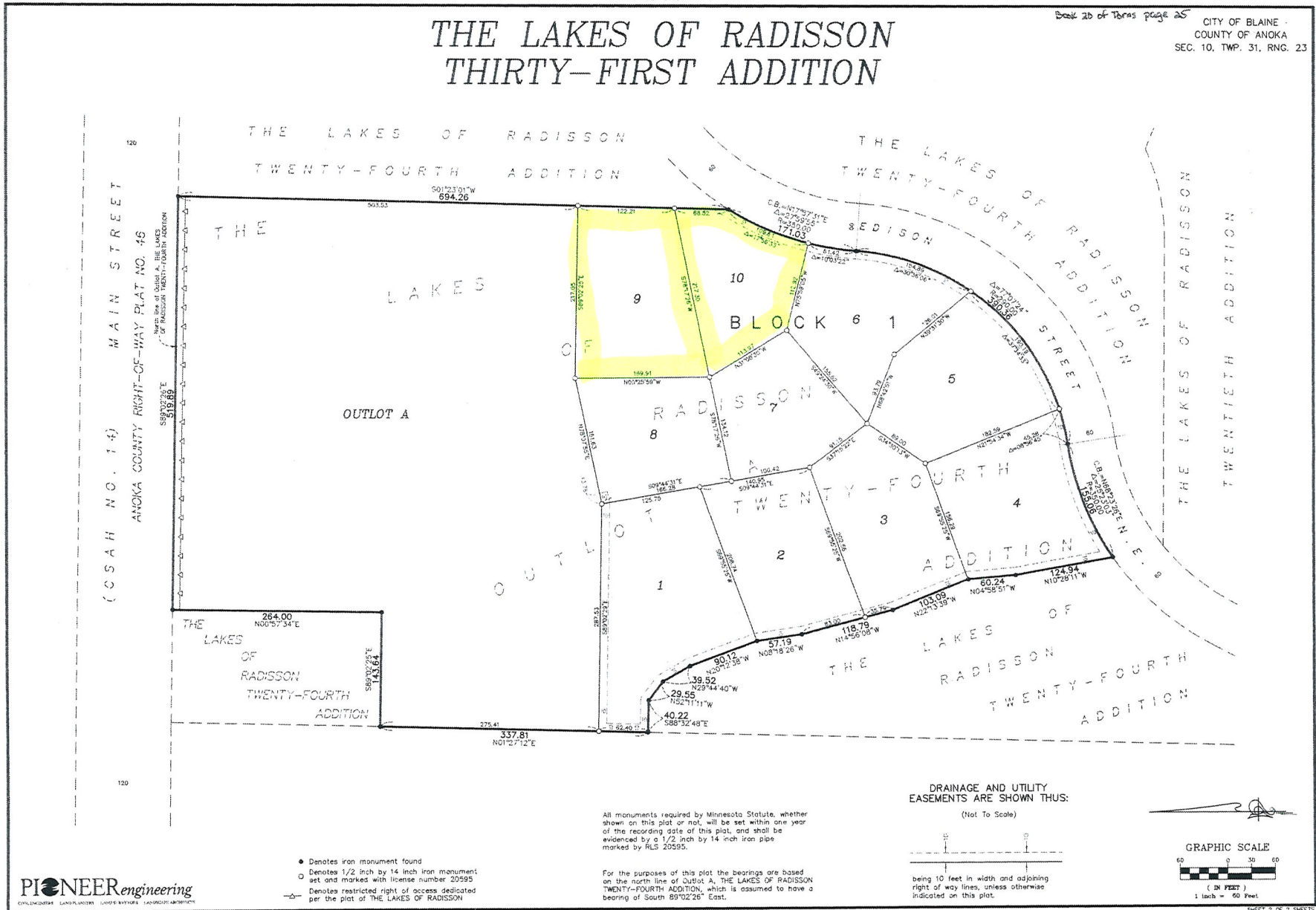


Case File No. 16-0042

Blaine Planning Department / 10801 Town Square Dr NE / Blaine, MN 55449 / (763) 785-6180



THE LAKES OF RADISSON THIRTY-FIRST ADDITION



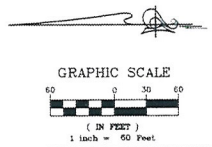
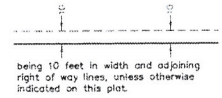
126
 (CSAH NO. 14) MAIN STREET
 ANOKA COUNTY RIGHT-OF-WAY PLAT NO. 46
 North line of Outlot A, THE LAKES OF RADISSON TWENTY-FOURTH ADDITION
 S89°02'26"E 319.89'
 120

- Denotes iron monument found
- Denotes 1/2 inch by 14 inch iron monument set and marked with license number 20595
- Denotes restricted right of access dedicated per the plat of THE LAKES OF RADISSON.

All monuments required by Minnesota Statute, whether shown on this plat or not, will be set within one year of the recording date of this plat, and shall be evidenced by a 1/2 inch by 14 inch iron pipe marked by RLS 20595.

For the purposes of this plat the bearings are based on the north line of Outlot A, THE LAKES OF RADISSON TWENTY-FOURTH ADDITION, which is assumed to have a bearing of South 89°02'26" East.

DRAINAGE AND UTILITY EASEMENTS ARE SHOWN THUS:
 (Not To Scale)







OUTLOT PLANTINGS

KEY	COMMON NAME / SCIENTIFIC NAME	ROOT	QTY
OVERSTORY PLANTINGS			
⊙	RIVER BIRCH/BETULA NIGRA	8' B&B	5
⊙	PRAIRIFIRE CRABE/MALUS 'PRAIRIFIRE'	1.5" B&B	16
⊙	BLACK HILLS SPRUCE/PICEA OLAUCA DENSATA	6' B&B	9
SHRUB PLANTINGS			
⊙	DWARF KOREAN LILAC/SYRINGA MEYERI 'PALIBIN'	#5 POT	23
⊙	SEA GREEN JUNIPER/JUNIPERUS CHINENSIS 'SEA GREEN'	#5 POT	37
PERENNIAL PLANTINGS			
FG	FEATHER REED GRASS/CALAMAGROSTIS ACUTIFLORA 'KARL FOERSTER'	QUART	55
MS	MAY NIGHT MEADOW SAGE/SALVIA SYLVESTRIS 'MAY NIGHT'	QUART	170
SD	STELLA D'ORO DAYLILY/HEMEROCALLIS 'STELLA D'ORO'	QUART	100

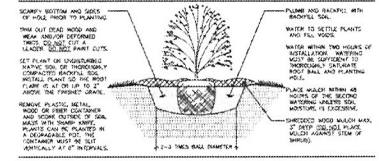
LANDSCAPE NOTES:

PLANTING AREA TO BE MULCHED WITH SHREDDED HARDWOOD TO A DEPTH OF 6" NO WEED BARRIER USED
 PREEN OR EQUIVALENT TO BE USED AT TIME OF PLANTING
 LANDSCAPE GRADE BLACK VINYL EDGER TO BE USED AROUND PLANTING BED

LANDSCAPE NOTES

- THE LANDSCAPE CONTRACTOR SHALL VISIT THE PROJECT SITE TO BECOME FAMILIAR WITH THE EXISTING CONDITIONS PRIOR TO SUBMITTING A BID.
- THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT OF PROPOSED PHYSICAL START DATE AT LEAST 7 DAYS IN ADVANCE.
- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE FIELD VERIFICATION OF ALL EXISTING UTILITY LOCATIONS ON THE PROJECT SITE WITH SPECIAL EMPHASIS ON CALL TO REVEAL PRIOR TO COMMENCING WORK. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND REPAIR OF EXISTING UTILITIES DAMAGED DURING CONSTRUCTION AT HIS/HER COST. NOTIFY THE LANDSCAPE ARCHITECT OF ANY CONSULTS TO FACILITATE PLANT RELOCATION.
- GRADING TO BE PERFORMED BY OTHERS.
- NO PLANT MATERIAL SHALL BE INSTALLED UNTIL GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA.
- ALL PLANT MATERIAL SHALL MEET THE STANDARDS FOUND IN THE AMERICAN ASSOCIATION OF NURSERYMEN-AMERICAN STANDARDS FOR NURSERY STOCK.
- ALL CONTRACTOR MATERIAL TO BE SHOWN IN THE CONTRACT A MINIMUM OF 30 (THIRTY) MONTHS PRIOR TO PLANTING ON SITE.
- SEEDLINGS AND CONTAINER TREES SHALL NOT BE STAKED, BUT THE LANDSCAPE CONTRACTOR MUST GUARANTEE STAKEABILITY TO A MAXIMUM SPEED OF 30 MPH.
- THE LANDSCAPE CONTRACTOR SHALL PROVIDE A MINIMUM GUARANTEE OF THE YEAR ONE (ONE) REPLACEMENT ON NEW PLANT MATERIALS. GUARANTEE SHALL BE APPROVED FIRST BY DEVELOPER/OWNER AND LANDSCAPE CONTRACTOR.
- THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO SELECT ANY PLANTS WHICH ARE DEEMED UNSATISFACTORY BEFORE SHIPPING OR AFTER INSTALLATION.
- IF THERE IS A DISCREPANCY BETWEEN THE NUMBER OF PLANTS SHOWN ON THE PLAN AND THE NUMBER SHOWN ON THE PLANT LIST, THE NUMBER SHOWN ON THE PLAN WILL TAKE PRECEDENCE.
- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MATERIALS AND PLANTING SOIL QUANTITIES TO COMPLETE WORK SHOWN ON THE PLAN. THE LANDSCAPE CONTRACTOR SHALL VERIFY ALL QUANTITIES SHOWN ON THE PLAN BEFOREHAND.
- COMMERCIAL GRADE POLY LAMIN FACING SHALL BE INSTALLED WHERE NOTED.
- THE LANDSCAPE CONTRACTOR SHALL REPAIR ALL DAMAGE TO THE SITE CAUSED BY THE PLANTING OPERATION AT HIS/HER OWNERS RISK.
- THE LANDSCAPE CONTRACTOR SHALL KEEP FURNISHMENTS CLEAN AND MAINTAINED. ALL PROJECTS SHALL BE KEPT ACCESS TO BE MAINTAINED THROUGHOUT CONSTRUCTION PERIOD. ALL MATES SHALL BE PROPERLY REMOVED FROM THE SITE AND SHIPPED TO EXISTING FACILITIES SHALL BE REPAIRED AT THE CONTRACTORS EXPENSE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH ALL APPLICABLE CODES, REGULATIONS AND PERMITS GOVERNING THE WORK.
- STRIPING OF MATERIALS OR SUPPLIES ON-SITE WILL NOT BE ALLOWED.

SHRUB PLANTING DETAIL



PIONEERengineering

2425 Enterprise Drive
 Mendota Heights, MN 55120

(612) 681-1974
 Fax: (612) 681-1988
 www.pioneereng.com

This is a contract document prepared by Pioneer Engineering, Inc. for the use of the client. It is not to be used for any other project without the express written consent of Pioneer Engineering, Inc. The client agrees to indemnify and hold Pioneer Engineering, Inc. harmless from all claims, damages, and expenses, including reasonable attorneys' fees, arising out of or from the use of this contract document.

Name: _____
 Title: _____
 Date: _____
 Drawn: _____
 Checked: _____

Scale: _____
 Date: _____
 Drawn: _____
 Checked: _____

LANDSCAPE PLAN

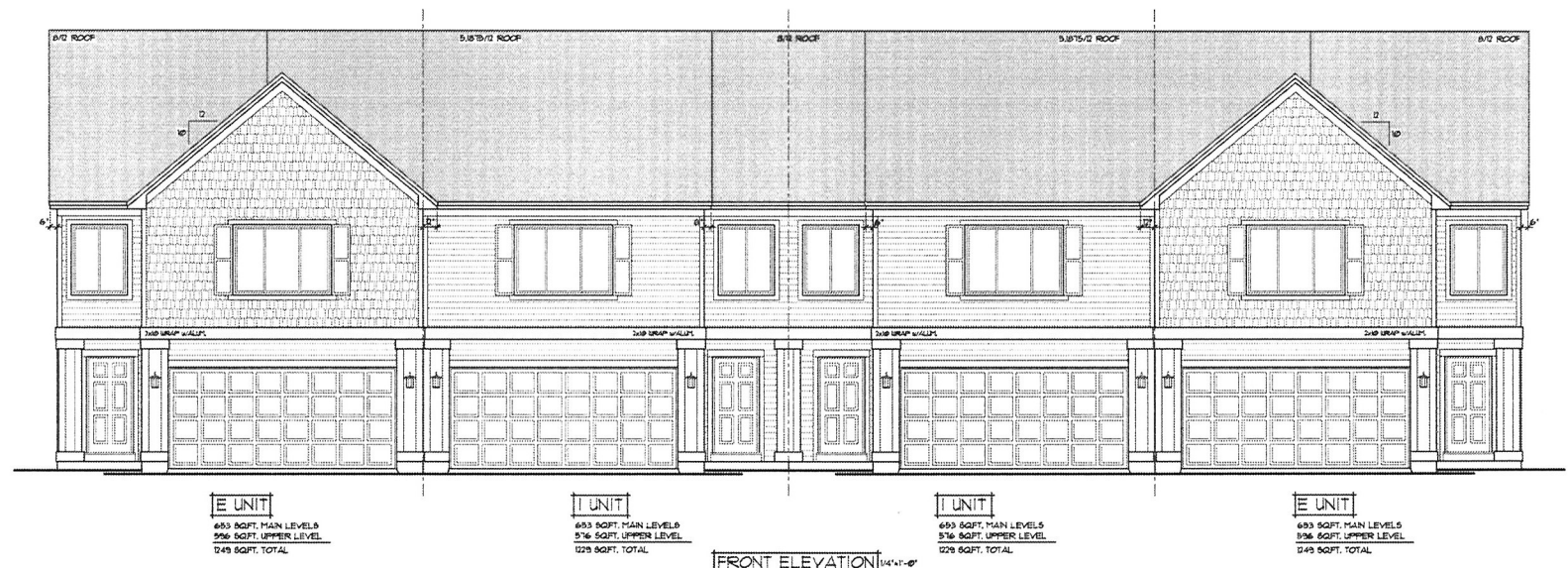
CENTRA HOMES LLC
 11469 ROBINSON DRIVE NW
 COON RAPIDS, MINNESOTA 55433

THE LAKES 24TH AND 31ST ADDITION
 PLANE, MINNESOTA

L1 OF 1



REAR ELEVATION 1/4"=1'-0"



E UNIT
 693 SQFT. MAIN LEVEL
 576 SQFT. UPPER LEVEL
 1249 SQFT. TOTAL

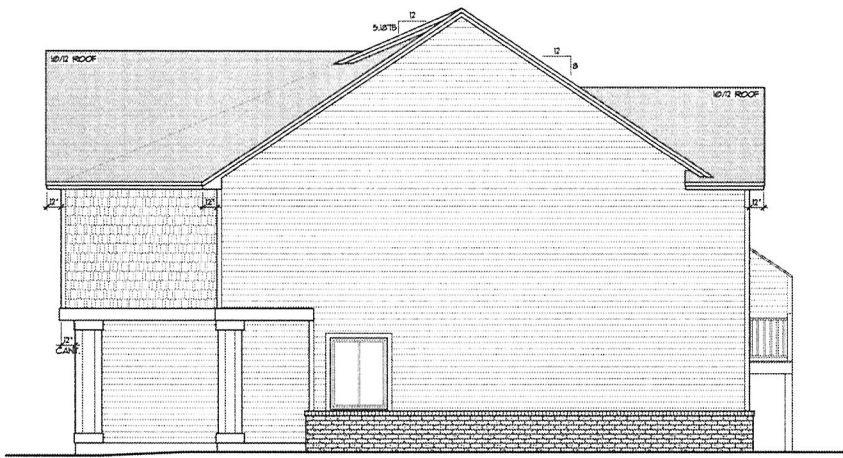
I UNIT
 693 SQFT. MAIN LEVEL
 576 SQFT. UPPER LEVEL
 1275 SQFT. TOTAL

I UNIT
 693 SQFT. MAIN LEVEL
 576 SQFT. UPPER LEVEL
 1275 SQFT. TOTAL

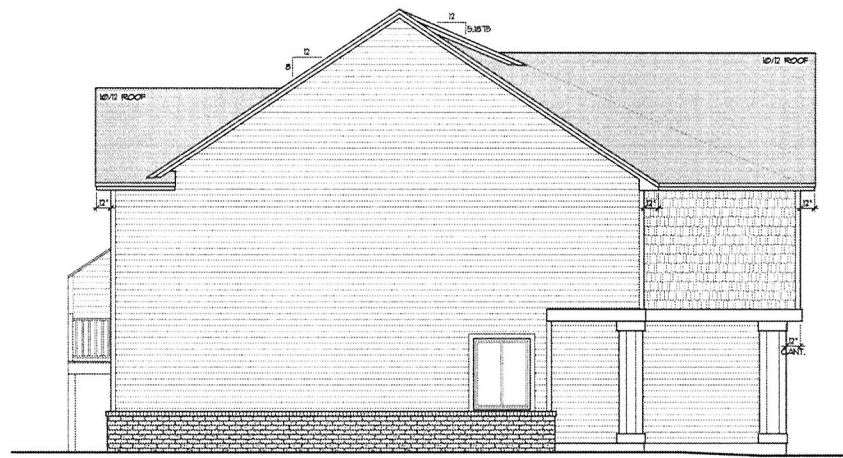
E UNIT
 693 SQFT. MAIN LEVEL
 576 SQFT. UPPER LEVEL
 1249 SQFT. TOTAL

FRONT ELEVATION 1/4"=1'-0"
 4956 SQFT. TOTAL BUILDING

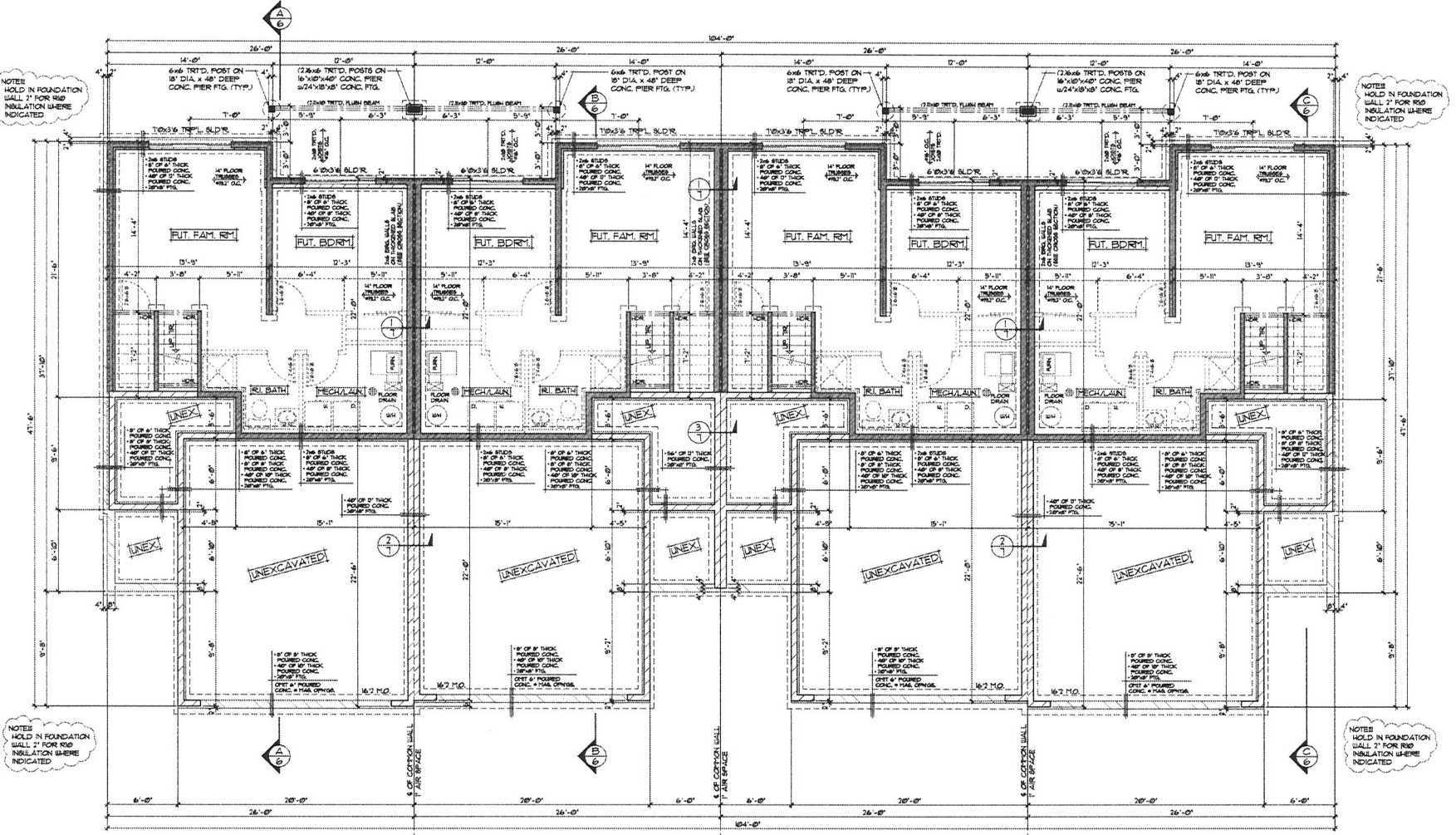
- GENERIC WINDOW CALL-OUTS SPEC'D.
- ALUMINUM SOFFIT & FASCIA
- VINYL SIDING & SHAKES AS SHOWN
- VINYL TRIM & FRIEZE BOARDS AS SHOWN (TYP.)
- SHUTTERS AS SHOWN
- BRICK VENEER AS SHOWN



RIGHT ELEVATION 1/4"=1'-0"



LEFT ELEVATION 1/4"=1'-0"



NOTES HOLD IN FOUNDATION WALL 2" FOR RIGID INSULATION WHERE INDICATED

NOTES HOLD IN FOUNDATION WALL 2" FOR RIGID INSULATION WHERE INDICATED

NOTES POURED CONC. WALL FOUNDATION VERIFY WALL DIMENSIONS W/FOUNDATION CONTRACTOR

NOTES HOLD IN FOUNDATION WALL 2" FOR RIGID INSULATION WHERE INDICATED

NOTES HOLD IN FOUNDATION WALL 2" FOR RIGID INSULATION WHERE INDICATED

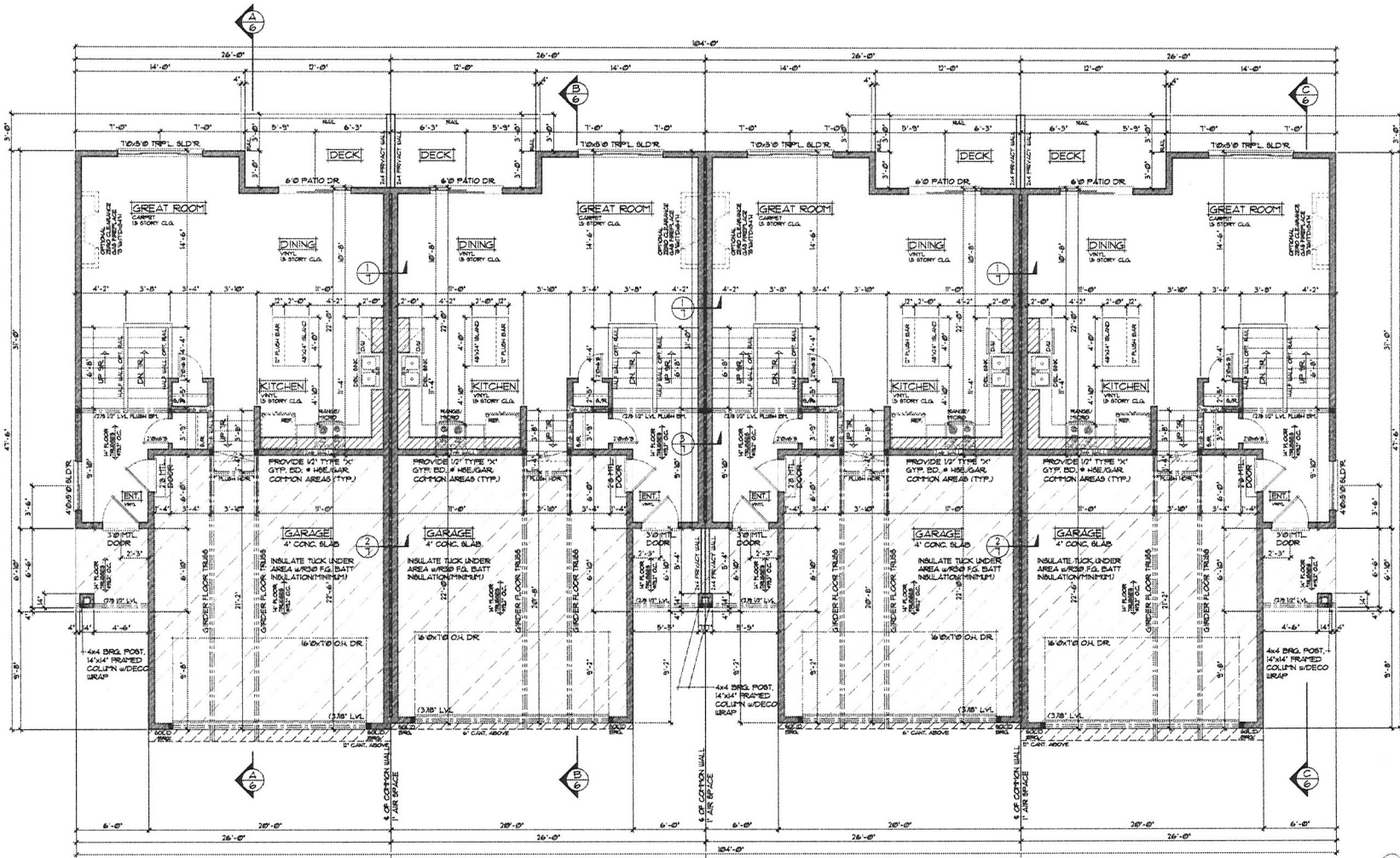
NOTES GENERIC UNDOOR SIZES SPEC'D. VERIFY ALL DOOR AND WINDOW ROUGH OPENINGS WITH SUPPLIER

FOUNDATION PLAN-E 1/4"=1'-0"

FOUNDATION PLAN-I 1/4"=1'-0"

FOUNDATION PLAN-I 1/4"=1'-0"

FOUNDATION PLAN-E 1/4"=1'-0"



MAIN LEVEL PLAN-E 1/4"=1'-0"
693 SQFT.

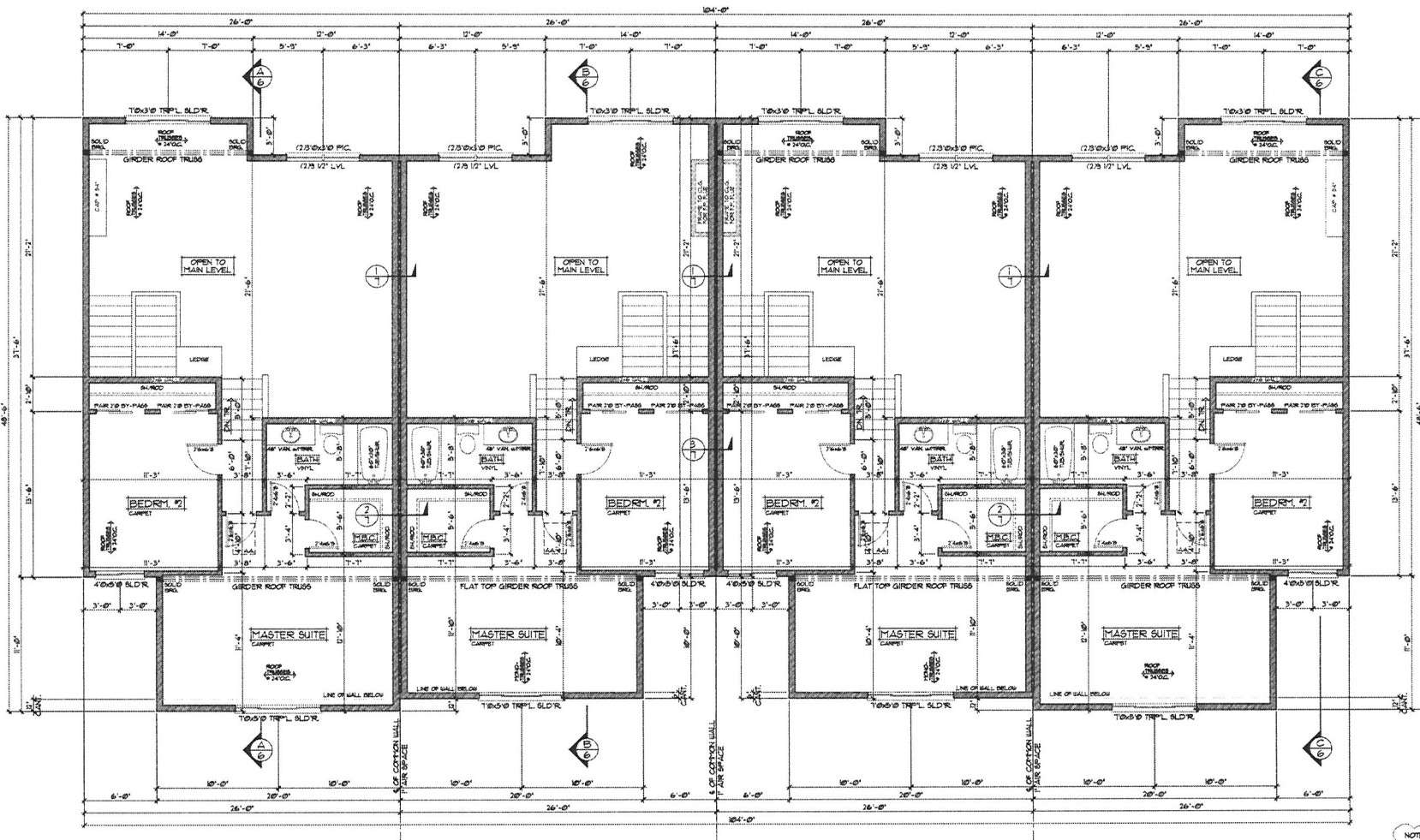
MAIN LEVEL PLAN-I 1/4"=1'-0"
693 SQFT.

MAIN LEVEL PLAN-I 1/4"=1'-0"
693 SQFT.

MAIN LEVEL PLAN-E 1/4"=1'-0"
693 SQFT.

NOTES:
ALL HEADERS/BEAMS
TO BE 2X4D UNLESS
NOTED OTHERWISE

NOTES:
GENERIC WINDOW SIZES SPEC'D.
VERIFY ALL DOOR AND WINDOW
ROUGH OPENINGS WITH SUPPLIER



UPPER LEVEL PLAN-E 1/4"=1'-0"
596 SQFT.

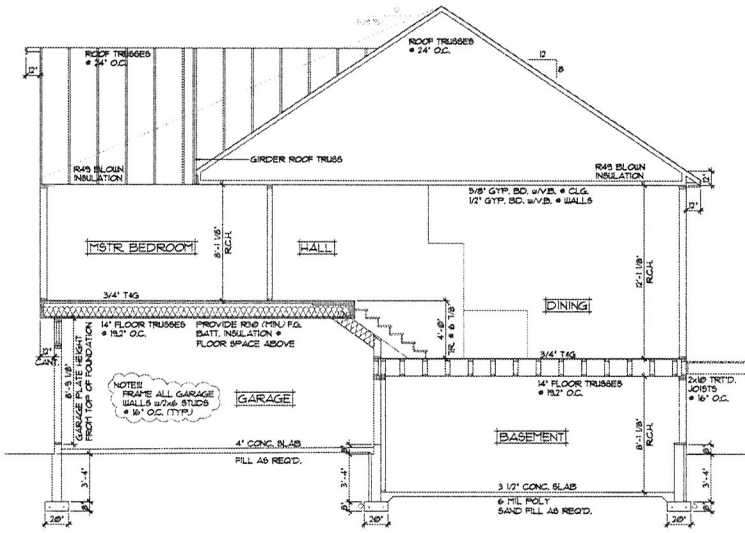
UPPER LEVEL PLAN-I 1/4"=1'-0"
576 SQFT.

UPPER LEVEL PLAN-I 1/4"=1'-0"
576 SQFT.

UPPER LEVEL PLAN-E 1/4"=1'-0"
596 SQFT.

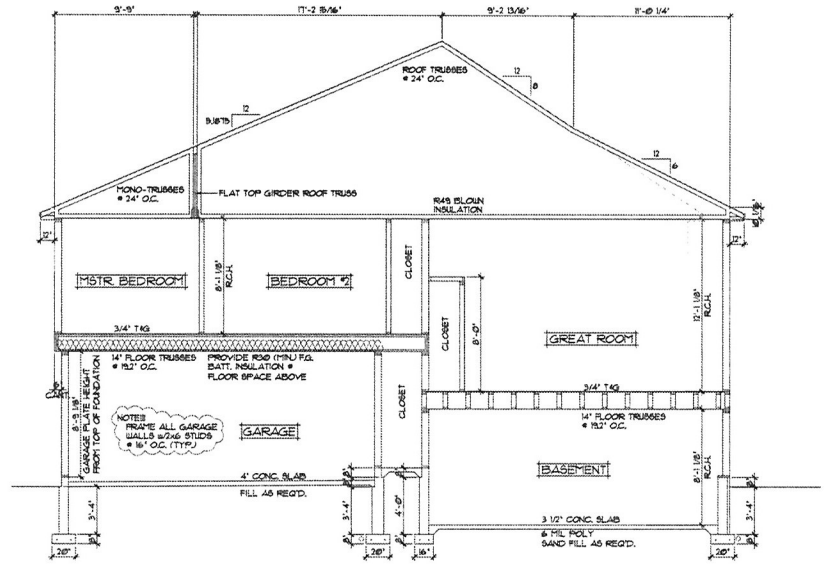
NOTES:
ALL HEADERS/BEAMS
TO BE 2X10 UNLESS
NOTED OTHERWISE

NOTES:
GENERIC WINDOW SIZES SPEC'D.
VERIFY ALL DOOR AND WINDOW
ROUGH OPENINGS WITH SUPPLIER

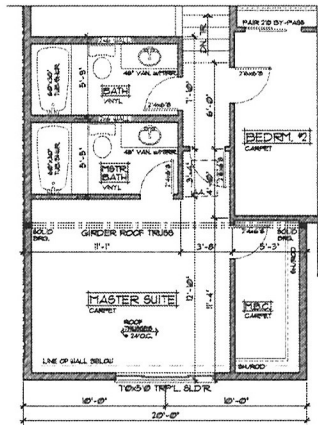


CROSS SECTION 'A' 1/4\"/>

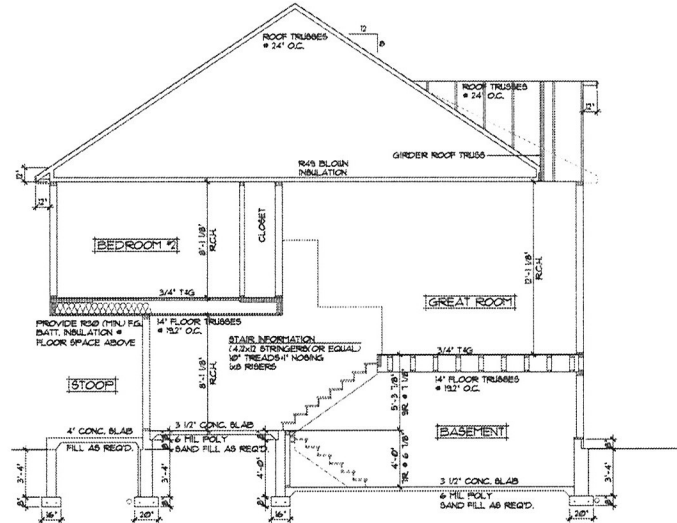
- ROOF CONSTRUCTION**
- PREMANUFACTURED ROOF TRUSSES - ENGINEERED BY SUPPLIER - SLOPES VARY - SEE PLAN
 - R49 BLOWN FIBERGLASS INSULATION
 - 1/2\"/>
- WALL CONSTRUCTION**
- HOUSE GRAP
 - 2\"/>
- FIN AREA CONSTRUCTION**
- CLOSED CELL SPRAYED FOAM INSUL. (R20 MINIMUM) - SEE AREA AND CANTS.
- FOUNDATION CONSTRUCTION**
- POURED WALL FOUNDATION
 - SLAB CONSTRUCTION
 - 2\"/>



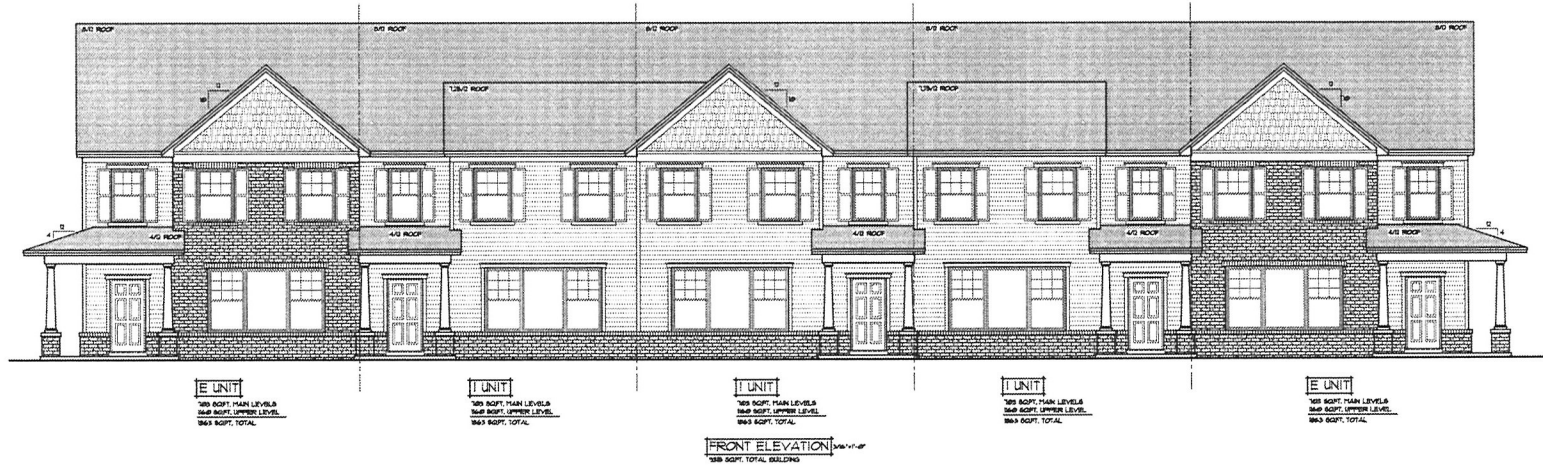
CROSS SECTION 'B' 1/4\"/>

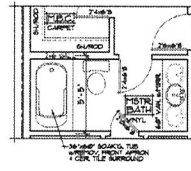


OPTIONAL 2 BATH LAYOUT 1/4\"/>

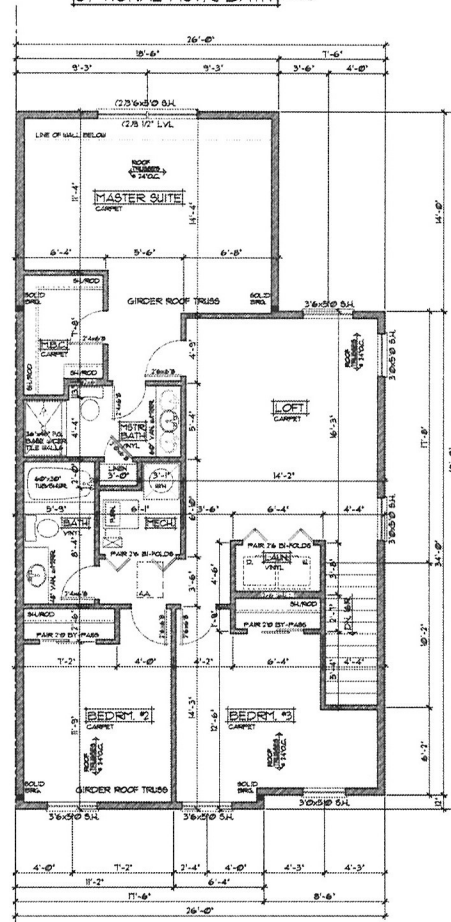


CROSS SECTION 'C' 1/4\"/>





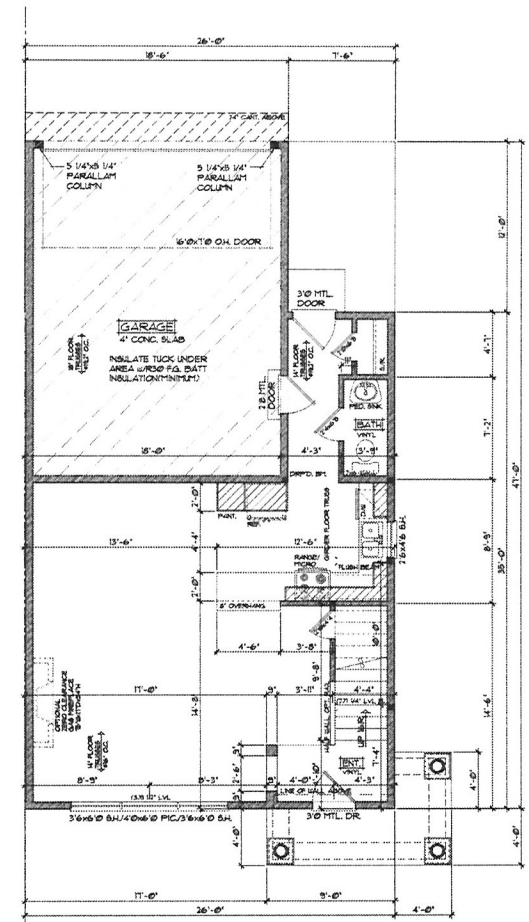
OPTIONAL MSTR BATH 1/4"=1'-0"



SECOND FLOOR PLAN-E 1/4"=1'-0"

1860 SQFT.

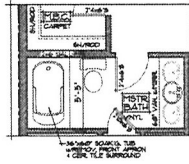
LAYOUT OPTION 1



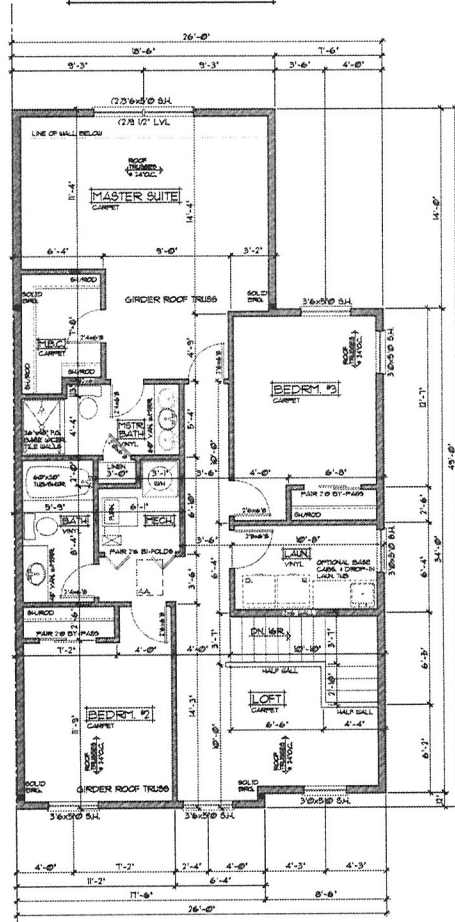
FIRST FLOOR PLAN-E 1/4"=1'-0"

103 SQFT.

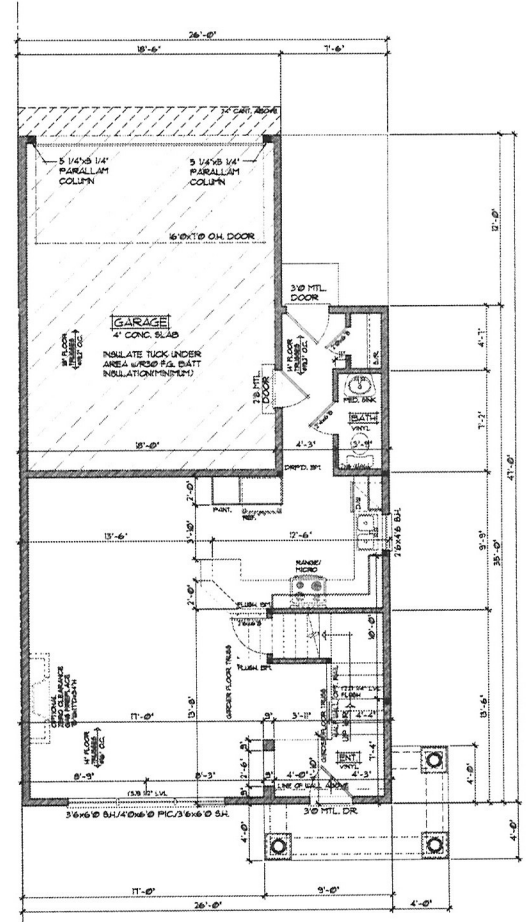
LAYOUT OPTION 1



OPTIONAL MSTR BATH 14'-11"-0"



SECOND FLOOR PLAN-E 1/4"=1'-0"
180 SQFT.
LAYOUT OPTION 2



FIRST FLOOR PLAN-E 1/4"=1'-0"
303 SQFT.
LAYOUT OPTION 2

REVISIONS
XXXXXXXXXX

BIRCH HOME DESIGN, LLC
ARCHITECTURAL DESIGN & CONSTRUCTION
501-437-0000



5 UNIT TOWNHOME
ELAINE, MN

CENTRA HOMES

BEST BY:
DATE: 10/20/2016
FILE#: 16-021
SHEET: 4
OF: 4

