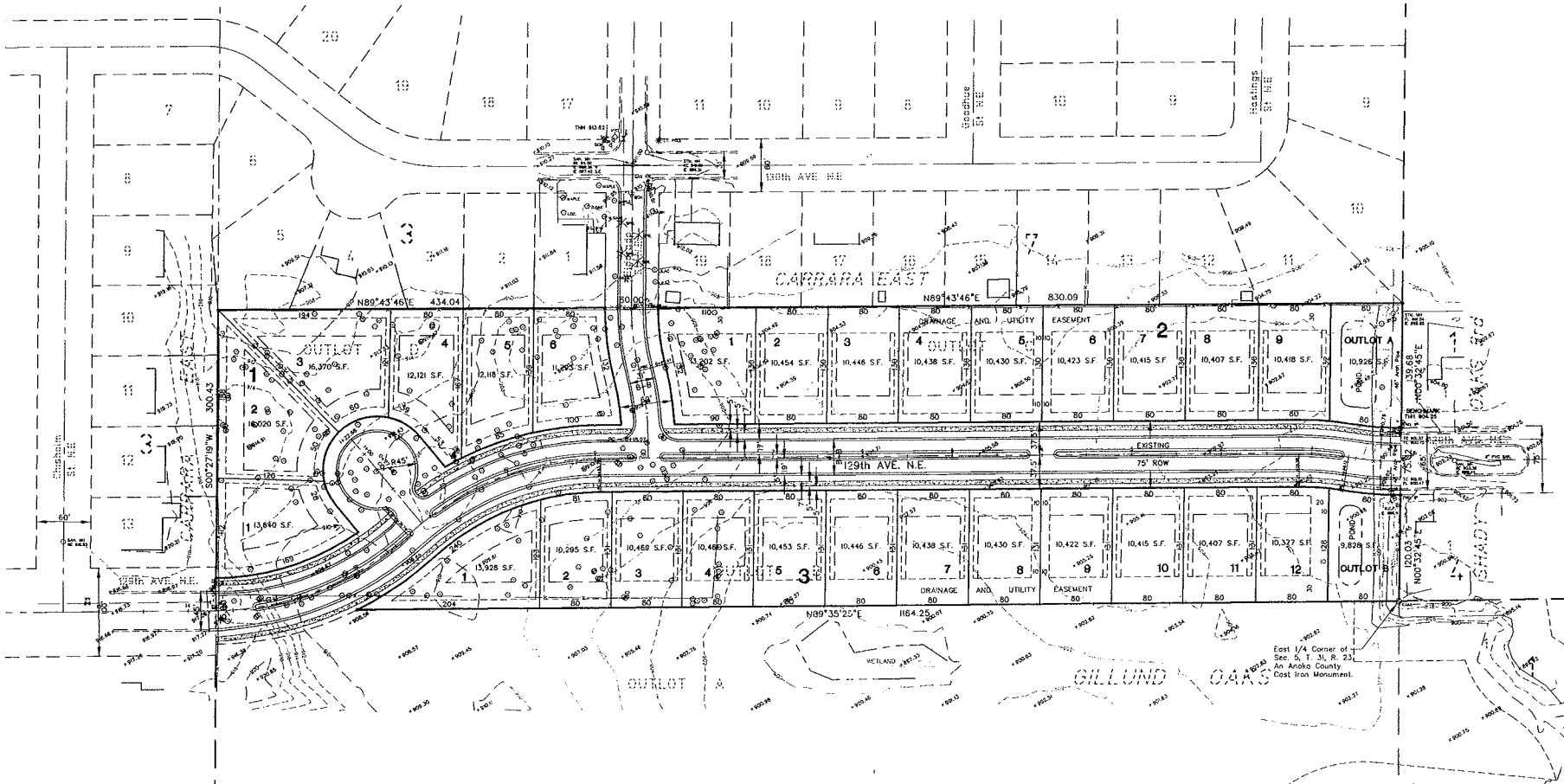


**Case File No. 14-0028**

Blaine Planning Department / 10801 Town Square Dr NE / Blaine, MN 55449 / (763) 785-6180

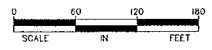




Drainage and Utility Easements shall be shown as this:

Being 10 feet in width and adjoining right-of-way lines and rear lot lines, unless otherwise indicated, also being 5 feet in width and adjoining lot lines, unless otherwise indicated, as shown on the plat.

- LEGEND**
- ⊕ Denotes Existing Water Hydrant
  - ⊙ Denotes Existing Water Valve
  - ⊕ Denotes Existing Sanitary Manhole
  - ⊕ Denotes Existing Transformer Box
  - ⊕ Denotes Existing Well
  - ⊕ Denotes Existing Telephone Pedestal
  - ⊕ Denotes Existing Septic Vent
  - ⊕ Denotes Existing Septic Lift Station
  - ⊕ Denotes Existing Fence Line
  - ⊕ Denotes Existing Overhead Electric Lines
  - ⊕ Denotes Existing Power pole
  - ⊕ Denotes Existing Guy Wire
  - ⊕ Denotes Existing Light Pole
  - ⊕ Denotes Existing Telephone Manhole
  - ⊕ Denotes Existing Catch Basin
  - ⊕ Denotes Existing Sanitary Sewer
  - ⊕ Denotes Existing Watermain
  - ⊕ Denotes Existing Concrete Surface



**Legal Description:**  
 OUTLOT B, OUTLOT C, and OUTLOT D, GILLUND OAKS,  
 Anoka County, Minnesota.

**Existing Zoning:**  
 AG - Agriculture

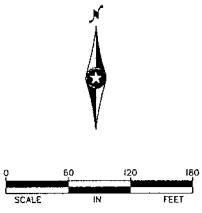
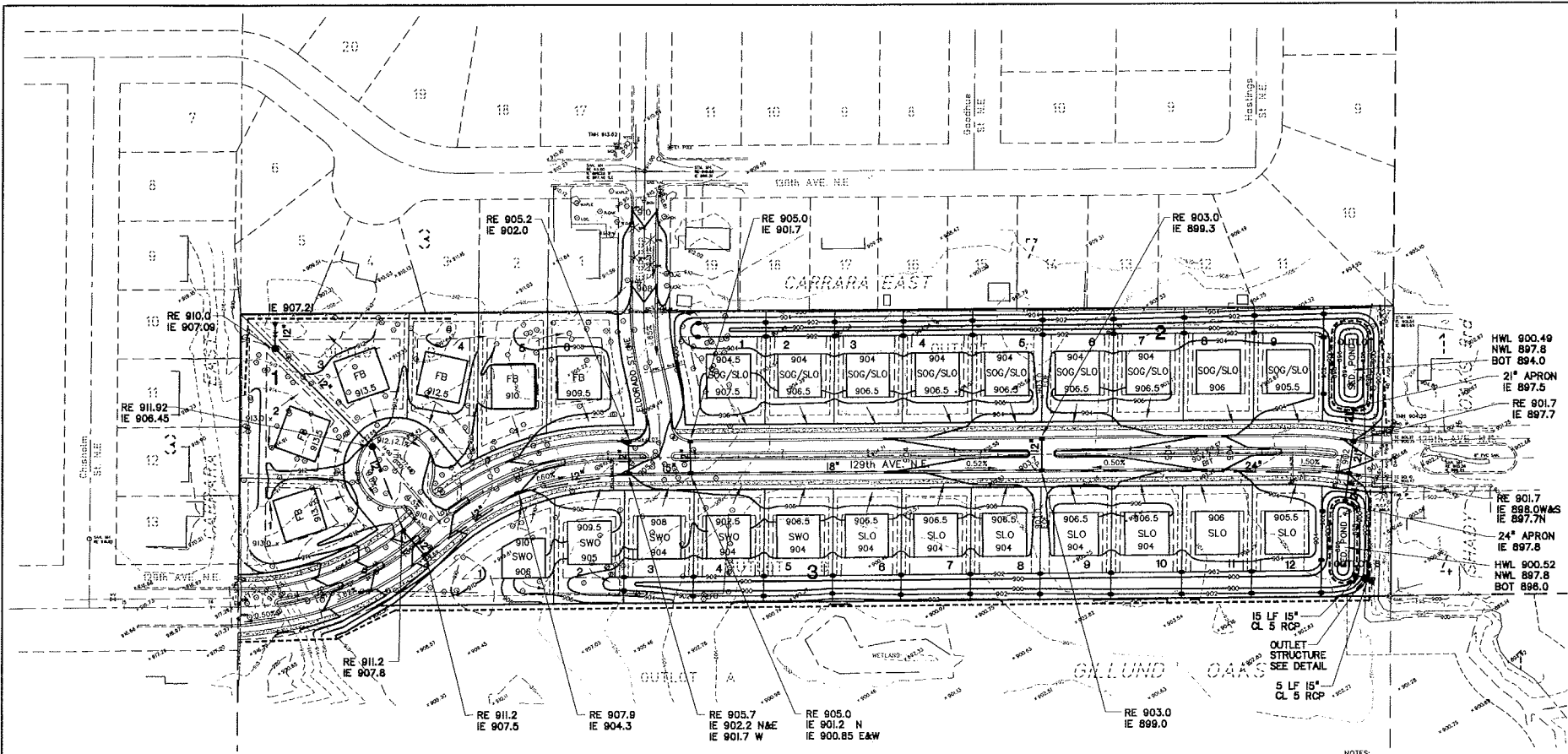
**AREA:**  
 Total Acreage:  
 327,990 S.F., 7.53 Acres

**SETBACKS:**  
 Front: 30  
 Side: 10  
 Rear: 20 (corner)  
 30

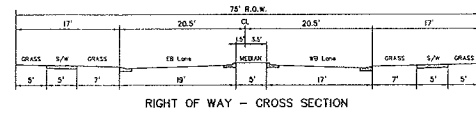
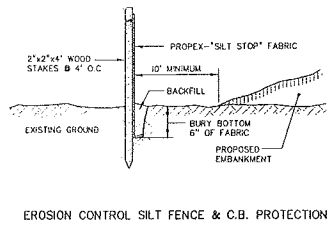
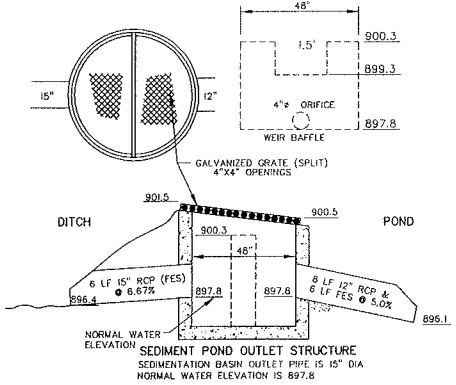
**OWNER/DEVELOPER:**  
 Minks Land Development, LLC  
 Ben Minks  
 14015 Sunfish Lake Blvd. NW  
 Suite 400  
 Ramsey, MN 55303  
 (763) 450-1213  
 Fax (763) 712-9060

**BENCHMARK:**  
 TNL Lot 1, Block 4,  
 SHADY OAKS 3RD,  
 N. Side of 129th Ave. N.E.  
 ELEV=504.25 NGV029

DATE	DESCRIPTION
5/12/2014	DATE
255/75	NO. 1
DM	NO. 2
DM	NO. 3
DM	NO. 4
DM	NO. 5
DM	NO. 6
DM	NO. 7
DM	NO. 8
DM	NO. 9
DM	NO. 10
DM	NO. 11
DM	NO. 12
DM	NO. 13
DM	NO. 14
DM	NO. 15
DM	NO. 16
DM	NO. 17
DM	NO. 18
DM	NO. 19
DM	NO. 20
DM	NO. 21
DM	NO. 22
DM	NO. 23
DM	NO. 24
DM	NO. 25
DM	NO. 26
DM	NO. 27
DM	NO. 28
DM	NO. 29
DM	NO. 30
DM	NO. 31
DM	NO. 32
DM	NO. 33
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DM	NO. 52
DM	NO. 53
DM	NO. 54
DM	NO. 55
DM	NO. 56
DM	NO. 57
DM	NO. 58
DM	NO. 59
DM	NO. 60
DM	NO. 61
DM	NO. 62
DM	NO. 63
DM	NO. 64
DM	NO. 65
DM	NO. 66
DM	NO. 67
DM	



BENCHMARK:  
T14, Lot 1, Block 1,  
SHADY OAKS 3RD  
N. Side of 129th Ave. N.E.  
ELEV=904.25 NOV029



**LEGEND**

- 070 --- Existing Contours
- 898 --- Proposed contours
- x 900.0 Existing Spot Elevations
- x 875.5 Proposed Spot Elevation
- 4.2% --- Slope
- M --- Designated Wetlands
- Proposed Storm Sewer
- Drainage Direction
- Rock Construction Entrance
- Monument signs with concrete base signs shall read pond high water level no filling below this point

- NOTES:**
- ALL SPOT ELEVATIONS ARE TOP BACK OF CURB, OR CENTERLINE, UNLESS OTHERWISE NOTED.
  - INSTALL EROSION CONTROL MEASURES PRIOR TO SITE GRADING.
  - DISTURBED AREAS SHALL BE STABILIZED WITHIN 2 WEEKS AFTER COMPLETION ON ROUGH GRADING OPERATIONS.
  - INSTALL SILT FENCE BETWEEN HWL AND NWL ON BOTH SEDIMENTATION BASINS.
  - PROPERTY OWNERS EFFECTED BY THE CHANGES IN THE DRAINAGE WILL BE NOTIFIED BY THE CITY OF BLAINE DURING THE REVIEW PROCESS.
  - THE DEVELOPER WILL PLACE A NOTE IN THE COVENANT WHICH STATES THAT NO OBSTRUCTION TO FLOW SHALL BE PLACED IN THE SEDIMENTATION BASINS.
  - ACCESS TO THE SEDIMENTATION BASIN OUTLET STRUCTURE SHALL BE THROUGH A 20' WIDE EASEMENT BETWEEN LOT 12 AND OUTLOT B. MAINTENANCE WILL BE BY THE CITY OF BLAINE UTILIZING THE CITY MAINTENANCE PLAN.

Oliver Surveying & Engineering, Inc.  
Land Surveying - Civil Engineering - Land Planning  
580 Dodge Ave. Elk River, Minnesota 55330  
(763) 441-2072 - fax (763) 441-5665  
www.oliver-se.com

**GILLUND OAKS SECOND ADDITION  
BLAINE, MN  
FOR  
MINKS LAND DEVELOPMENT, LLC  
PRELIMINARY GRADING, DRAINAGE,  
& EROSION CONTROL PLAN**

DATE: 5/12/2014  
DESIGN BY: RDM  
DRAWN BY: DM  
CHECKED BY: RDM  
DWG: 2483-12-DRBAC  
TEXT: NONE  
FILE NO.: 7683.12-03

SHEET NO. 2 OF 5

