONS PRIOR TO COMMENCEMENT OF THE WORK.
3. DO NOT SCALE THE DRAWINGS.
4. SIMILAR MATERIALS INDICATED ON DIFFERENT PLANS & DETAILS & ANNOTATED ON ONE OR MORE PLAN OR DETAIL SHALL BE CONSIDERED ANNOTATED, NOTED OR LABELED COMPLETELY ON ALL PLANS AND DETAILS.
5. IN THE CASE OF AMBIGUITIES, DISCREPANCIES OR IRREGULARITIES IN THE DRAWINGS, MANUFACTURER'S INSTRUCTIONS, SITE CONDITIONS OR APPLICABLE CODES AND STANDARDS, REQUEST CLARIFICATION FROM THE ARCHITECT BEFORE PROCEEDING. LIABILITY FOR PROCEEDING WITHOUT OBTAINING CLARIFICATION WILL BE BORNE SOLELY BY THE CONTRACTOR.
6. UPON DEMOLITION REMOVE ALL LOOSE MATERIAL OR DEBRIS. CLEAN THE SUBSTRATE TO ALLOW FOR PROPER INSTALLATION OF NEW FINISHES. REPAIR EXISTING SURFACES DAMAGED DURING DEMOLITION AS REQUIRED TO MATCH EXISTING ADJACENT SURFACES.
7. PROTECT EXISTING SURFACES & EQUIPMENT TO REMAIN DURING CONSTRUCTION.
8. THESE DRAWINGS ARE UNIQUE TO THE PROJECT AT THIS ADDRESS AND WERE DEVELOPED BASED ON CODES, ORDINANCES, REGULATIONS AND SITE CONDITIONS IN EFFECT AT THE TIME OF DRAWING DATE. RE-USE OF THESE PROJECT DOCUMENTS IN PART OR IN WHOLE IS PROHIBITED.
9. PROVIDE SIGNAGE AT ALL ACCESSIBLE RESTROOM AND SHOWERS.
10. PROVIDE ACCESSIBLE SEATING AT ALL AREAS WHERE SEATING IS PROVIDED.
11. TYPICAL DIMENSIONS SHOWN FROM FACE OF EXISTING TO CENTERLINE OF NEW WALLS OR CENTERLINE TO CENTERLINE OF NEW WALLS.

GENERAL NOTES

- MBC**
○○○ = ROOM NAME & NUMBER
- ◊ = WALL TYPES - SEE SHEET A3.0
- ▨ = EXISTING WALLS TO REMAIN

LEGEND

EXISTING FLOOR PLAN / DEMOLITION PLAN

THESE DRAWINGS CONTAIN TRADE SECRET INFORMATION PROVIDED BY THE OWNER AND USED BY THE ARCHITECT. THESE DRAWINGS ARE NOT TO BE COPIED, SHARED OR USED FOR ANY OTHER PURPOSES OTHER THAN THE CONSTRUCTION OF THIS PROJECT. COPYRIGHT 2017 CUNDY, SANTINE & ASSOCIATE ARCHITECTS.

CUNDY, SANTINE & ASSOCIATES ARCHITECTS

304 Leander Avenue North
St. Paul, MN 55106
651.291.4154
www.csaarch.com

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the State of Minnesota.

Signature: *[Signature]*
Title: *[Title]*
Date: 08-11-17
Exp. 08-31-17

CD - Existing Floor Plan & General Information

PROJECT NO. 08-15-017
DATE 08-11-17
REVISIONS
DRAWN BY
CHECKED BY
DATE

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Pressed Juice Yoga Studio

Ulysses Street
Baldwin, MN

A1.0

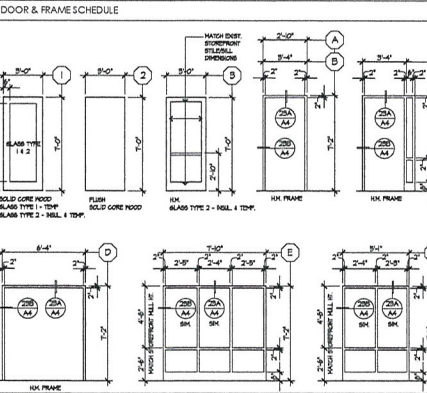
ROOM NO	ROOM DESCRIPTION	FLOOR			WALLS			CEILING			REMARKS
		MTL	FIN	BASE	MTL	FIN	MTL	FIN	HT		
01	VESTIBULE	CONC.	SEALED	VAR.	REINFORCED	PT	CONC.	PT	4'-0" - 9'-0"		
02	SEATING	CONC.	SEALED	VAR.	CONC.	PT	-	PT	EXIST. 9'-6"		
03	SALES	CONC.	SEALED	VAR.	CONC.	PT	-	PT	EXIST. 9'-6", 10'-0"		
04	JUICE BAR	CONC.	SEALED	VAR.	CONC.	PT	-	PT	EXIST. 9'-6"		
05	LOUNGE	CONC.	SEALED	VAR.	CONC.	PT	-	PT	EXIST. 6'-0"		
06	KITCHEN	CONC.	CT.	CONC.	CONC.	PT	CONC.	PT	EXIST. 4'-0"		
07	OFFICE	CONC.	CT.	CONC.	CONC.	PT	CONC.	PT	EXIST. 9'-6"		
08	STORAGE	CONC.	SEALED	VAR.	CONC.	PT	CONC.	PT	EXIST. 9'-6"		
09	STORAGE	CONC.	SEALED	VAR.	CONC.	PT	CONC.	PT	EXIST. 9'-6"		
10	YOGA STUDIO	CONC.	SEALED	VAR.	CONC.	PT	CONC.	PT	EXIST. 9'-6"		
11	UTILITY	CONC.	-	VAR.	CONC.	PT	-	PT	EXIST.		
12	BAR STUDIO	CONC.	SEALED	VAR.	CONC.	PT	CONC.	PT	EXIST. 9'-6"		
13	LOCKER ROOM	CONC.	CT.	CONC.	CONC.	PT	CONC.	PT	EXIST. 9'-6"		
14	SHOWER	CONC.	CT.	CONC.	CONC.	PT	CONC.	PT	EXIST. 9'-6"		
15	HALL	CONC.	SEALED	VAR.	CONC.	PT	CONC.	PT	EXIST. 9'-6"		
16	H.C. SHOWER	CONC.	CT.	CONC.	CONC.	PT	CONC.	PT	EXIST. 9'-6"		
17	STORAGE	CONC.	-	VAR.	CONC.	PT	CONC.	PT	EXIST. 9'-6"		
18	TOILET	CONC.	CT.	CONC.	CONC.	PT	CONC.	PT	EXIST. 9'-6"		

- ROOM FINISH SCHEDULE NOTES**
1. * INDICATES MOISTURE RESISTANT GYP BOARD SHALL BE USED AT ALL WET WALLS.
 2. SEE INTERIOR ELEVATIONS FOR WALL FINISH MATERIAL LOCATIONS.
 3. PROVIDE SMOKE TRANSFER AT CHANGES IN FLOOR MATERIALS - MAX. 1/2" RISE IN FLOOR TRANSITION.
 4. PROVIDE FLOOR FINISH IN RECEPTION & OFFICE.
 5. FINISH FLOOR TO BE MATCHED TO HAVE A UNIFORM AND LEVEL TOP. PROVIDE CAP AT KITCHEN SOFFIT AS REQ'D.
 6. FINISH FLOOR TO BE MATCHED TO HAVE A UNIFORM AND LEVEL TOP. PROVIDE CAP AT KITCHEN SOFFIT AS REQ'D.
 7. LOCATIONS TO BE 2" TO 3" HIGH W/ ALTERNATING COLORED AND OPEN LOCKERS.
 8. PROVIDE 2" HIGH W/ ALTERNATING COLORED AND OPEN LOCKERS.
 9. SHOWERS & LOCKER ROOM INTERIOR WALLS TO BE 9'-0" HIGH.
 10. SPECIAL WALL FINISH AS NOTED.
 11. EQUIPMENT, FIXTURES & FURNITURE TO BE SELECTED BY OWNER.
 12. EVERY REQUIRED WALL FINISH AND PART FINISH FOR WALL COATED OVER.
 13. TOILET PARTITION PANELS TO BE ENAMELED WOOD PANELS.
 14. HANDS OFF FLOOR FINISHES.

ROOM FINISH SCHEDULE

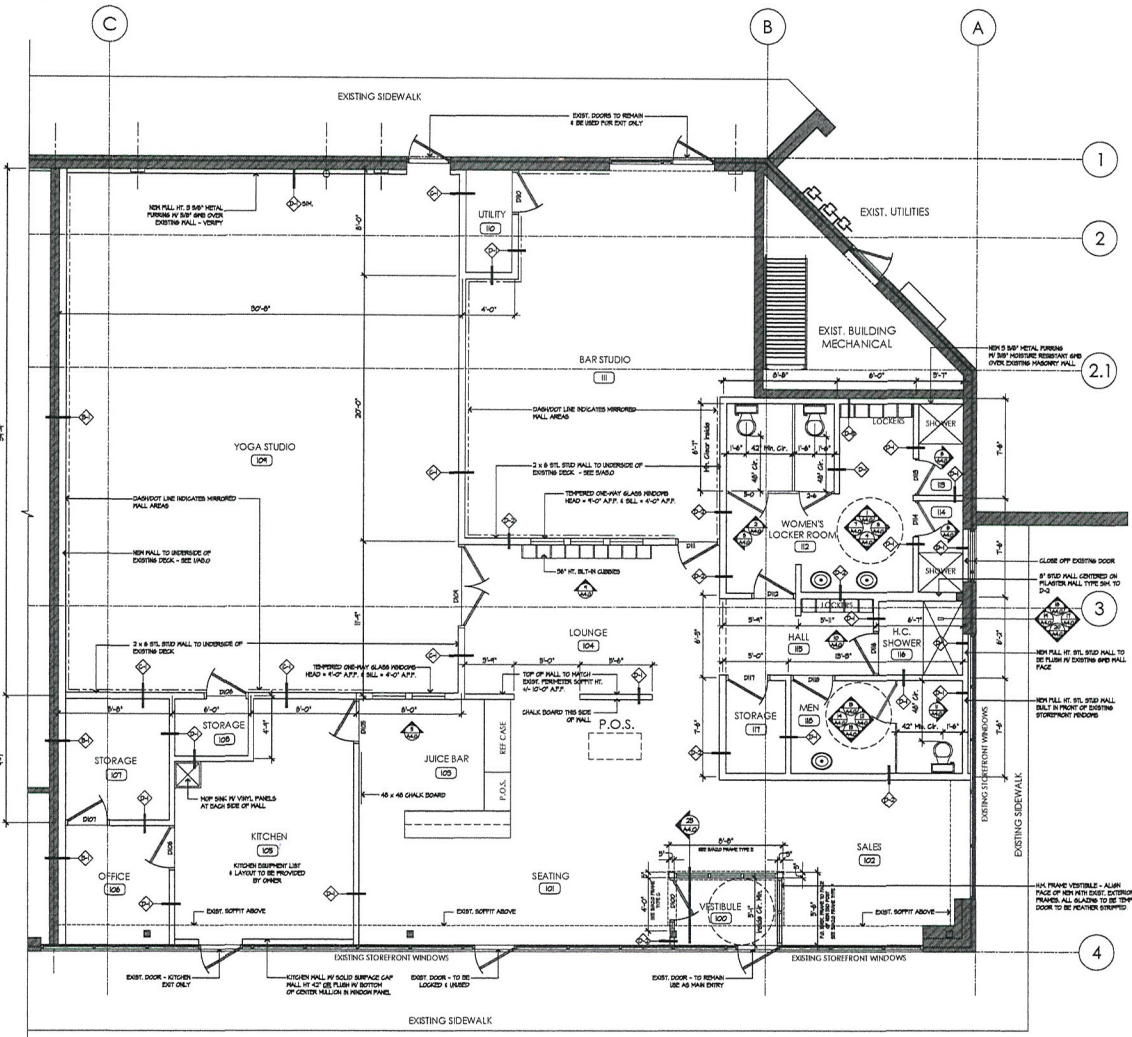
ROOM NO	ROOM DESCRIPTION	FLOOR	WALLS	CEILING	REMARKS
01	VESTIBULE	CONC.	SEALED	VAR.	
02	SEATING	CONC.	SEALED	VAR.	
03	SALES	CONC.	SEALED	VAR.	
04	JUICE BAR	CONC.	SEALED	VAR.	
05	LOUNGE	CONC.	SEALED	VAR.	
06	KITCHEN	CONC.	CT.	CONC.	
07	OFFICE	CONC.	CT.	CONC.	
08	STORAGE	CONC.	SEALED	VAR.	
09	STORAGE	CONC.	SEALED	VAR.	
10	YOGA STUDIO	CONC.	SEALED	VAR.	
11	UTILITY	CONC.	-	VAR.	
12	BAR STUDIO	CONC.	SEALED	VAR.	
13	LOCKER ROOM	CONC.	CT.	CONC.	
14	SHOWER	CONC.	CT.	CONC.	
15	HALL	CONC.	SEALED	VAR.	
16	H.C. SHOWER	CONC.	CT.	CONC.	
17	STORAGE	CONC.	-	VAR.	
18	TOILET	CONC.	CT.	CONC.	

- DOOR SCHEDULE NOTES**
1. SHOWERS & TOILET PARTITION DOORS TO BE COLORED WOOD W/ ENAMEL FINISH.
 2. DOOR & FRAME TO BE 1 1/2" W/ FINISH PROFILES AND (SPOT) FINISH.
 3. DOORS TO BE FULL WOOD.
 4. DOORS TO BE FULL WOOD.
 5. DOORS TO HAVE CLOSERS.
 6. CLOSERS TO BE PROVIDED AS PERMITTER OF DOOR.
 7. FACE OF DOOR TO HAVE FINISH.
 8. MARKING OF DOOR TRANSITION AT ALL DOOR THRESHOLDS.
 9. MATCH EXISTING STOREFRONT FRAME PROFILES & SIZES FOR INTERIOR VESTIBULE FRAMES.
 10. DOOR FRAME TO BE FINISH PROFILES AND (SPOT) FINISH.



DOOR & FRAME ELEVATIONS

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FLOOR PLAN

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CUNDY, SARTINI & ASSOCIATES ARCHITECTS
 304 Leavenworth Avenue North
 Superior, MN 55126
 651-490-2454
 www.csabuild.com

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly licensed Architect under the laws of the State of Minnesota.
 Name: *Patrick A. Santini*
 Signature: *Patrick A. Santini*
 Date: 08-11-17
 Exp. No. 24778

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 Patrick A. Santini, AIA

CD - Floor Plan, RFS & Door Schedule
Pressed Juice Yoga Studio
 Upmann Street
 PROJECT NO: 08-17-24778
 DATE: 08-11-17
 SHEET NO: **A2.0** of 4

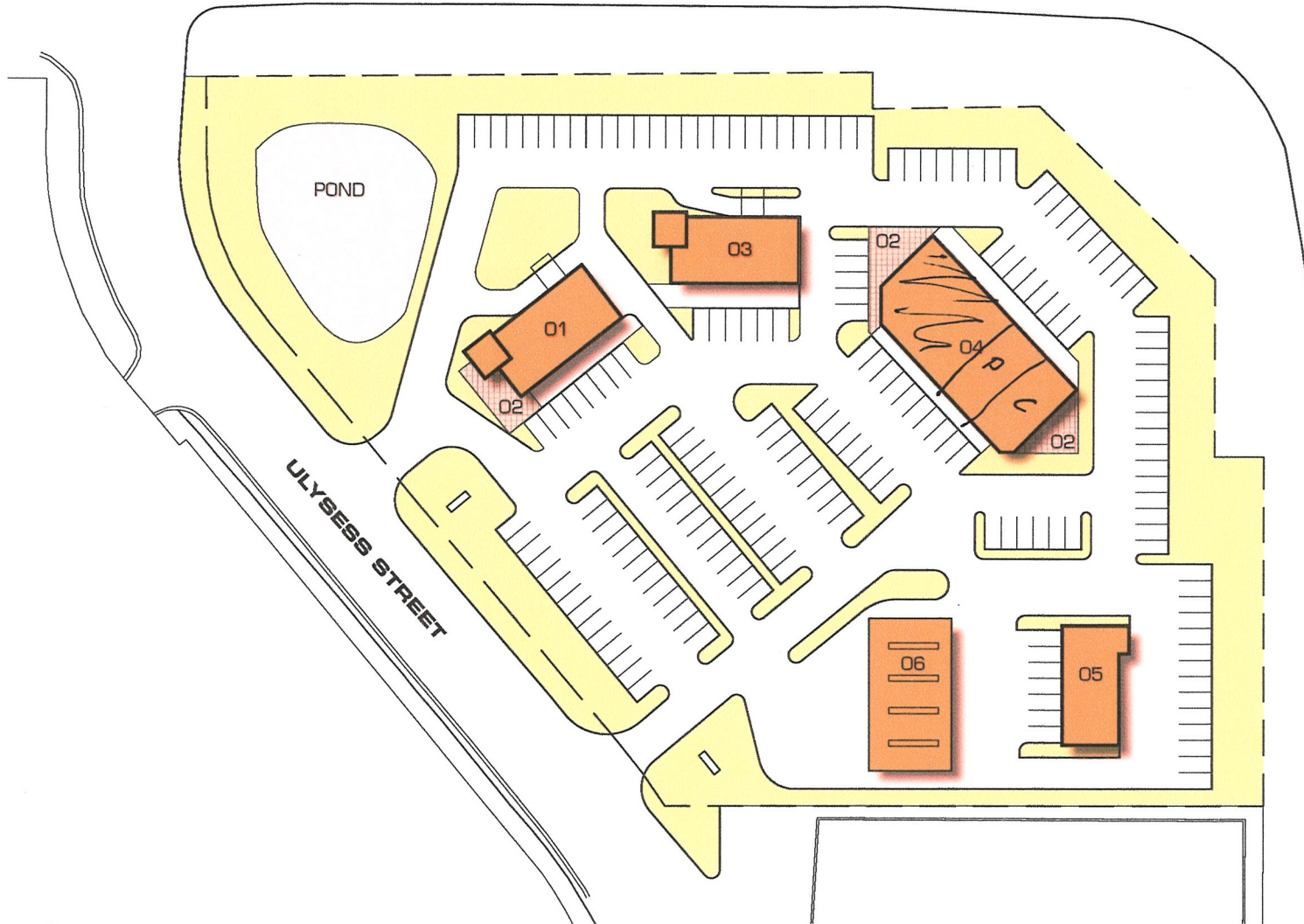
COUNTY 14

Highway 65 Commercial

Blaine, MN
MAR.04.2014

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- 06 GAS STATION CANOPY




SITE PLAN



Collage | architects