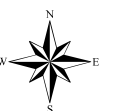


BlaineMN.gov

Case File No. 21-0050
Ali Obaidi (Elevator)

Blaine Planning Department / 10801 Town Square Dr NE / Blaine, MN 55449 / (763) 785-6180



Variance Request Information

Area to be modified: Addition of an elevator hoist way enclosure on the west side of the house.

Purpose and/or reason for the request:

This family has two children with medical diagnosis that impedes their ability to walk. Both children use wheelchairs for all mobility. There aren't any bedrooms on the main level living area. Caregivers carry both children between levels of the home several times each day. Both children are too heavy to be carried up and down stairs without risk of injury to the children or the person carrying them.

This home has three levels, and access to all levels is needed. Modified Living Spaces is recommending an elevator be installed to provide accessibility between all levels within the home. Upon consultation with contractors and elevator vendors, installing an elevator within the home will require significant modifications that will affect the functional use within the home. As a result, it was recommended the elevator be constructed as an addition onto the west side of the home. This is the least intrusive location while still meeting the family's needs, as well as consideration of future home resale.

Drawing of proposed location, dimensions and elevations:

Material to be Used: Siding and roof to match existing, framing, house wrap, insulation, cement for foundation, installation of electrical components

Contractors/Vendors: This project is being bid on by two separate contractors and two separate lift vendors. The chosen contractor and lift vendor is contingent upon approval by the county waiver review committee. All contractors and lift vendors are licensed and bonded:

Ringler Construction
Andover MN

Ellis Builders
Eagan MN

Arrow Lift
Blaine MN

Premier Lift
Owatonna MN

Modified Living Spaces
PO BOX 315
Champlin MN 55316

CERTIFICATE OF SURVEY

FOR: GORHAM CUSTOM HOMES

ADDRESS: 2952 - 132ND AVENUE NE, BLAINE, MN

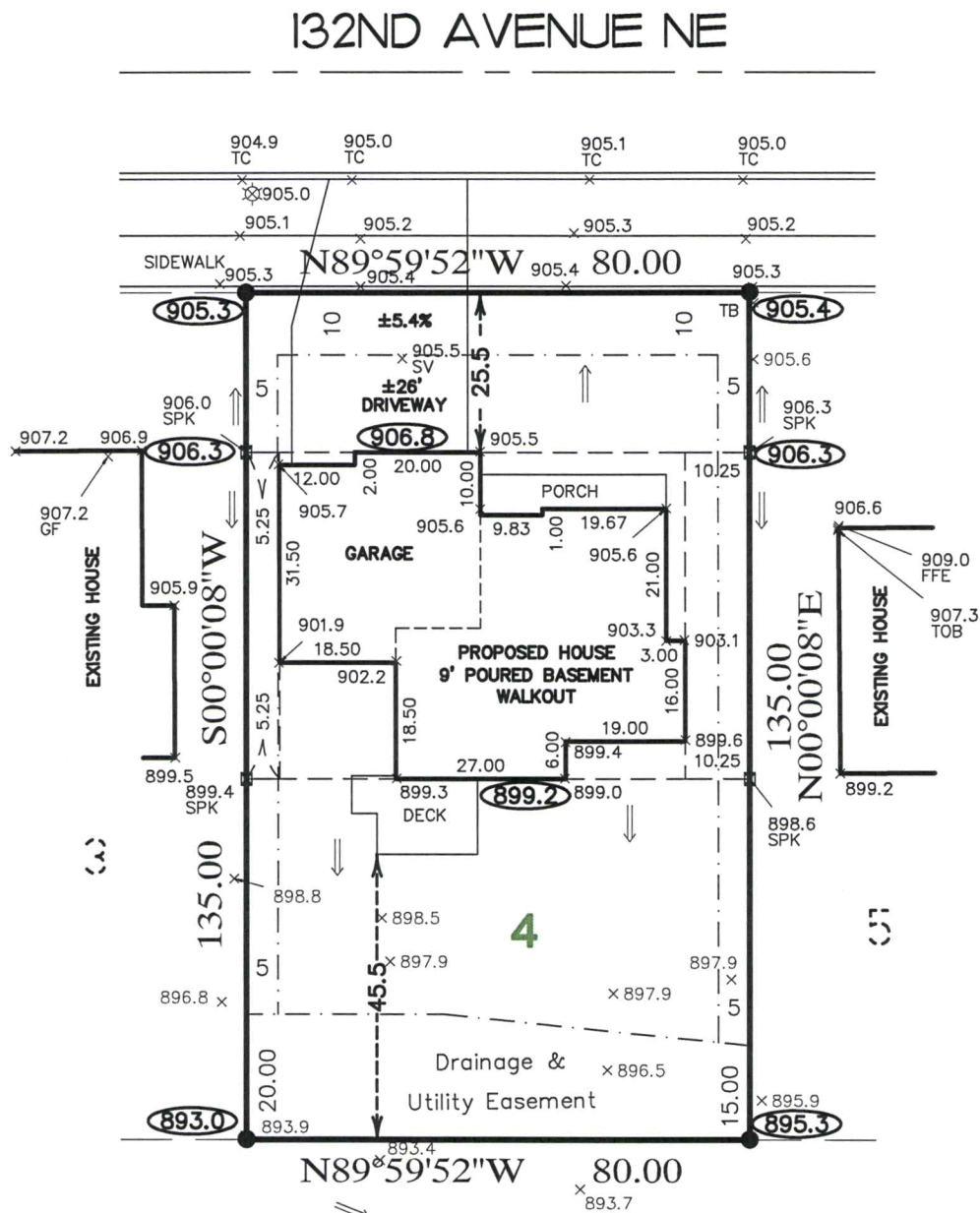


(IN FEET)

1 inch = 30 ft.



NORTH



NOTES

- SERVICE LOCATED IN PROPOSED DRIVEWAY.
- HOUSE PLACEMENT AND ELEVATIONS SET BY CONTRACTOR.
- BEARING'S SHOWN ARE ON ASSUMED DATUM.
- CONTRACTOR TO VERIFY HOUSE DIMENSIONS, AND SEWER AND BASEMENT DEPTHS.
- FINISHED GRADE 10 FEET FROM PROPOSED BUILDING SHALL BE 0.5 FEET LOWER THAN THE FINISHED GRADE AT THE BUILDING.
- FINISHED GRADE ELEVATIONS ARE TO FINISHED SURFACE WITH TURF ESTABLISHMENT.
- DRIVEWAYS ARE SHOWN FOR GRAPHIC PURPOSES ONLY. FINAL DRIVEWAY DESIGN AND LOCATION TO BE DETERMINED BY CONTRACTOR

- /○ DENOTES EXISTING CATCH BASIN
- 1023 DENOTES PROPOSED ELEVATION
- x1011.2 DENOTES EXISTING ELEVATION
- DENOTES DIRECTION OF DRAINAGE
- ⊗ DENOTES METAL OFFSET SPIKE

DROP GARAGE 16" DOWN

PROPOSED ELEVATIONS

GARAGE FLOOR = 906.8

TOP OF BLOCK = 908.4

LOWEST FLOOR = 899.7.....899.2 (ftg)

ASBUILT ELEVATIONS

LEGAL DESCRIPTION

Lot 4, Block 3, WAGON RANCH 2ND ADDITION, Anoka County, Minnesota.

I hereby certify that this plan, survey or report was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota.

JOB#18426

JOSHUA P. SCHNEIDER

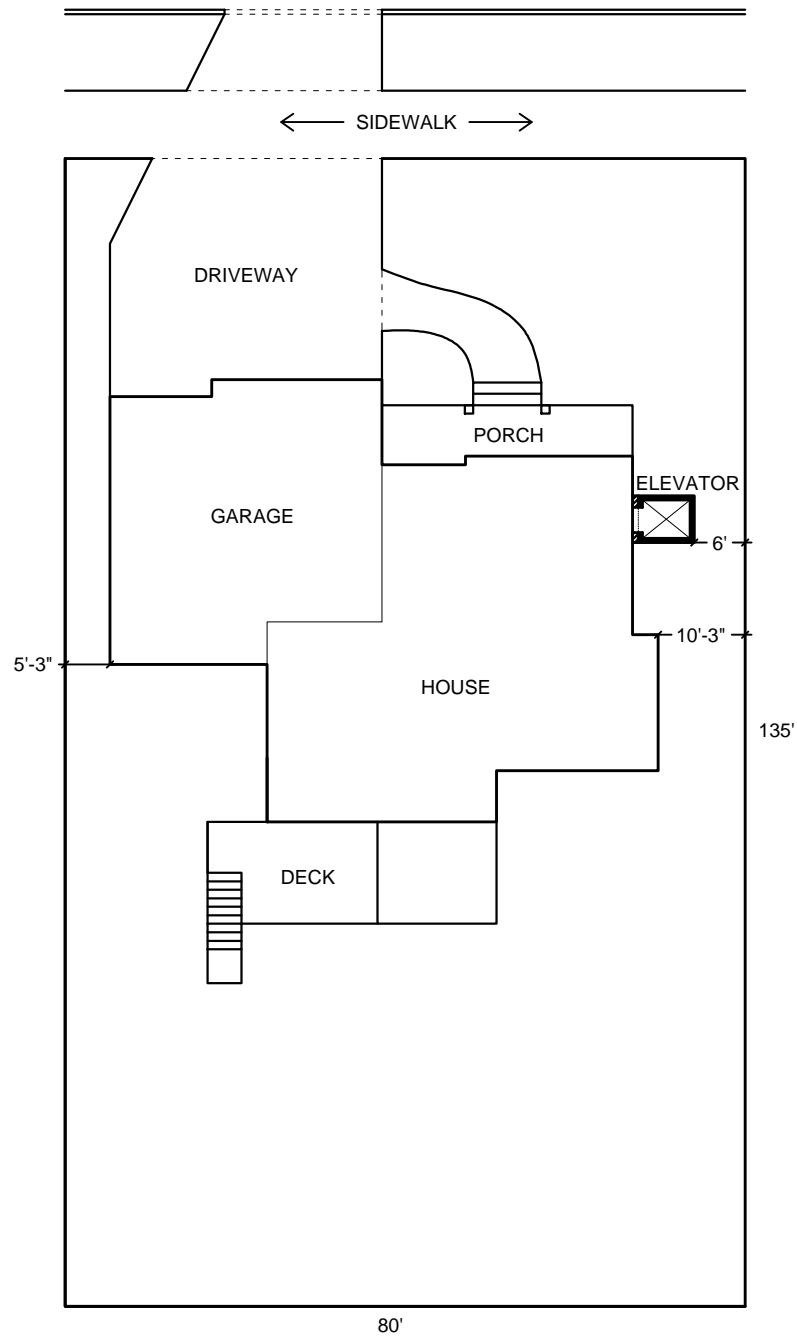
Revised: 11-28-18 (vert ab)
Date: 11-1-18 Reg. No. 44655



ACRE LAND SURVEYING

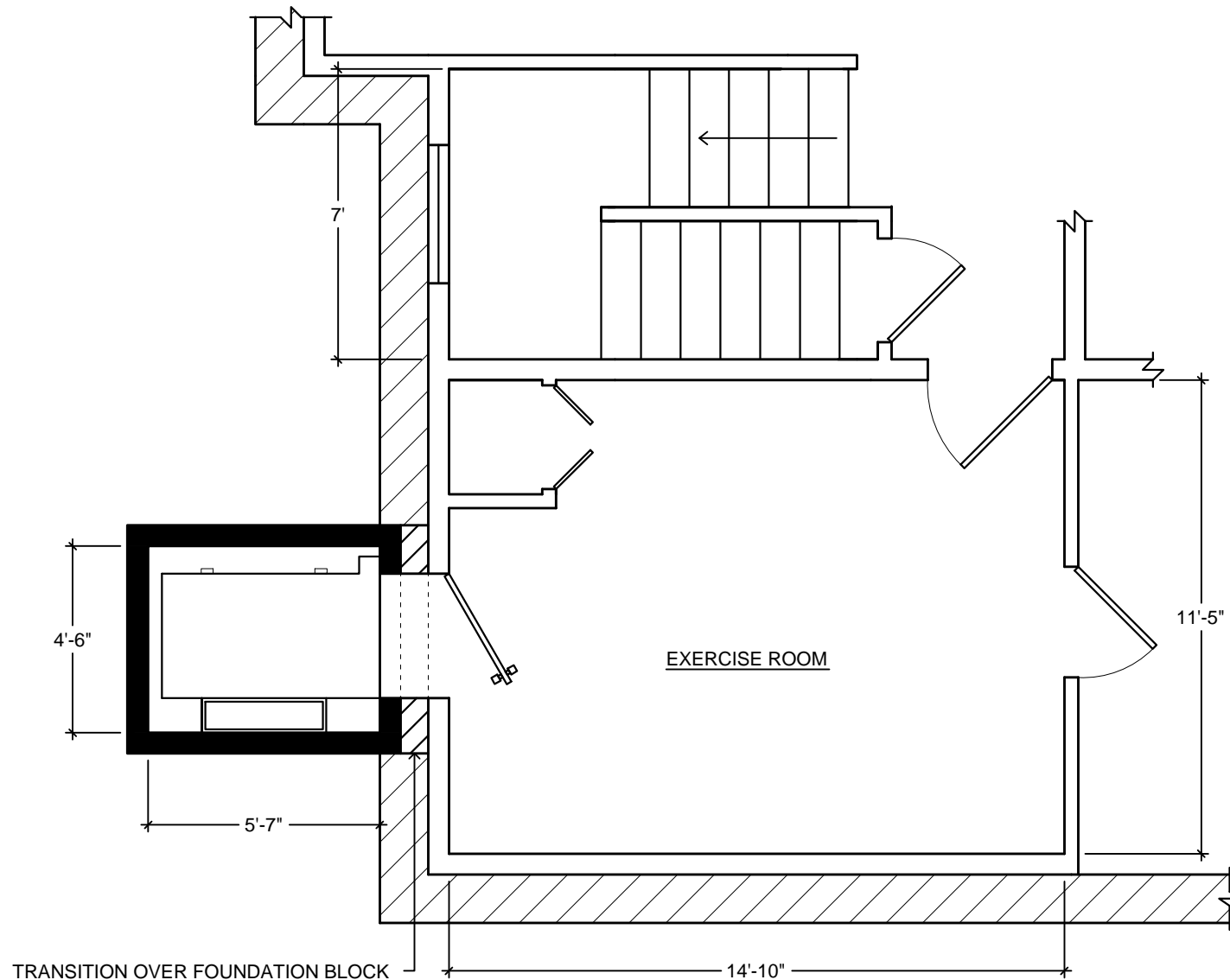
Blaine, MN 55449

763-238-6278 js.acrelandsurvey@gmail.com



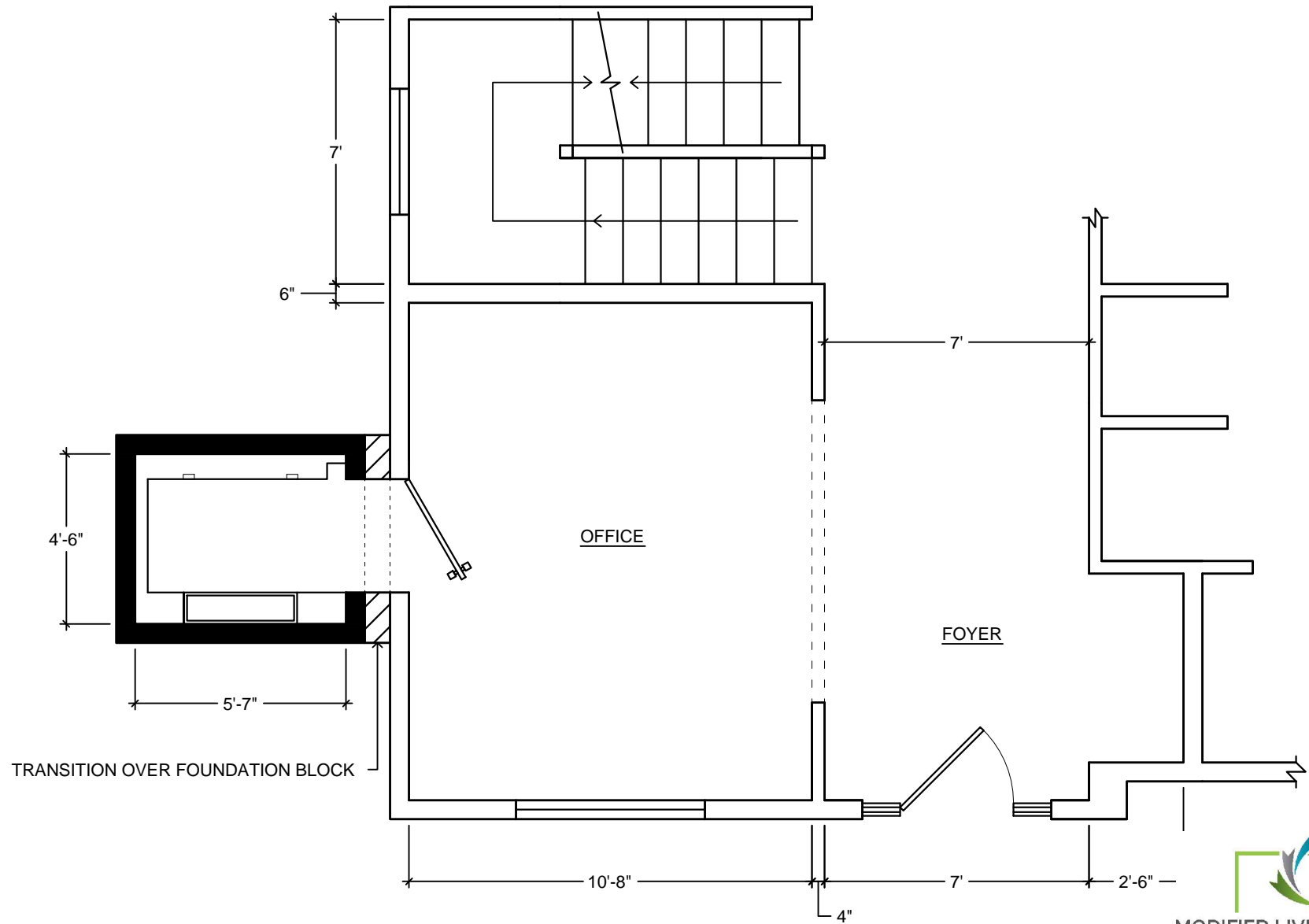
Site Plan - Proposed

A.O. | Scale: N.T.S.
Date: 06.11.21



Lower Level - Proposed

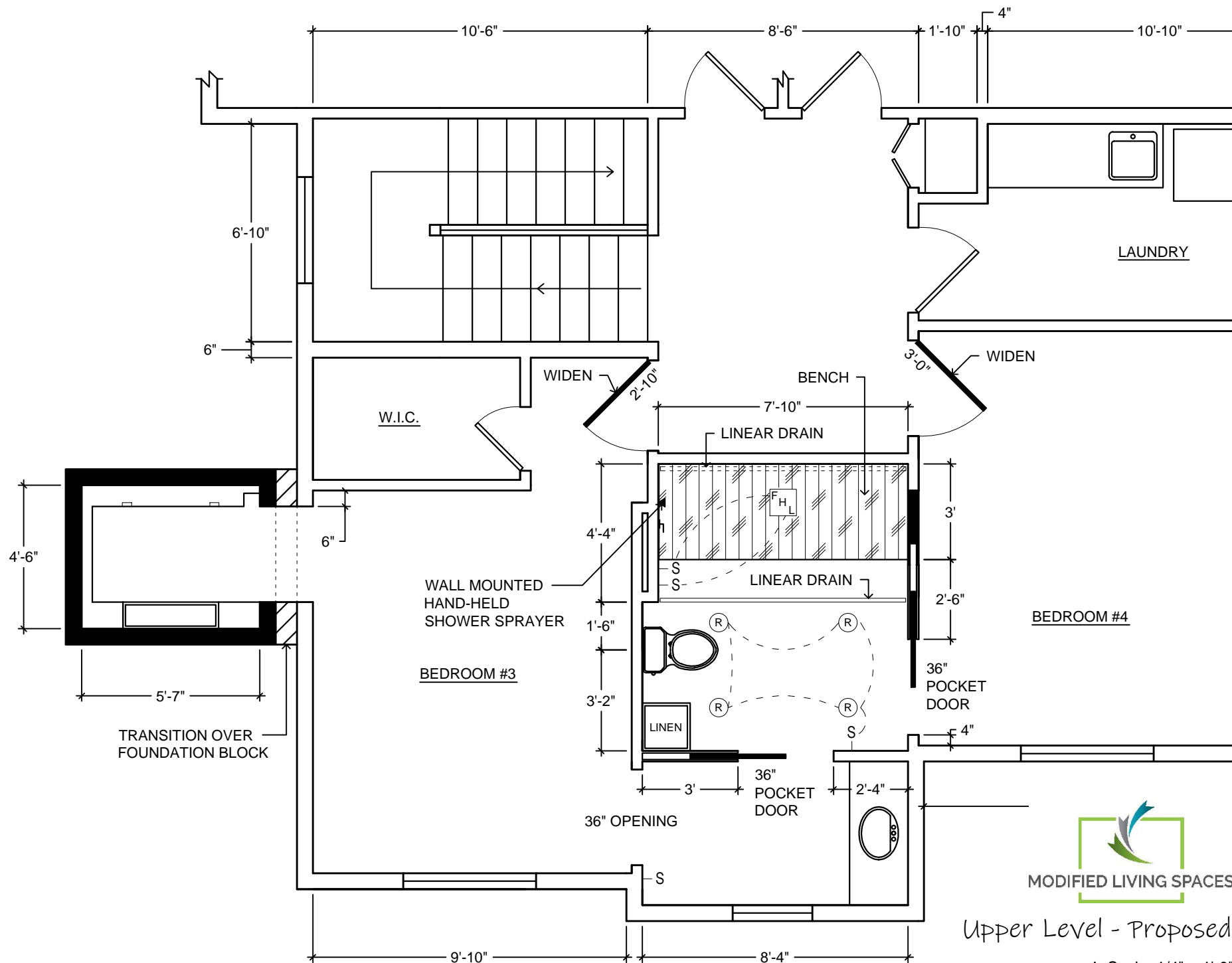
A.O. | Scale: 1/4" = 1'-0"
Date: 06.11.21



MODIFIED LIVING SPACES

Main Floor - Proposed

A.O. | Scale: 1/4" = 1'-0"
Date: 06.11.21



CONTRACTOR TO VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION. DUPLICATION MAY ALTER THE SCALE.

A.O. | Scale: 1/4" = 1'-0"
Date: 06.11.21