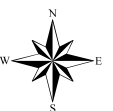


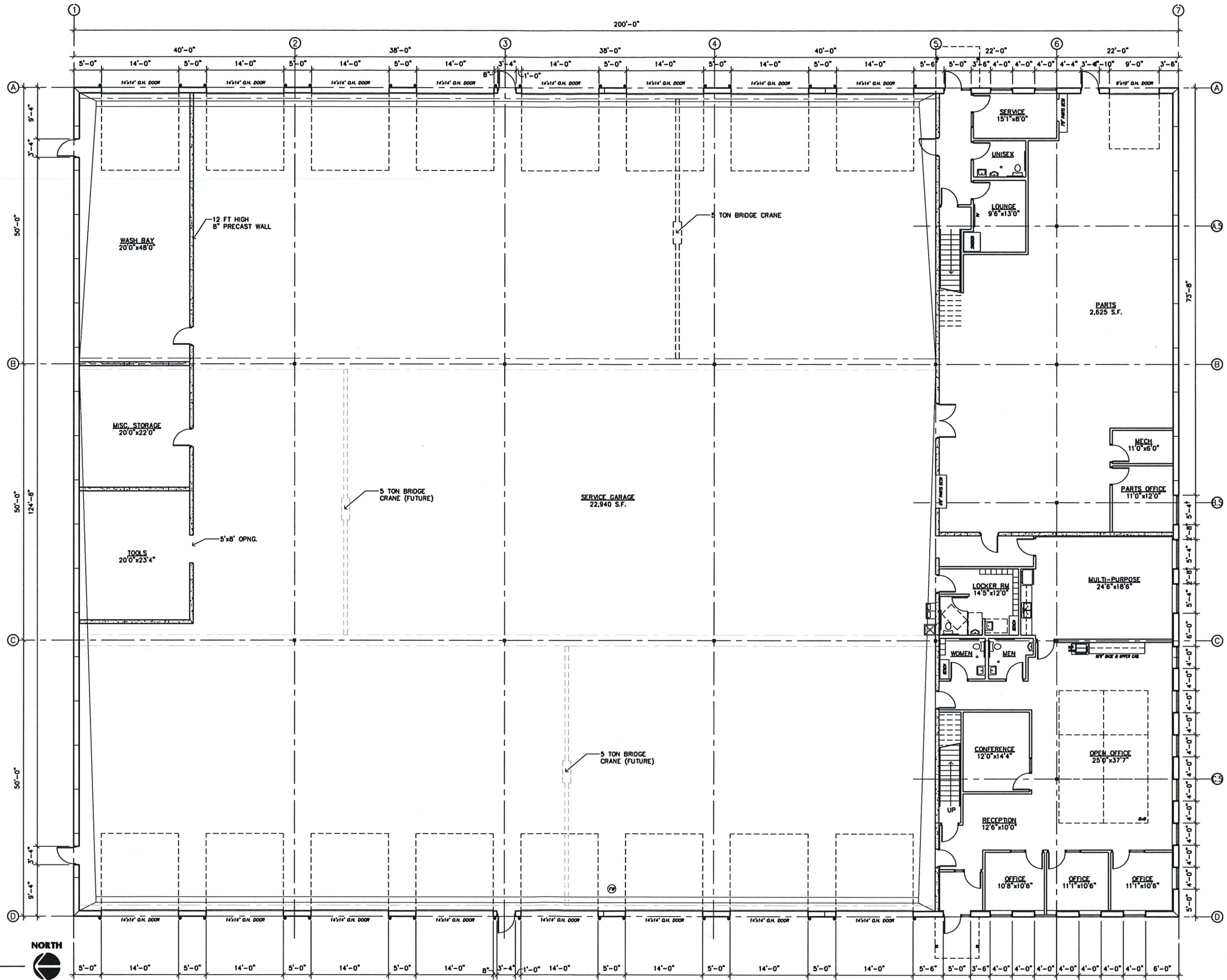
Case File No. 19-0034
Midwest Diesel

Blaine Planning Department / 10801 Town Square Dr NE / Blaine, MN 55449 / (763) 785-6180



Filename: Midwest Diesel II\Midwest Diesel II - A2.1.dwg

1 FLOOR PLAN
A2.1 SCALE: 1/8" = 1'-0"



LAMPERT
ARCHITECTS

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St. Paul, MN 55102
Phone: 783.755.1211 Fax: 783.757.2848
lamper@lamper-arch.com

ARCHITECT CERTIFICATION:
I HEREBY CERTIFY THAT THIS PLAN,
SPECIFICATION OR REPORT WAS
PREPARED BY ME OR UNDER MY DIRECT
SUPERVISION AND THAT I AM A DULY
LICENSED ARCHITECT UNDER THE
LAWS OF THE STATE OF MINNESOTA.

PRELIMINARY
NOT FOR
CONSTRUCTION



(763) 784-1950
FAX 784-9707

STONE CONSTRUCTION, INC.
2181 - 107th LANE N.E.
BLAINE, MINNESOTA 55434

MIDWEST DIESEL II
3051 82nd Lane NE - Blaine, Minnesota

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Leonard Lampert Architects Inc.
Project Designer: L. SCHMIDT
Drawn By: LLS
Checked By: LL

Revisions	7/9/19	CITY SUBMITTAL

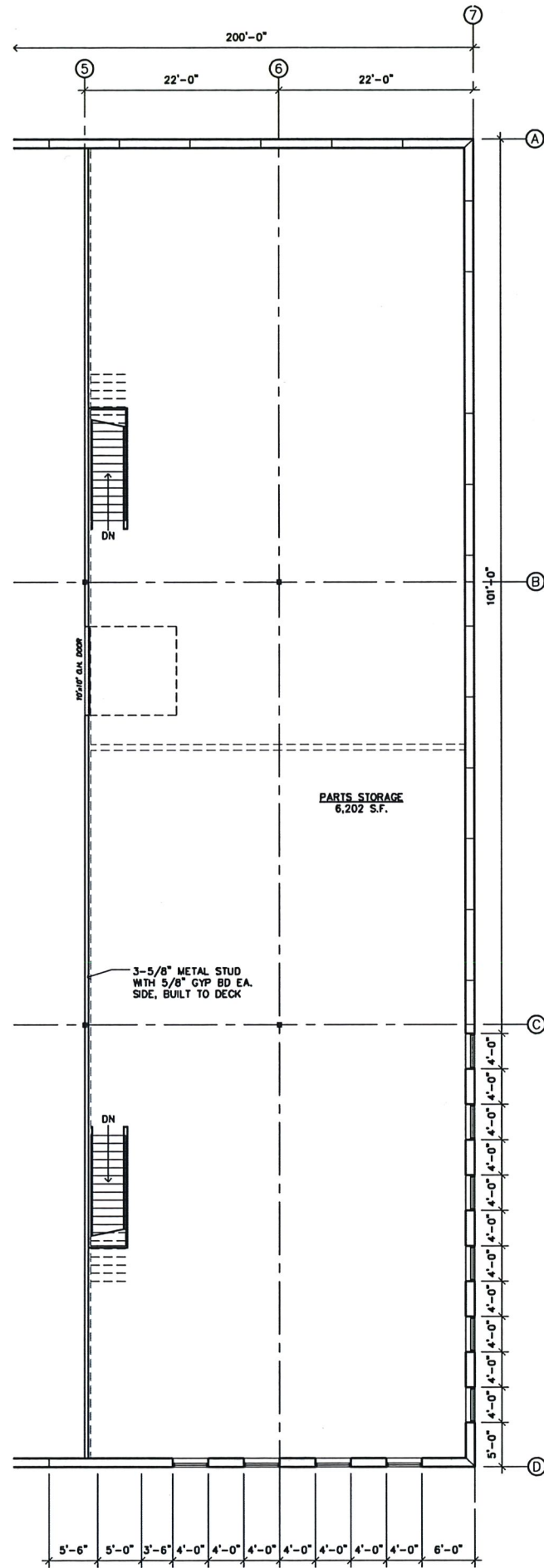
FLOOR PLAN

Sheet Number

A2.1

Project No. 190410-3

1 MEZZANINE FLOOR PLAN
A2.2 SCALE: 1/8" = 1'-0"



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Project Designer: L. SCHMIDT

Drawn By: LLS

Checked By: LL

Revisions

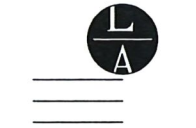
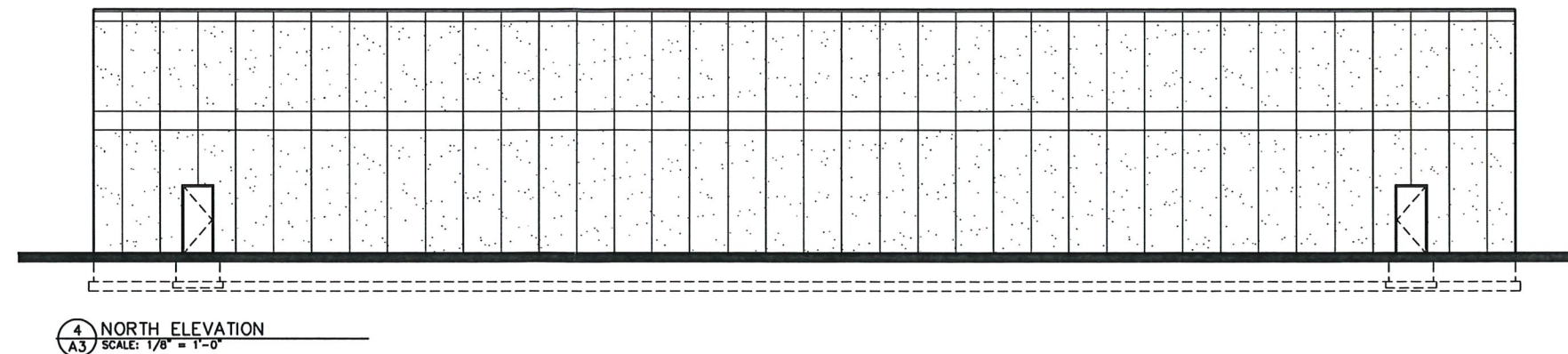
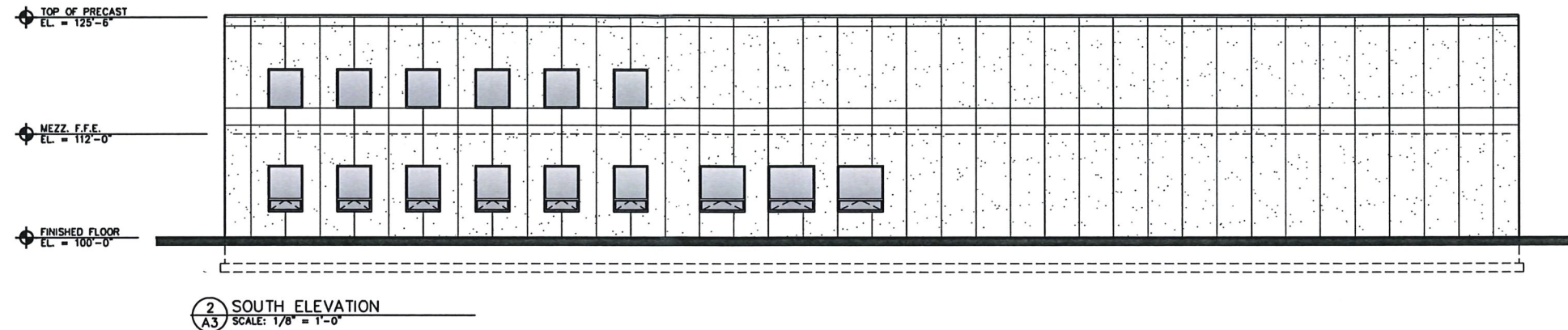
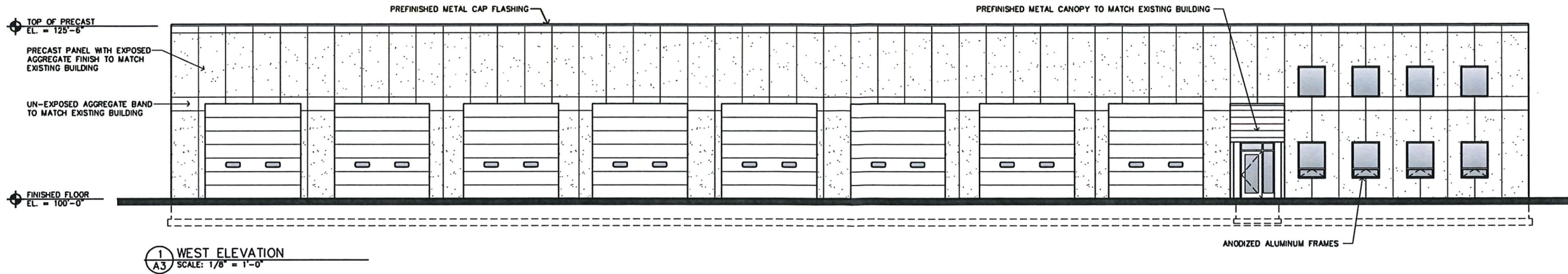
7/9/19 CITY SUBMITTAL

MEZZANINE
FLOOR PLAN

Sheet Number

A2.2

Project No. 190410-3



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MIDWEST DIESEL II
3051 82nd Lane NE - Blaine, Minnesota

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Drawn By: LLS

Checked By: LL

Revisions

7/9/19 CITY SUBMITTAL

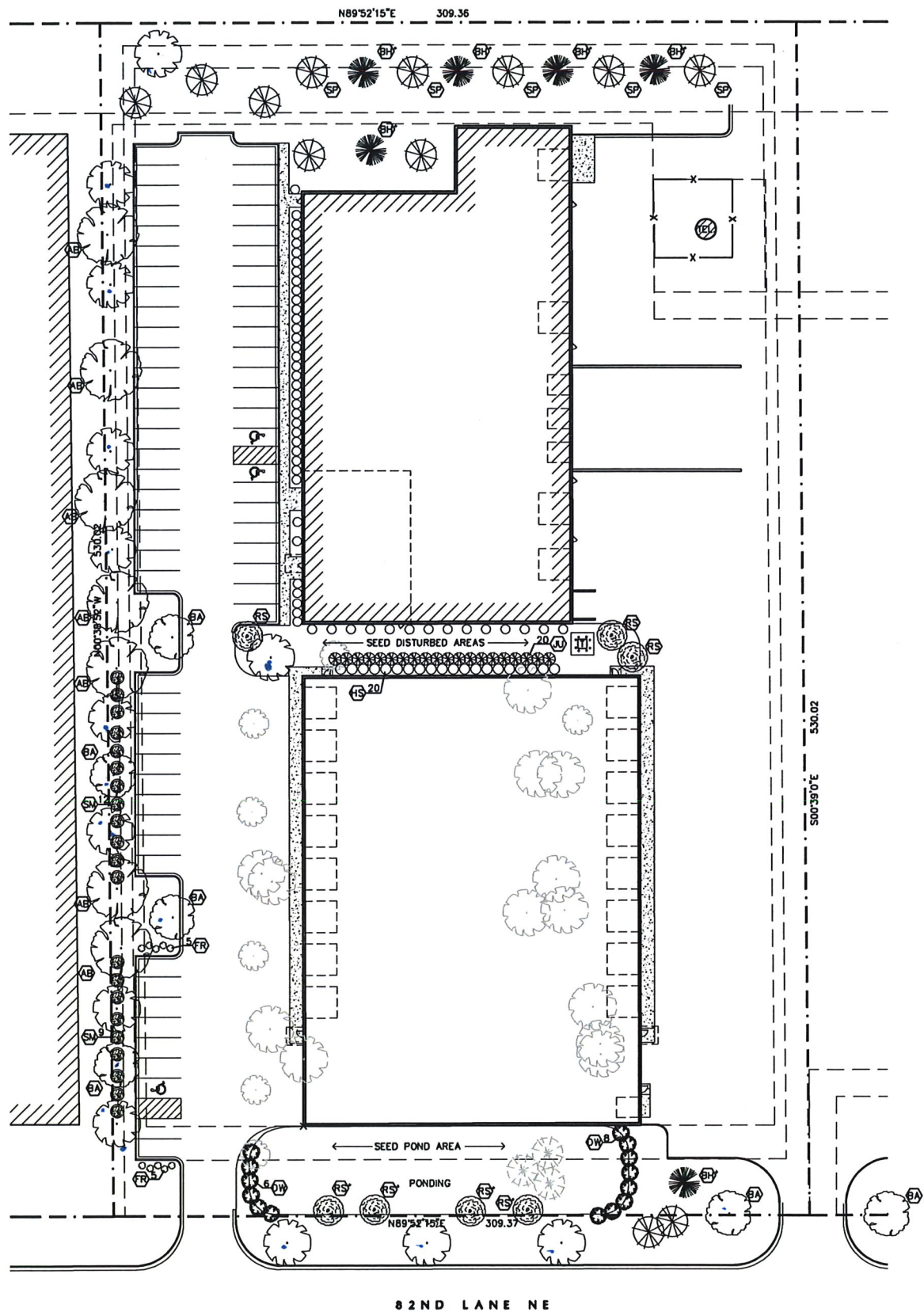
BUILDING ELEVATIONS

Sheet Number

A3

Project No. 190410-3

Filename: Midwest Diesel II - L1.dwg



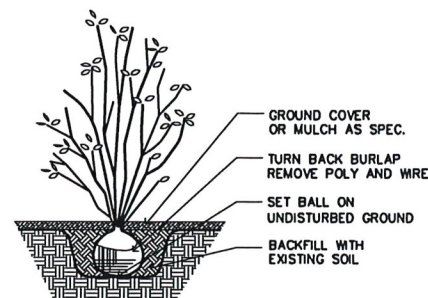
1 LANDSCAPE PLAN
SCALE: 1" = 30'



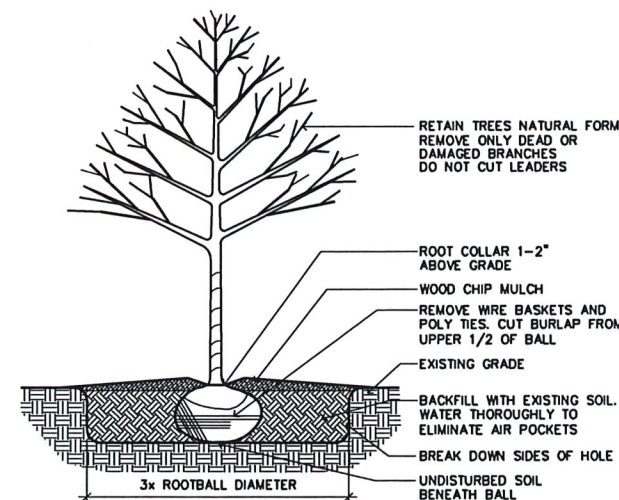
PLANTING SCHEDULE						
QTY.	KEY	COMMON NAME	BOTANICAL NAME	SIZE	MTHD	REMARKS
7	AB	AUTUMN BLAZE MAPLE	ACER FREEMANII	2 1/2" CAL.	BB	-
6	BA	BLACK ASH	FRAXINUS NEGRA	2 1/2" CAL.	BB	-
6	RS*	RED SPLENDOR CRAB	MALUS*HYBRIDS 'RED SPLENDOR'	4" CAL.	BB	OVERSIZE
1	RS	RED SPLENDOR CRAB	MALUS*HYBRIDS 'RED SPLENDOR'	2" CAL.	BB	-
6	BH*	BLACK HILL SPRUCE	PICEA GLAUCA DENSATA	8' TALL	BB	OVERSIZE
5	SP	SCOTCH PINE	PINUS SYLVESTRIS	6' TALL	BB	-
21	SM	SPIREA SNOWMOUND	SPIREA NIPPONICA SNOWMOUND	3-5' TALL	CONT.	-
14	DW	RED TWIGGED DOGWOOD	CORNUS BAILEYI 'CARDINAL'	3-4' TALL	CONT.	-
10	FR	DWARF FORSYTHIA	FORSYTHIA VIRIDISSIMA BROXENSIS	12-24" TALL	CONT.	-
20	HS	GOLDEN CURRANT	RIBES AUREUM	18"-24" TALL	CONT.	5' O.C.
20	JU	JUNIPER	JUNIPERUS CHINENSIS	18"-24" WIDE	CONT.	5' O.C.

LANDSCAPE NOTES:

- SEED/SOD AREAS AS SHOWN ON THE PLAN.
- SEE PLAN FOR PLANTINGS LOCATED IN ROCK MULCH BED. ROCK MULCH BEDS SEPARATED FROM SOD BY BLACK VINYL EDGER. OTHER PLANTINGS TO HAVE WOOD MULCH RING TO PREVENT WEED GROWTH AND CONSERVE WATER.
- UNDERGROUND IRRIGATION SYSTEM TO BE PROVIDED FOR ALL FOUNDATION PLANTINGS AND TURF AREAS. PROVIDE MOISTURE SENSOR. IRRIGATION DESIGN BY CONTRACTOR.
- SEE PLAN FOR EXISTING TREES TO BE SAVED OR REMOVED
- LANDSCAPE CALCULATIONS:
 - TREE REPLACEMENT
DECIDUOUS TREES: 13 TREES
ORNAMENTAL TREES: 7 TREES
CONIFEROUS TREES: 85% (30,000 S.F. @ 1/2,000) = 13 TREES
 - LANDSCAPING
DECIDUOUS TREES: 85% (30,000 S.F. @ 1/2,000) = 13 TREES
ORNAMENTAL TREES: 85% (30,000 S.F. @ 1/2,000) = 13 TREES
CONIFEROUS TREES: 85% (30,000 S.F. @ 1/2,000) = 13 TREES
SHRUBS: 85% (30,000 S.F. @ 1/300) = 85 SHRUBS
 - REQUIRED
DECIDUOUS TREES: REPLACEMENT AND LANDSCAPING ARE EQUAL
13 TREES PROVIDED ≥ 13 TREES REQUIRED
ORNAMENTAL TREES: LANDSCAPING INCLUDES REPLACEMENT
6 OVERSIZE + 1 TREE PROVIDED ≥ 13 TREES REQUIRED
CONIFEROUS TREES: LANDSCAPING INCLUDES REPLACEMENT
78 FT PROVIDED ≥ 78 FT TOTAL REQUIRED
SHRUBS: PER LANDSCAPING REQUIREMENTS
85 SHRUBS PROVIDED ≥ 85 SHRUBS REQUIRED



2 SHRUB PLANTING DETAIL
SCALE: NOT TO SCALE



3 TREE PLANTING DETAIL
SCALE: NOT TO SCALE

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FAX 784-9707

STONE CONSTRUCTION, INC.
2181 - 107th LANE N.E.
BLAINE, MINNESOTA 55434

MIDWEST DIESEL II
3051 82nd Lane NE - Blaine, Minnesota

Drawn By: LLS

Checked By: LL

Revisions

7/9/19 CITY SUBMITTAL

LANDSCAPE PLAN

Sheet Number

L1

Project No. 190410-3

SEEDING MnDOT SPECIFICATIONS:

THE SITE SHALL BE RE-VEGETATED WITHIN 48 HOURS OF ROUGH GRADING EXCEPT.

THE SITE SHALL BE RE-VEGETATED WITHIN 48 HOURS OF FINAL GRADING EXCEPT ALL AREAS WITHIN 20 FEET OF ALL PROPOSED STRUCTURES AS INDICATED ON THIS SITE PLAN.

SEED: SEED MIXTURE NO. 250 - 75 LBS PER ACRE, USED ON LOT.

DORMANT SEEDING APPLICATION RATE SHALL BE DOUBLED (AFTER SEPTEMBER 15).

MULCH: TYPE I, DISC ANCHORED - 2 TONS PER ACRE (10% OR LESS OF SOIL SURFACE VISIBLE).

ON SLOPES 3:1 OR GREATER SHALL BE COVERED WITH AN EROSION CONTROL BLANKET WITH ANCHORS. ALSO EROSION CONTROL BLANKETS WITH ANCHORS ARE REQUIRED ON ALL POND AREAS.

FERTILIZER: 23-0-30 NPK - 200 LBS PER ACRE

TEMPORARY SEEDING AND MULCHING IS REQUIRED ON EXPOSED SOILS PER THE MPCA NPDES REQUIREMENTS. SEED MIXTURE 100B (FALL COVER) AND 110B (SPRING/SUMMER) MUST BE USED - 200 LBS PER ACRE.

TOPSOIL - 6 INCHES OF SALVAGED NATIVE TOPSOIL SHALL BE USED TO THE EXTENT POSSIBLE. MINIMUM TOPSOIL REQUIREMENT OF 4 INCHES ON ALL VEGETATED AREAS.

REDUCE WEEDS - MOW 2 TO 3 TIMES (30 DAYS APART) FIRST YEAR, 6-8 INCHES OFF THE GROUND
- MOW 1 TIME SECOND YEAR

STREET SWEEPING - REGULAR, IF NOT DAILY, SWEEPING AND CLEANING OF STREETS WILL BE REQUIRED IF TRACTED UP BY CONSTRUCTION ACTIVITY.

GRADING PLAN

SITE NOTES

- ALL CURB AND GUTTER TO BE CONCRETE B612 UNLESS NOTED OTHERWISE.
- BUILDING DIMENSIONS REFER TO OUTSIDE OF BUILDING FOUNDATION. VERIFY WITH BUILDING PLANS

GRADING & EROSION CONTROL NOTES

- CONTRACTOR IS TO CONTACT "GOPHER STATE ONE CALL" FOR UTILITY LOCATIONS (851-454-0002) 48 HOURS PRIOR TO EXCAVATION/CONSTRUCTION.
- CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF ANY DISCREPANCIES OR VARIATIONS FROM THE PLANS.
- THE SITE GRADING OPERATIONS, WHEN COMPLETED, SHALL RESULT IN ALL AREAS BEING GRADED TO "PLAN SUBGRADE ELEVATION". THIS "PLAN SUBGRADE ELEVATION" SHALL BE CONSISTENT WITH THE GEOTECHNICAL REPORT FOR BUILDING AND PAVEMENT AREAS. THE "PLAN SUBGRADE ELEVATION" IN THE PARKING LOT AND DRIVEWAY AREAS SHALL BE DETERMINED BY CHECKING THE PAVEMENT SECTION DETAILS AND REFERRING TO PAVING PLAN FOR LOCATIONS AND LIMITS OF VARIOUS PAVEMENT SECTIONS.
- ALL EROSION CONTROL MEASURES MUST BE INSTALLED PRIOR TO COMMENCEMENT OF GRADING OPERATIONS AND BE MAINTAINED UNTIL ALL AREAS ALTERED ON THE SITE HAVE BEEN RESTORED.
- ALL CONSTRUCTION ENTRANCES SHALL BE SURFACED WITH CRUSHED ROCK ACROSS FULL WIDTH FROM ENTRANCE POINT TO 50 FEET INTO CONSTRUCTION ZONE. REFER TO DETAIL.
- CONTRACTOR SHALL STRIP, STOCKPILE AND RE-SPREAD SUFFICIENT TOPSOIL TO PROVIDE A MINIMUM 4 INCH DEPTH (COMPACTED) TO ALL AREAS DISTURBED, TO BE SEEDDED OR SEEDDED WITHIN TWO WEEKS OF FINAL GRADING.
- ALL SLOPES STEEPER THAN 3:1 SHALL HAVE EROSION CONTROL FABRIC INSTALLED ON SLOPE. VERIFY RESTORATION METHOD AND SEED MIXTURE.
- ALL FLARED END SECTIONS SHALL HAVE TRASHGUARDS
- ALL TOPSOIL/VEGETATION TO BE STOCKPILED AND USED FOR TOPSOIL IN PLANTING AREAS AND NON-STRUCTURAL FILL AREAS
- THE CONTRACTOR MUST MAINTAIN THE EROSION CONTROL TO THE SATISFACTION OF THE CITY ENGINEER AND RICE CREEK WATERSHED THROUGHOUT THE ENTIRE BUILDING PROCESS.
- ALL EROSION CONTROL SYSTEMS MUST BE MAINTAINED BY THE CONTRACTOR IN AN ACCEPTABLE CONDITION UNTIL TURF IS ESTABLISHED AND/OR STRUCTURAL SURFACES ARE CONSTRUCTED TO PROTECT THE SOIL FROM EROSION.
- ALL SITE GRADING AND EXCAVATION SHALL BE COMPACTED AS PER THE GEOTECHNICAL ENGINEER'S REPORT. BUILDING PADS, PARKING LOTS AND DRIVEWAYS TO BE CONSTRUCTED AS PER THE GEOTECHNICAL ENGINEER'S REPORT.
- ALL TREES TO BE SAVED SHALL BE FENCED OFF AT THE DRIP LINE PRIOR TO SITE GRADING AND EXCAVATION.
- ALL SITE GRADING SHALL FOLLOW THE CITY OF BLAINE AND THE RICE CREEK WATERSHED PERMIT REQUIREMENTS.

LEGEND

- 920.05 DENOTES EXISTING SPOT ELEVATION
- DENOTES EXISTING CONTOUR
- DENOTES PROPOSED SPOT ELEVATION
- DENOTES PROPOSED CONTOUR
- DENOTES EXISTING STORM SEWER LINE
- DENOTES EXISTING SANITARY SEWER LINE
- DENOTES EXISTING UNDERGROUND TELEPHONE LINE
- DENOTES EXISTING OVERHEAD UTILITY WIRES
- DENOTES EXISTING WATER MAIN OR SERVICE
- DENOTES EXISTING SANITARY SEWER OR SERVICE
- DENOTES PROPOSED SANITARY SEWER OR SERVICE
- DENOTES EXISTING STORM SEWER OR SERVICE
- DENOTES EXISTING STORM SEWER OR SERVICE
- DENOTES EXISTING UNDERGROUND GAS LINE
- DENOTES EXISTING HYDRANT
- DENOTES PROPOSED HYDRANT
- DENOTES EXISTING SANITARY MANHOLE
- DENOTES PROPOSED SANITARY MANHOLE
- DENOTES EXISTING STORM (DRAINAGE) MANHOLE
- DENOTES PROPOSED STORM (DRAINAGE) MANHOLE
- DENOTES EXISTING GATE VALVE
- DENOTES PROPOSED GATE VALVE
- DENOTES EXISTING CATCH BASIN
- DENOTES PROPOSED CATCH BASIN
- DENOTES EXISTING TELEPHONE UTILITY BOX
- DENOTES EXISTING UTILITY POLE
- DENOTES LIGHT POLE
- DENOTES DRAINAGE DIRECTION
- DENOTES CONCRETE SURFACE

LEGAL DESCRIPTION:
LOT 1, BLOCK 1, MIDWEST DIESEL ADDITION, ACCORDING TO THE RECORD PLAT THEREOF, RAMSEY COUNTY, MINNESOTA.

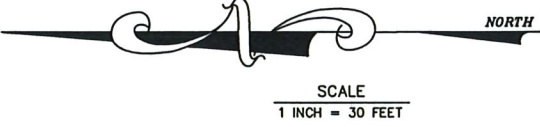
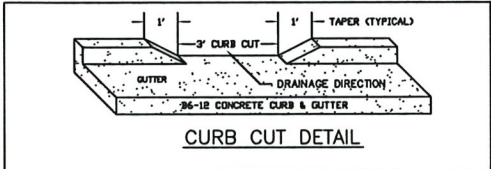
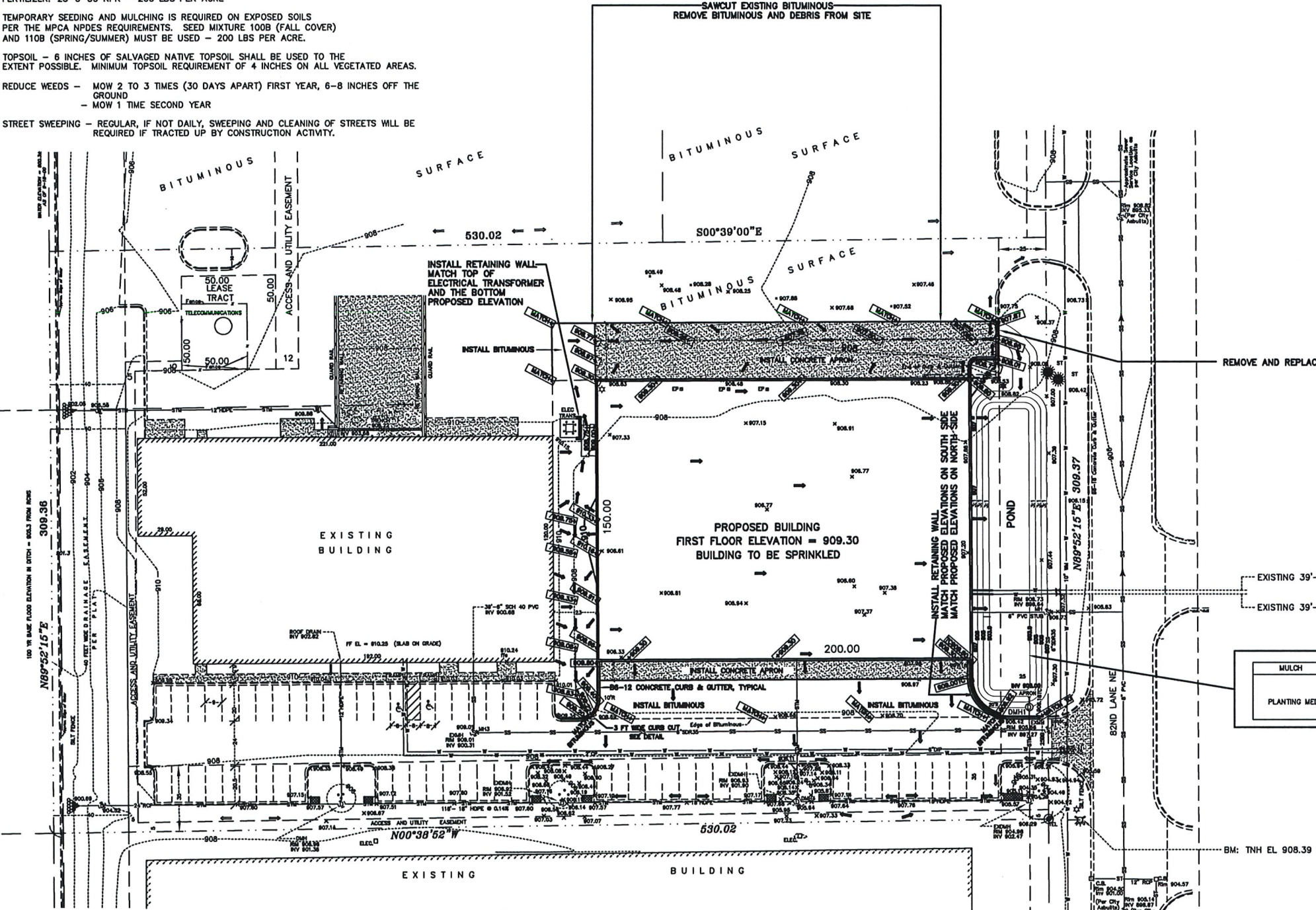
18 INCH SUBCUT AND BACKFILL TO FINISHED GRADE WITH PLANTING MEDIUM OF A WELL BLENDED MIXTURE OF 40% SAND-COURSE WASHED SAND OR NATIVE SAND, 30% MNDOT GRADE 2 COMPOST AND 30% NATIVE TOPSOIL BY VOLUME. INSTALL A MULCH COVER CONSISTING OF A SINGLE SHREDDED HARDWOOD MULCH 2 INCHES DEEP OVER RAIN GARDEN PLANTING BED (TYPICAL). SEE LANDSCAPE PLAN FOR PLANTING DETAILS.

POND/RAIN GARDEN DETAIL

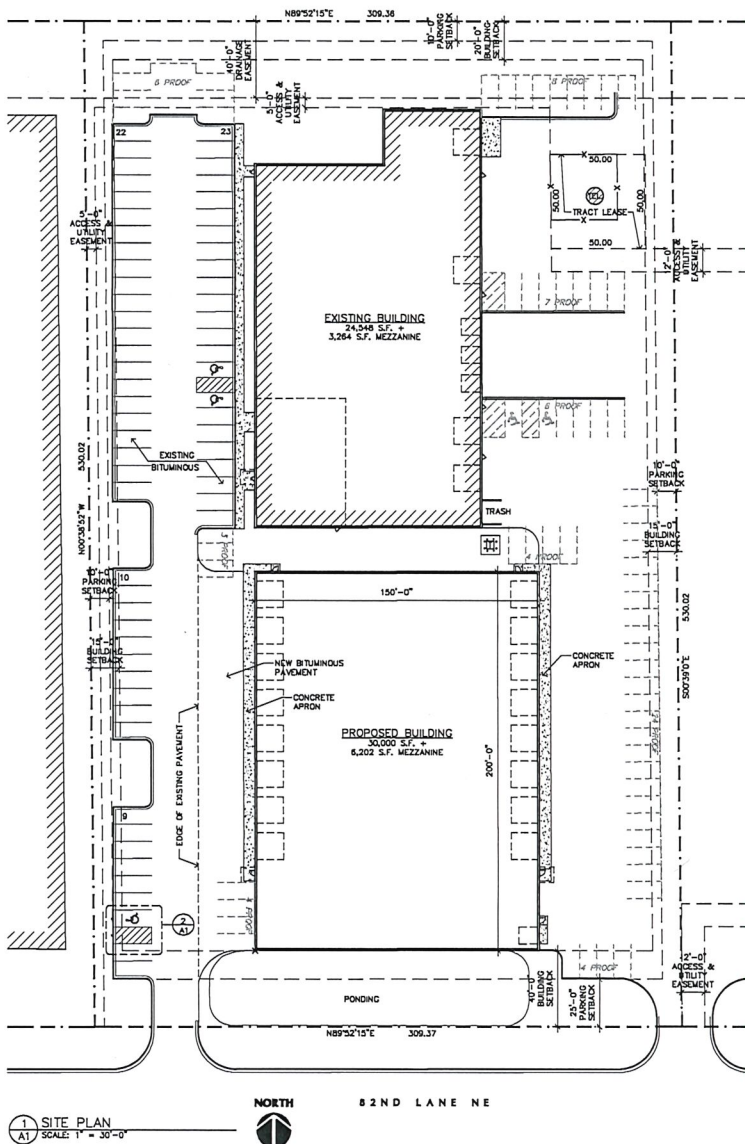
MIDWEST DIESEL
8284 WEST 35W SERVICE DRIVE
BLAINE, MN 55449

C3

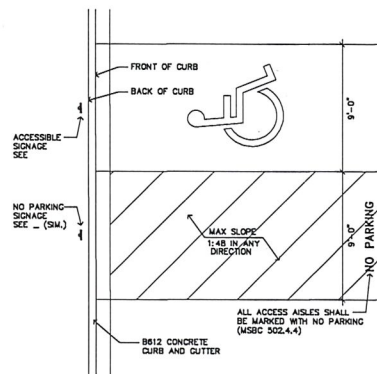
Client MIDWEST DIESEL SERVICE, INC. 8284 WEST 35W SERVICE DRIVE BLAINE, MN 55449 PHONE: 763-780-8533	Design by JF	Original date 4-8-19	I hereby certify that this plan, specification or report was prepared by me or under my direct supervision, and that I am a duly licensed Professional Engineer under the laws of the State of Minnesota. Signature of Engineer Date: 4-8-19 Minnesota Reg. No. 16464
LAKE AND LAND SURVEYING, INC. SURVEYING/CIVIL ENGINEERING 1200 CENTRE POINTE, SUITE 275 ST. PAUL, MN 55108 PHONE (651) 776-8211	Drawn by DF	Revisions 5-23-19 6-10-19	Page title GRADING PLAN
	Survey book No.	S.A.P. number 2019.035	Sheet number of



MATERIAL	SECTION THICKNESS
BITUMINOUS WEAR (TYPE 41)	2"
BITUMINOUS BASE (TYPE 31)	2"
CLASS 5 AGGREGATE BASE (MnDOT 3138)	8"



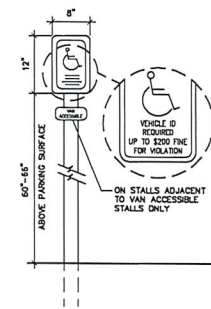
1 SITE PLAN
A1 SCALE: 1" = 30'-0"



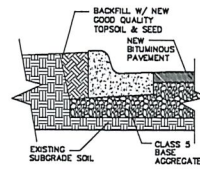
ACCESSIBLE PARKING NOTES

1. ACCESSIBLE AISLE/STALL(S) SHALL BE DESIGNED TO PREVENT WATER FROM PONDING
2. CROSS SLOPES NOT TO EXCEED 1:48

2 ACCESSIBLE PARKING DETAIL
A1 SCALE: 1/4" = 1'-0"



3 ACCESSIBLE PARKING SIGN
A1 SCALE: 1" = 1'-0"



4 B6-12 CONCRETE CURB
A1 SCALE: 1/2" = 1'-0"

Proof of Parking Plan



LAMPERT ARCHITECTS

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St. Paul, MN 55102
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lampo@lamport-arch.com

ARCHITECT CERTIFICATION:
I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.

LEONARD LAMPERT
PRINT NAME
13669
LICENSE NO.
7/31/19
DATE

(763) 784-1950
FAX 784-9707

STONE CONSTRUCTION, INC.
2181 - 107th Lane NE
Blaine, Minnesota 55434

MIDWEST DIESEL II
3051 82nd Lane NE - Blaine, Minnesota

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Project Designer: L. SCHMIDT
Drawn By: LLS
Checked By: LLS
Revisions
7/9/19 CITY SUBMITTAL
7/31/19 ISSUE FOR PERMIT

SITE PLAN
Sheet Number

A1
Project No. 190410-3

CITY OF BLAINE

RESOLUTION NO. 11-91

**GRANTING A CONDITIONAL USE PERMIT RENEWAL
PER SECTION 31.1984 (g) (i) (m) OF THE ZONING ORDINANCE
OF THE CITY OF BLAINE
MIDWEST DIESEL
8284 WEST I35W SERVICE DRIVE**

WHEREAS, an application has been filed by Midwest Diesel as conditional use permit renewal Case File No. 11-0030; and

WHEREAS, a public hearing has been held by the Blaine Planning Commission on June 10, 2008; and

WHEREAS, the Blaine Planning Commission recommends said conditional use permit be approved; and

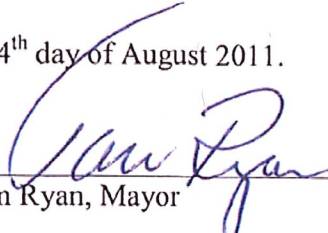
WHEREAS, the Blaine City Council has reviewed said case on June 19, 2008 and August 4, 2011.

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Blaine that a conditional use permit is hereby approved per Section 31.1984 (g) (i) of the zoning ordinance to allow truck repair, outside storage of trucks and a zero lot line (shared access) in an I-2A (Heavy Industrial) zoning district at 8284 West I35W Service Drive based on the following conditions:

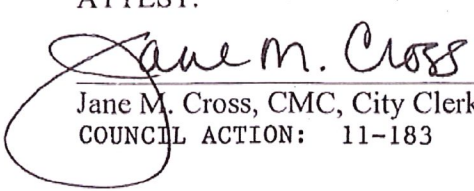
1. Park dedication has never been paid for the site on which the new building will be located. This fee must be paid prior to issuance of a building permit. Park dedication is required in the amount of \$4,870 per acre, for a total of \$26,785.
2. No work can be done outside any of the buildings on site.
3. No outside storage of any kind, including parts or tires, is allowed on this site besides the truck storage.
4. All tire storage, storage of miscellaneous parts, and other items must be removed from the existing Midwest Diesel and Bauer Built Inc. sites prior to issuance of site plan approval.
5. No truck storage on the parking stalls shown on the site plan. All truck storage must remain on the paved portion of the lot that is east of the new building.

6. The applicant will be required to save trees wherever possible, particularly in the area south of the building. If this area is not being used at this time it would be prudent to save the trees in this location. It also acts as a natural barrier that would prevent the area from being used for additional truck parking, which would not be allowed in this area unless specifically requested by the applicant and hard surfaced. No grading is allowed in this area.
7. Underground irrigation is required on site.
8. All signage is issued under separate approval.
9. Site plan approval is required prior to issuance of building permits. A new site plan and associated fee must also be submitted.
10. All lighting on site must be downlit and shielded. This includes new lighting proposed in the parking areas and on the new building as well as parking lot lights and wall packs on the existing buildings. If the existing lights do not meet this requirement, they must be replaced with fixtures that are downlit and shielded.
11. All changes to the allowed uses with this conditional use permit must be covered by a conditional use permit amendment.
12. Rice Creek Watershed District permit is required prior to issuance of site plan approval and building permit.
13. A separate domestic water service is required and not connected to the fire line. Separate gate valve, curb stop and access boxes are required at the property line, or in an accessible public easement.

PASSED by the City Council of the City of Blaine this 4th day of August 2011.


Tom Ryan, Mayor

ATTEST:


Jane M. Cross, CMC, City Clerk
COUNCIL ACTION: 11-183



**City of Blaine
Anoka County, Minnesota
Signature Copy**

10801 Town Square Dr.
Blaine MN 55449

Resolution: RES 12-163

File Number: RES 12-163

**GRANTING A CONDITIONAL USE PERMIT AMENDMENT THAT
WOULD ALLOW TRUCK REPAIR, OUTSIDE STORAGE OF TRUCKS
AND 10 SEA-LAND TRAILERS, AND A ZERO LOT LINE (SHARED
ACCESS) IN AN I-2A (HEAVY INDUSTRIAL) ZONING DISTRICT AT
8284 WEST I35W SERVICE DRIVE. MIDWEST DIESEL. (CASE FILE
NO. 11-30/LSJ)**

PER SECTION 31.1984 (g) (i) (m) OF THE ZONING ORDINANCE

WHEREAS, an application has been filed by Midwest Diesel as conditional use permit amendment Case File No. 11-0030; and

WHEREAS, a public hearing has been held by the Blaine Planning Commission on June 10, 2008; and

WHEREAS, the Blaine Planning Commission recommends said conditional use permit be approved; and

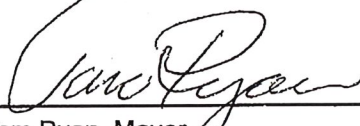
WHEREAS, the Blaine City Council has reviewed said case on June 19, 2008, August 4, 2011 and December 20, 2012.

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Blaine that a conditional use permit amendment is hereby approved per Section 31.1984 (g) (i) of the zoning ordinance to allow truck repair, outside storage of trucks and 10 sea-land trailers and a zero lot line (shared access) in an I-2A (Heavy Industrial) zoning district at 8284 West I35W Service Drive based on the following conditions:

1. All conditions of Resolution 11-91 are to remain intact.
2. In addition to what is allowed to be stored outside per Resolution 11-91, no more than 10 sea-land trailers may be stored outside on site. Storage to be single level and not stacked.

PASSED by the City Council of the City of Blaine this 20th day of December 2012.

Signed by

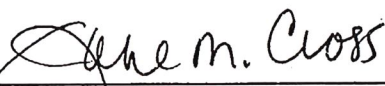


Tom Ryan, Mayor

Date

12-20-12

Attest by



Jane M. Cross, CMC, City Clerk

Date

12-20-12