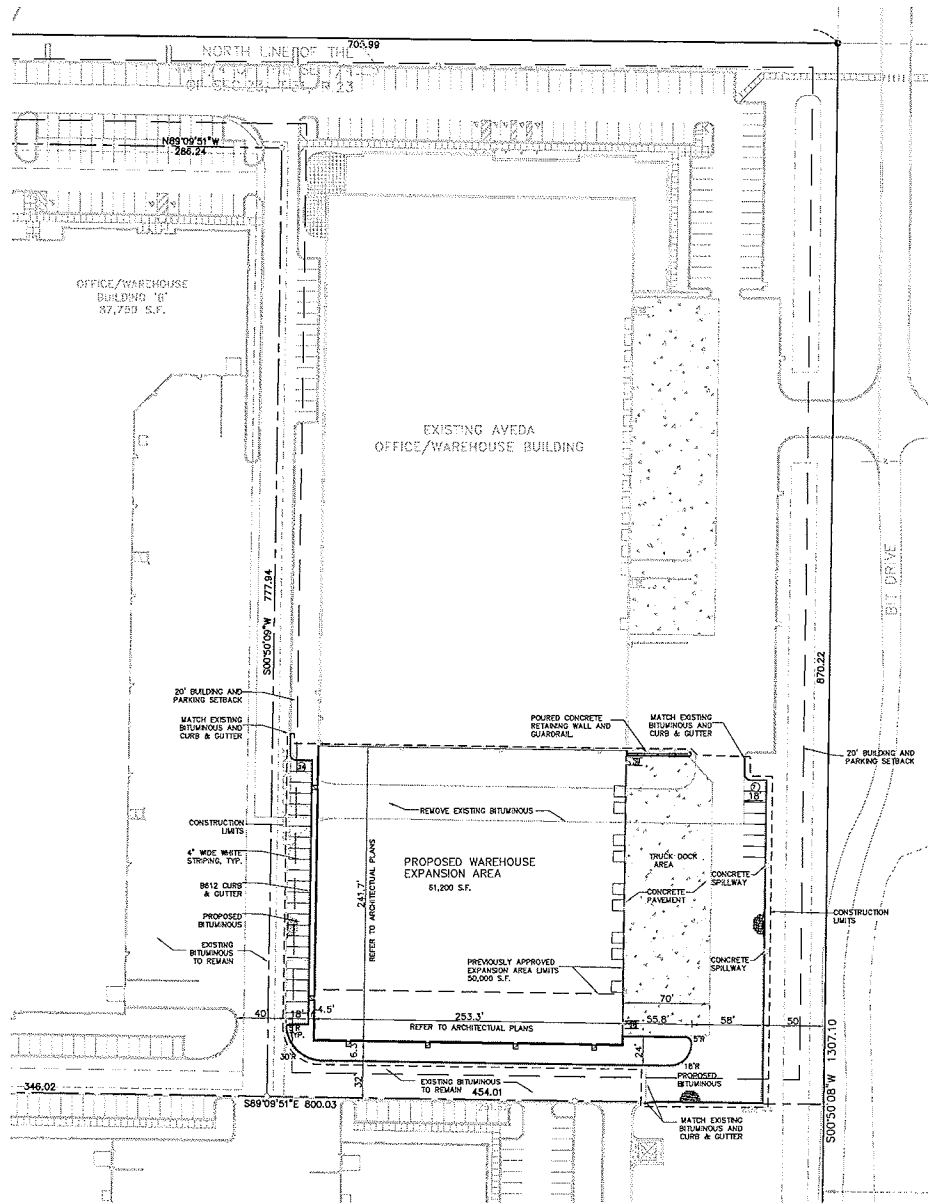


Case File No. 13-0032



Plotting Date: X:\2013\2005\Year_sheets\2005Site.dwg Apr 26, 2013 - 10:58am



SITE PLAN

SITE DATA:

ZONING:
PLANNED BUSINESS DISTRICT

COMPREHENSIVE LAND USE:
PLANNED INDUSTRIAL

LOT AREA:
418,855 S.F. (9.615 ACRES)

PROPOSED EXPANSION AREA:
PROPOSED AVEDA ADDITION AREAS: 61,200 SF (100%)
WAREHOUSE SPACE

PARKING DATA
REQUIRED:
PROPOSED WAREHOUSE (61,200 S.F.) 1/2000: 31
PROPOSED:
PROPOSED PARKING: 31

AREA LIGHTING:
AREA LIGHTING SHALL BE WALL MOUNT UNITS AND SHALL MATCH THE EXISTING FEATURES ON THE MAIN BUILDING.

GENERAL NOTES:

1. PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE TO MAKE SURE THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED AND CONSTRUCTION OR PARKING SHALL BEGIN WITH THE CONTRACTOR HAS RECEIVED AND UNDERSTOOD ALL PLANS AND OTHER DOCUMENTS APPROVED BY ALL OF THE PERMITTING AUTHORITIES.
2. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE REQUIREMENTS AND STANDARDS OF THE LOCAL GOVERNING AUTHORITY.
3. CONTRACTOR IS RESPONSIBLE FOR DEMOLITION & REMOVAL OF ALL EXISTING STRUCTURES WHICH INTERFERE WITH NEW WORK AS SHOWN.
4. CONCRETE SIDEWALK AND CURB & GUTTER SHALL BE REMOVED TO NEAREST CONSTRUCTION JOINT OUTSIDE THE REMOVAL LIMITS.
5. ALL DIMENSIONS, GRADES, ELEVATIONS AND PROPOSED INFORMATION SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE CONSTRUCTION MANAGER OF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY PLAN OF GRADE CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR WORK HAVING TO BE REDONE DUE TO INFORMATION SHOWN INDIRECTLY ON THESE PLANS IF SUCH INFORMATION HAS NOT BEEN OBTAINED.
6. ALL DIMENSIONS SHOWN ARE TO FACE OF CURB, CENTER OF STRUCTURE, EDGE OF SIDEWALK OR EXTERIOR OF BUILDING.
7. ALL CONCRETE SIDEWALK ADJACENT TO BUILDING SHALL BE SEPARATED BY A 1/2" EXPANSION JOINT.
8. PROTECT EXISTING CONCRETE SIDEWALKS THROUGH ALL PHASES OF CONSTRUCTION. CONTRACTOR TO REPLACE ANY CRACKED OR BROKEN PANELS CAUSED BY SITE CONSTRUCTION.
9. CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL & DISPOSAL OF THE EXISTING BITUMINOUS. BITUMINOUS SHALL BE SAW CUT OR JACK HAMMERS FOR STRAIGHT EDGES. TACK SHALL BE USED ON BITUMINOUS EDGE PRIOR TO PATCHING. MATCH EXISTING GRADES.
10. CONTRACTOR SHALL PROTECT ADJACENT PROPERTIES & STRUCTURES FROM HAZARDS ASSOCIATED WITH THE CONSTRUCTION ACTIVITIES & SHALL BE RESPONSIBLE FOR ALL DAMAGES TO PROPERTIES & STRUCTURES THAT OCCUR AS A RESULT OF THESE ACTIVITIES.
11. CONTRACTOR SHALL NOT IMPED EXISTING TRAFFIC CIRCULATION TO ADJACENT BUSINESSES.
12. CONTRACTOR SHALL PERFORM SWEEPING ON PRIVATE PARKING AREAS AND PUBLIC STREETS AT LEAST ONCE A WEEK, ONCE A DAY IF NEEDED.
13. CONTRACTOR SHALL BE HELD FULLY RESPONSIBLE TO PREVENT AND ELIMINATE ANY DIRT MOUNDAGE OCCASIONED BY AND DURING CONSTRUCTION, UNTIL THE PROJECT HAS BEEN COMPLETED AND HANDLED OVER.

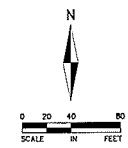
SITE PLAN NOTES:

1. ALL DIMENSIONS ARE TO FACE OF BUILDING AND/OR FACE OF CURB.
2. REFER TO ARCHITECTURAL DRAWINGS FOR CONCRETE STOODS ADJACENT TO PROPOSED BUILDING.
3. CONTINUOUS CONCRETE CURB & GUTTER WHICH CHANGES TYPE SHALL HAVE A FIVE FOOT TRANSITION.
4. ALL CONCRETE CURB AND GUTTER ADJACENT TO CONCRETE WALK BE SEPARATED BY A 1/2" INCH EXPANSION JOINT.
5. ALL EXISTING CURB CUTS TO BE REPLACED WITH CONCRETE CURB AND GUTTER EQUIVALENT TO THAT WHICH CURRENTLY EXISTS.
6. ALL CURB AND GUTTER AND SIDEWALK WITHIN R.O.W. TO BE PER CITY STANDARDS.
7. ALL STRIPES SHALL BE PAINTED 4 INCH WHITE PER GOVERNING AGENCY STANDARDS.
8. ALL WORK WITHIN THE R.O.W. SHALL COMPLY WITH THE CITY AND GOVERNING AGENCY ENGINEERING DESIGN STANDARDS. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ANY REQUIRED PERMITS.
9. ALL CURB AND GUTTER TO BE CONCRETE #812 CURB UNLESS NOTED OTHERWISE, PER CITY STANDARDS.
10. BUILDING DIMENSIONS REFER TO OUTSIDE OF BUILDING FACE (TYP.) UNLESS OTHERWISE NOTED.
11. CONTRACTOR SHALL FIELD VERIFY THE LOCATIONS AND DEVIATIONS OF EXISTING UTILITIES AND TOPOGRAPHIC FEATURES, SUCH AS EXISTING GUTTER GRADES AT THE PROPOSED BOUNDARY OF THE SITE GRADING. CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF ANY DISCREPANCIES OR VARIATIONS FROM THE PLANS.
12. ALL CONCRETE PADS TO BE 3000 PSI AIR ENTRAINED 8" CONCRETE WITH #4 BARS @ 12" O.C. AND BROOM FINISHED. REFER TO SOILS REPORT.
13. SPAN-TRAILER CONCRETE LANDING GEAR PAD SHALL BE 10' WIDE, 8000 PSI CONCRETE AT 12" O.C. TO ADD IN CORRECT SPOTTING OF TRAILER.
14. RETAINING WALLS AND CONCRETE PAVEMENT SECTION DESIGN TO BE IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE SOILS REPORT.
15. CONTRACTOR SHALL COORDINATE WITH THE FIRE MARSHAL FOR POSTING OF FIRE LINES, CURB MARKING AND SIGNALS.
16. ALL RETAINING WALLS TO BE CONCRETE MODULAR BLOCK. CONTRACTOR SHALL PROVIDE ENGINEERING SHOP DRAWINGS TO PROJECT MANAGER FOR APPROVAL. REFER TO GRADING PLAN.

SITE LEGEND:

- PROPOSED #812 CURB AND GUTTER
- EXISTING CURB AND GUTTER
- FUTURE CURB AND GUTTER
- - - CONSTRUCTION LIMITS
- PROPERTY LINE
- LOT LINE
- PROPOSED PARKING/BUILDING SETBACK
- PROPOSED UTILITY EASEMENT
- LIGHT UTILITY BITUMINOUS PAVEMENT
- HEAVY UTILITY BITUMINOUS PAVEMENT
- CONCRETE PAVEMENT

- LUMINAIRE
- DIRECTION OF TRAFFIC



LEXINGTON PRESERVE BUSINESS PARK-AVEDA EXPANSION

3860 PHEASANT RIDGE DRIVE NE
DULUTH, MINNESOTA

CUP AMENDMENT & SITE PLAN REVIEW

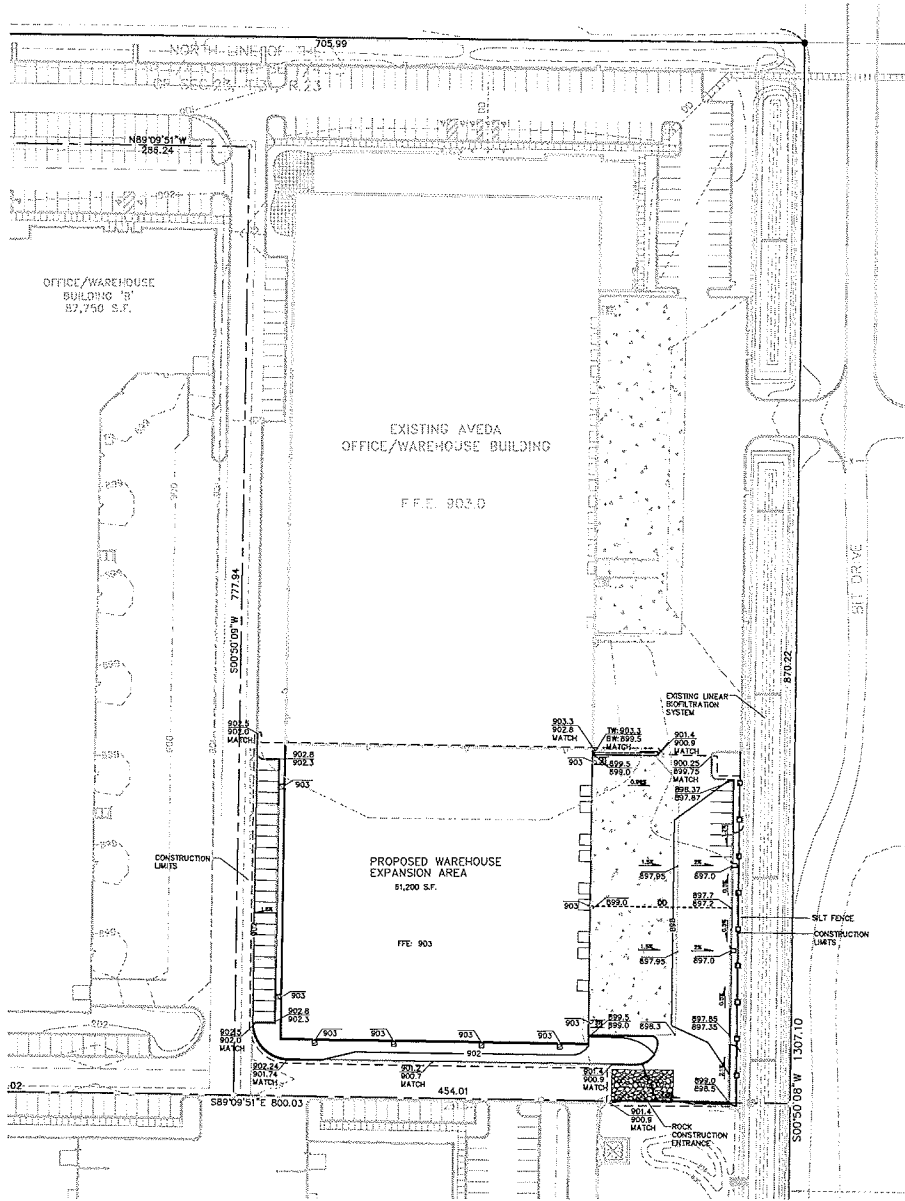
SITE PLAN

REVISED:
4.24.13 09:25/2hr Item 04-016

DESIGNED BY: WMM
DRAWN BY: WMM
CHECKED BY: CW
DATE ISSUED: 4.24.13
SCALE: 1" = 40'
JOB NO.: 213-0091

C-2

SHEET 3 of 9



EROSION CONTROL SCHEDULE

1. PRIOR TO ANY CONSTRUCTION OR DEMOLITION, SALT FENCE AND MAT BALES SHALL BE INSTALLED AS SHOWN TO INTERCEPT RUNOFF.
2. IMMEDIATELY FOLLOWING GRADING OF SLOPES (3:1), WOOD FIBER BLANKET (OR OTHER SLIPS STABILIZATION METHOD APPROVED BY ENGINEER) SHALL BE APPLIED OVER APPROVED SEED MIXTURE AND A MINIMUM OF 4" TOPSOIL SHALL BE APPLIED TO ALLOW FOR THE REPLACEMENT OF 4" OF TOPSOIL FOR DISTURBED AREAS TO BE RE-VEGETATED.
3. ALL EROSION CONTROL INSTALLATIONS SHALL REMAIN IN PLACE AND BE MAINTAINED IN GOOD CONDITION BY THE CONTRACTOR UNTIL THE SITE HAS BEEN RE-VEGETATED. CONTRACTOR MAY REMOVE NECESSARY SALT FENCES/FENCES TO CONSTRUCT FOUNDATIONS, WHILE MAINTAINING ADEQUATE EROSION CONTROL IN ADJACENT AREA.
4. SALT FENCE TOPSOIL SHALL BE STOCKPILED TO ALLOW FOR THE REPLACEMENT OF 4" OF TOPSOIL FOR DISTURBED AREAS TO BE RE-VEGETATED.
5. THE CONTRACTOR SHALL SCHEDULE SITE GRADING, UTILITY INSTALLATION AND ROADWAY CONSTRUCTION SO THAT FOLLOWING INITIAL SOIL DISTURBANCE OR RECONSTRUCTION, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN SEVEN (7) CALENDAR DAYS ON ALL PERIMETER DITCHES, SWALES, DITCHES, PERIMETER SLOPES, AND ALL SLOPES GREATER THAN 3:1 HORIZONTAL TO 1 VERTICAL (3:1) AND WITHIN FORTY-EIGHT (48) HOURS ON ALL OTHER DISTURBED OR GRADED AREAS. THE REQUIREMENTS OF THIS SECTION DO NOT APPLY TO THOSE AREAS WHICH ARE SHOWN ON THE PLAN AND ARE CURRENTLY BEING USED FOR MATERIAL STORAGE OR FOR THOSE AREAS ON WHICH ACTUAL CONSTRUCTION ACTIVITIES ARE CURRENTLY BEING PERFORMED.
6. THE DITCHES UNLEAKED IN THE SEED AND SOY BEANS SHALL BE OF A SHAPE/TOLERANCE TYPE APPROVED BY THE MINNESOTA DEPARTMENT OF TRANSPORTATION.
7. FOLLOWING CONSTRUCTION OF CATCH BASINS AND SALT FENCE SHALL BE PLACED WHERE SHOWN TO LIMIT SEDIMENT LEAKING TO THE SEDIMENT POND. THESE MEASURES SHALL REMAIN IN PLACE UNTIL REACHING OF STABILIZED COURSE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL OF ALL SEDIMENT AND DEBRIS ENTERING THE STORM DRAIN UPON COMPLETION OF THE PROJECT.

EROSION AND SEDIMENT CONTROL MAINTENANCE PROGRAM

1. INSPECT SALT FENCES IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL IMMEDIATELY REPAIR FAILED OR FAILING SALT FENCE.
2. REPLACEMENT - FABRIC SHALL BE REPLACED PROMPTLY WHEN IT BECOMES INEFFECTIVE OR BECOMES DISTRACTIVE BEFORE THE BARRIER IS NO LONGER NECESSARY.
3. SEDIMENT PILES - SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH STORM EVENT. THEY MUST BE REMOVED WHEN DEPOSITS REACH APPROXIMATELY ONE-HALF THE HEIGHT OF THE BARRIER. ANY SEDIMENT REMOVED IN PLACE AFTER THE SALT FENCE OR FILTER FABRIC HAS BEEN PERMANENTLY STABILIZED. IF THE UPRAMP SLOPING AREA IS TO BE EXPOSED LONGER THAN SIX (6) MONTHS, THAT AREA SHALL BE COVERED WITH TEMPORARY VEGETATION WHICH FIRST EXPOSED.
4. REMOVAL OF SALT FENCE - SALT FENCES SHALL BE REMOVED WHEN THEY HAVE SERVED THEIR USEFUL PURPOSE, BUT NOT BEFORE THE UPRAMP SLOPING AREA HAS BEEN PERMANENTLY STABILIZED.

GRADING NOTES:

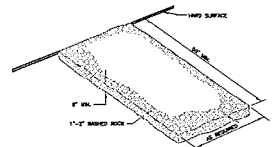
1. PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE TO MAKE SURE THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS APPROVED BY ALL OF THE PERMITTING AUTHORITIES.
2. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE REQUIREMENTS AND STANDARDS OF THE LOCAL GOVERNING AUTHORITY.
3. STATE-MANDATED EROSION CONTROL MEASURES MUST BE IMPLEMENTED AND MAINTAINED DURING CONSTRUCTION.
4. CONTRACTOR TO NOTIFY GOVERNER STATE ONE, (800)252-1166, 48 HOURS PRIOR TO THE START OF CONSTRUCTION.
5. SEE LANDSCAPE PLAN FOR ADDITIONAL INFILTRATION BASIN REQUIREMENTS.

BENCHMARKS

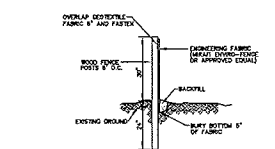
1. TOP OF MANHOLE DOOR STAMPED "0200 0 1907" LOCATED AT FRAME, 1.8 MILES NORTH OF ANOKA COUNTY LINE, 2 FEET WEST OF LOW EAST-WEST NORTH-OF-WAY FENCE AND 288 FEET NORTHEAST OF LEXINGTON AVE. EXIST. BENCH ELEVATION IS 818.28; 900.29 ±.
2. TOP MAT INHUMN LOCATED 100 FEET NORTH AND 75 FEET WEST OF THE SANITARY LIFT STATION LOCATED ON THE EAST SIDE OF SITE NEAR US9. ELEVATION 901.26; 900.29 ±.

GRADING NOTES:

1. ALL FINISHED GRADES SHALL SLOPE AWAY FROM PROPOSED BUILDINGS AT MINIMUM GRADE OF 2:100 (WHERE FEASIBLE).
2. ACCESSIBLE PARKING SPACE NOT TO EXCEED 2:100 IN ANY DIRECTION.
3. ALL CURBS AND GUTTERS AT ACCESSIBLE PARKING SPACES TO BE DEPRESSION WITH 2" TAPER.
4. THE CONTRACTOR SHALL KEEP THE ADJACENT ROADWAYS FREE OF DEBRIS AND PREVENT THE OFF-SITE TRACKING OF SOIL IN ACCORDANCE WITH THE REQUIREMENTS OF THE CITY AND MINN.
5. NOTIFY GOVERNER STATE ONE CALL AT (800)252-1166, 48 HOURS PRIOR TO START OF CONSTRUCTION.
6. ALL IMPROVEMENTS TO CONFORM WITH CITY OR STATE CONSTRUCTION STANDARDS CORPORATION, LATEST EDITION.
7. SURVEYOR TO VERIFY BENCHMARK ELEVATION PRIOR TO START OF CONSTRUCTION.
8. ROCK CONSTRUCTION ENTRANCES SHALL BE PROVIDED AT ALL CONSTRUCTION ACCESS POINTS.
9. CONTRACTOR TO KEEP A COPY OF THE EROSION CONTROL PLAN ON SITE AT ALL TIMES.
10. REFER TO GEOLOGICAL REPORT FOR SOIL CONSTRUCTION, TESTING REQUIREMENTS AND FOR FACILITY RECOMMENDATIONS AND SUBMIT RECOMMENDATIONS.
11. STRIP TOPSOIL PRIOR TO ANY CONSTRUCTION. REUSE STOCKPILE ON SITE, (WHERE FEASIBLE).
12. PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE TO MAKE SURE THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS APPROVED BY ALL OF THE PERMITTING AUTHORITIES.
13. IMMEDIATELY FOLLOWING GRADING OF (3:1) OR GREATER SLOPES AND DRAINAGE SWALES, WOOD FIBER BLANKET OR OTHER APPROVED SOIL STABILIZING METHOD (APPROVED BY ENGINEER) SHALL BE APPLIED OVER APPROVED SEED MIXTURE AND A MINIMUM OF 4" TOPSOIL.
14. THE GENERAL CONTRACTOR MUST DISCUSS DRAINAGE PLANS WITH ALL SUBCONTRACTORS TO VERIFY WHOSE REQUIREMENTS IF DRAINAGE IS REQUIRED DURING CONSTRUCTION. CONTRACTOR SHOULD CONSULT WITH EROSION CONTROL INSPECTOR AND ENGINEER TO DETERMINE APPROPRIATE METHODS.
15. FILL SPICES AND DISPOSAL AREAS SHOULD BE DISCUSSED WITH CITY PRIOR TO EXPORTING MATERIAL OFFSITE.
16. ALL UTILITY INSTALLATION BACKFILL SHALL BE PLACED AND COMPACTED IN ACCORDANCE WITH SOIL TESTING AGENCY REQUIREMENTS AND/OR SPECIFICATIONS. SOILS REPORT RECOMMENDATIONS INCLUDE PLACING BACKFILL AND FILL IN LIFTS NOT EXCEEDING 8 INCHES IN THICKNESS. THE COMPACTED CONTENT OF THE FILL SHALL BE THE FOLLOWING PERCENTAGES OF STANDARD PROCTOR:
 - BELOW FOUNDATION AND INTERIOR SLABS - 95%
 - BELOW EXTERIOR SLABS - 95%
 - WITHIN 2 FEET OF FINISHMENT - 100%
 - BELOW FINISHMENT - 95%
 - BELOW LANDSCAPE SWALES - 95%
17. ALL FILL SHALL BE PLACED WITHIN 3 PERCENTAGE POINTS ABOVE 1 PERCENT BELOW ITS OPTIMUM MOISTURE CONTENT.
18. EROSION CONTROL NOTES AND PROCEDURES SHALL BE INCLUDED IN THE CONSTRUCTION DOCUMENTS.
19. CONTRACTOR SHALL COORDINATE PRIVATE/PUBLIC UTILITIES RELOCATES, SUCH AS TRAFFIC SIGNAL, MANHOLES AND WORK, ETC.



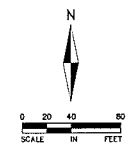
ROCK CONSTRUCTION ENTRANCE
NO SCALE



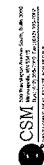
EROSION CONTROL FENCE
NO SCALE


GRADING LEGEND:

- EXISTING CONTOUR
- - - PROPOSED CONTOUR
- TOP OF CURB
- FLOW LINE
- TOP OF WALL ELEVATION
- BOTTOM OF WALL ELEVATION
- EXISTING LOT CORNER ELEVATION
- PROPOSED LOT CORNER ELEVATION
- PROPOSED CATCH BASIN
- DRAINAGE DITCH
- DIRECTION OF DRAINAGE
- FINISH FLOOR ELEVATION
- SALT FENCE
- INLET PROTECTION
- EMERGENCY OVERTURN ROUTING
- PROPOSED STORM SEWER
- EXISTING STORM SEWER



GRADING & EROSION CONTROL PLAN


 CONSULTING SERVICES
 1100 PARK AVENUE, SUITE 200
 MINNEAPOLIS, MN 55414
 PHONE: 612.224.5200
 FAX: 612.224.5000


ALLIANT
 ENGINEERING, INC.
 1100 PARK AVENUE, SUITE 200
 MINNEAPOLIS, MN 55414
 PHONE: 612.224.5200
 FAX: 612.224.5000

I hereby certify that the design, specifications, and calculations were prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer in the State of Minnesota.
 NAME: ALLIANT ENGINEERING, INC.
 LICENSE NUMBER: 40232
 EXPIRES: 12/31/2024

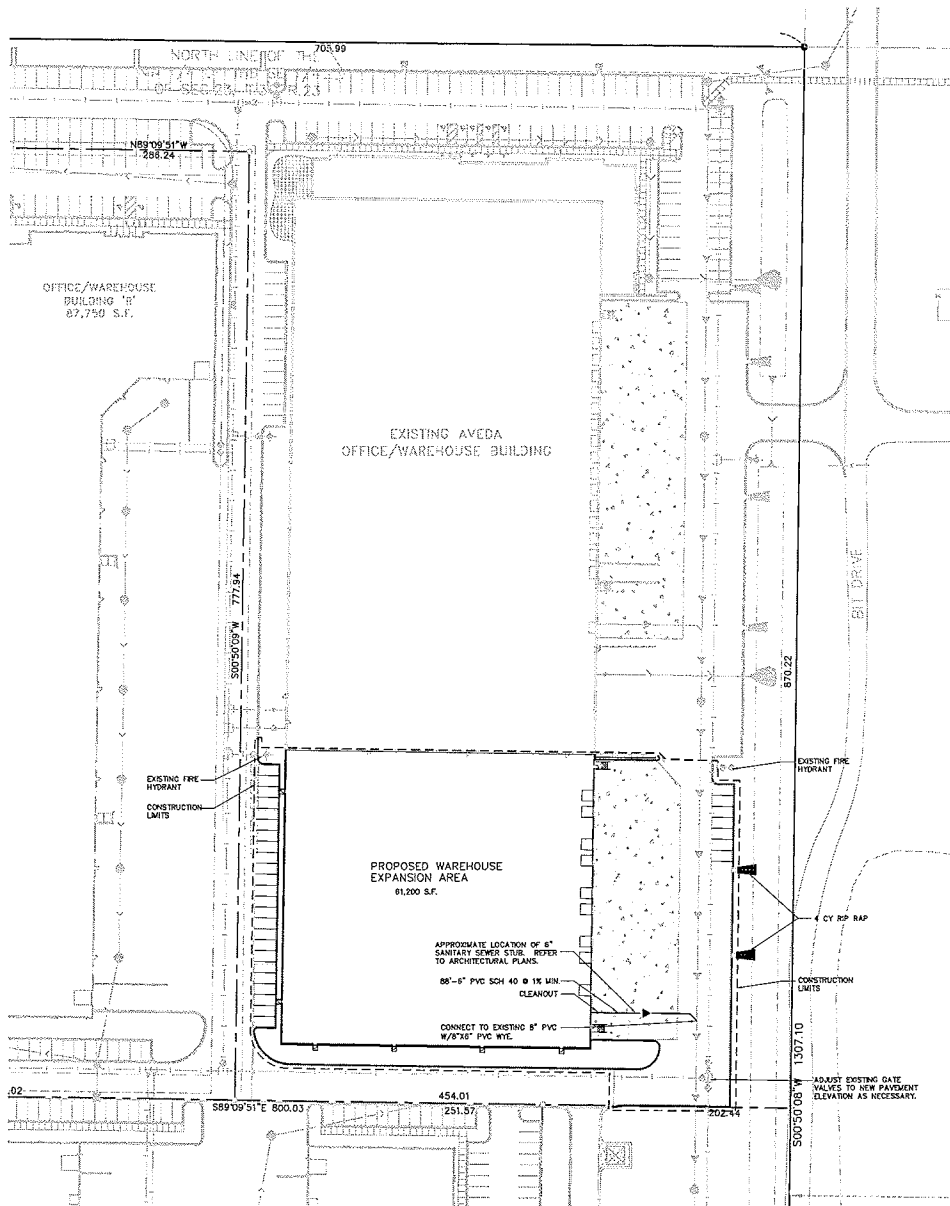
LEXINGTON PRESERVE BUSINESS PARK-AVEDA EXPANSION
 3650 PHEASANT RIDGE DRIVE NE
 LAUREL, MINNESOTA
CUP AMENDMENT & SITE PLAN REVIEW
GRADING & EROSION CONTROL PLAN

DESIGNED BY: WMM
 DRAWN BY: WMM
 CHECKED BY: CJC
 DATE ISSUED: 4.28.13
 SCALE: 1" = 40'
 JOB NO.: 213-2021

C-3

SHEET 4 of 9

Drawing name: X:\2013\10051\plan_sheets\10051.dwg Apr 25, 2013 - 11:05am



UTILITY PLAN

UTILITY NOTES:

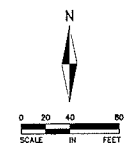
1. MAINTAIN 18" VERTICAL SEPARATION AT ALL PIPE CROSSINGS. WATER AND SANITARY SERVICES EXCEPT TO MAINTAIN 18" HORIZONTAL SEPARATION. LOWER WATERMAIN AS REQUIRED.
2. CONTRACTOR IS RESPONSIBLE FOR ALL PERMITS PRIOR TO THE START OF CONSTRUCTION.
3. ALL UTILITY WORK WITHIN THE R.O.M. SHALL COMPLY WITH THE CITY OF BLAINE ENGINEERING DESIGN STANDARDS.
4. NOTIFY GOMPER ONE, (507)232-1116, 48 HOURS IN ADVANCE OF ANY UTILITY WORK.
5. PROVIDE TEMPORARY TRAFFIC CONTROL IN COMPLIANCE WITH WADOT "TEMPORARY TRAFFIC CONTROL ZONE LAYOUT-FIELD MANUAL" DATED JANUARY 2004, FOR ANY UTILITY CONSTRUCTION WITHIN PUBLIC R.O.M.
6. ALL SANITARY SEWER SERVICE CONNECTIONS TO BE 8" PVC SCH 40 @ 1% MIN. SLOPE UNLESS STATED OTHERWISE ON PLANS.
7. ALL SANITARY SEWERS SHALL BE 8" PVC SCH-20 @ 0.4% MIN. SLOPE, UNLESS OTHERWISE STATED ON PLANS.
8. CONTACT CITY OF BLAINE ENGINEERING DEPARTMENT AT (763)785-8172 FOR INSPECTION OF ALL UTILITY WORK.
9. CONTRACTOR SHALL INSTALL "JUGGLER" OR AN APPROVED EQUAL MECHANICAL JOINT RESTRAINING DEVICE INSTEAD OF WOOD OR CONCRETE THRUST BLOCKING. CONCRETE AND/OR WOOD THRUST BLOCKING NOT ALLOWED.
10. SANITARY SEWER CLEANOUT SINGLE LID COVER SHALL BE "TORO" TYPE "A" STAMPED "SEWER C.O." TO DESIGNATE USE. IN ACCORDANCE WITH CITY OF BLAINE STANDARD DETAIL SSS-8 (SEE SHEET C-4).
11. COORDINATE ROOF DRAIN CONNECTIONS WITH PLUMBING.

BENCH MARK:

1. TOP OF MET/DTY IRON STAMPED "TORO D 1885" LOCATED AT BLAINE 1.8 MILES NORTH OF AVEDA COUNTY LINE, 2 FEET WEST OF LOW EASTERN FRONT-SIDE-WAY FENCE AND 258 FEET NORTHEAST OF EXISTING HIL LOST SIGN. ELEVATION @ 915.20 MVD 29.
2. TOP NUT HYDRANT LOCATED 100 FEET NORTH AND 75 FEET WEST OF THE SANITARY LIFT STATION LOCATED ON THE EAST SIDE OF SITE NEAR LANE. ELEVATION 901.19 MVD 29.

LEGEND

- EXISTING CONDITIONS**
- EXISTING SANITARY
 - EXISTING WATER
 - EXISTING STORM
 - ⊙ EXISTING GATE VALVE
 - ⊙ EXISTING GATE VALVE
 - ⊙ EXISTING HYDRANT
 - ⊙ EXISTING MANHOLE/CATCHBASIN
- PROPOSED UTILITIES**
- PROPOSED SANITARY
 - PROPOSED CLEANOUT
 - PROPOSED RIP RAP



I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer in the State of Minnesota.
DATE ISSUED
 Signature: _____ License Number: 40022
 City: _____

LEXINGTON PRESERVE BUSINESS PARK-AVEDA EXPANSION
 1845 PRESERVE RIDGE DRIVE NE
 BLAINE, MINNESOTA
CUP AMENDMENT & SITE PLAN REVIEW
UTILITY PLAN

REVISIONS
 4.24.13 CUP/18e Plan submitted

DESIGNED BY: MMW
 DRAWN BY: MMW
 CHECKED BY: CQ
 DATE ISSUED: 4.24.13
 SCALE: 1" = 40'
 JOB NO.: 213-0091

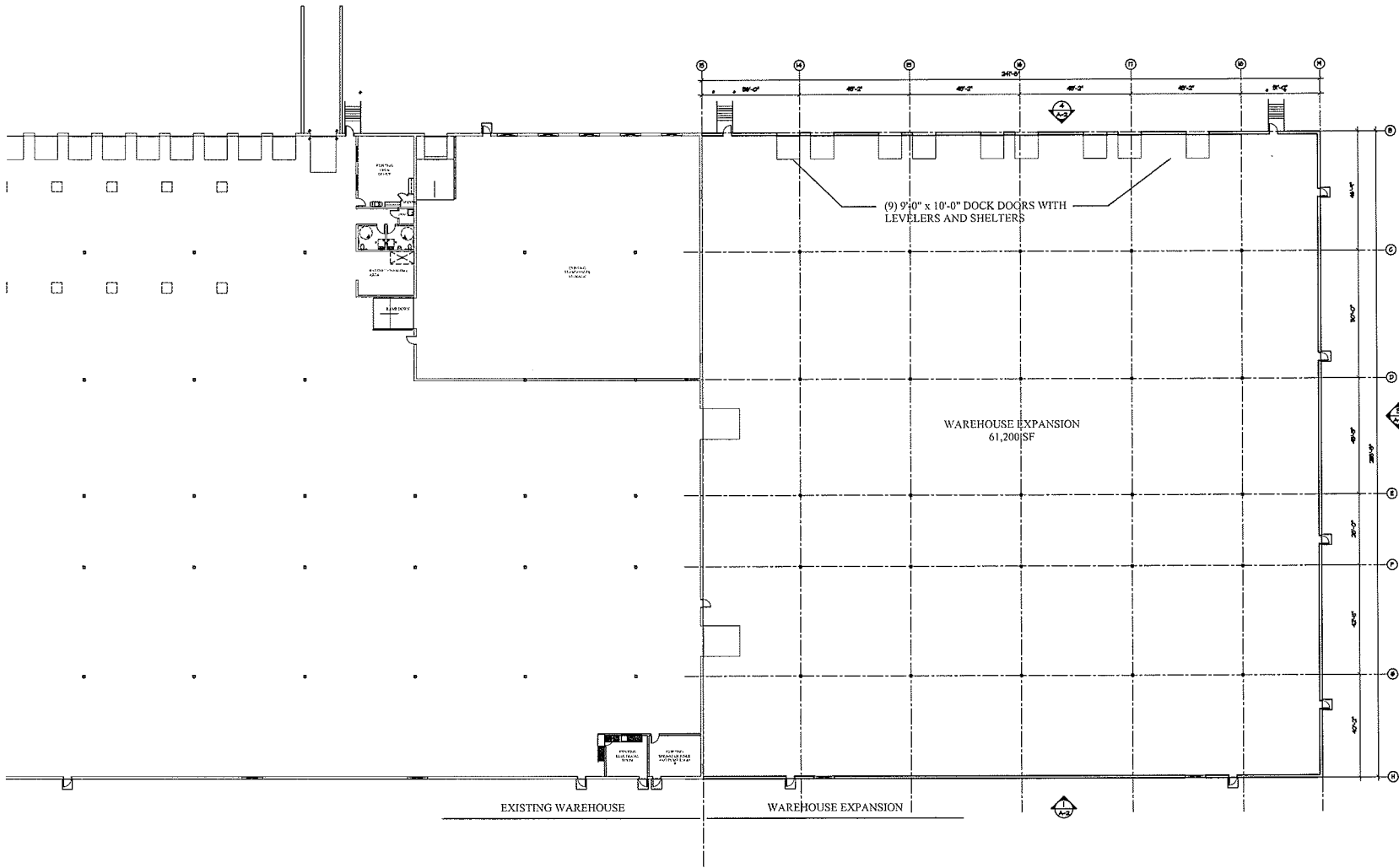
C-4

SHEET 5 of 9

AVEDA
DISTRIBUTION
CENTER
EXPANSION

BLAINE,
MINNESOTA

CITY
APPROVALS
04/26/13



FLOOR PLAN
SCALE: 1/8"=1'-0"



CSM
COMMERCIAL SERVICE MANAGEMENT
REGISTERED PROFESSIONAL ENGINEER
NO. 0000000000

Registration:
I hereby certify that this plan
prepared by me or under my
supervision and that I am a duly
licensed and active member of the
Professional Engineers Board of
Minnesota.

JOHN T. PERNER
Date: 04/26/13 Reg. No.: 46901

Drawn By: JOHN PERNER
Checked By: JOHN PERNER
Project Manager: DAN ILLICH
Date: APRIL 17, 2013

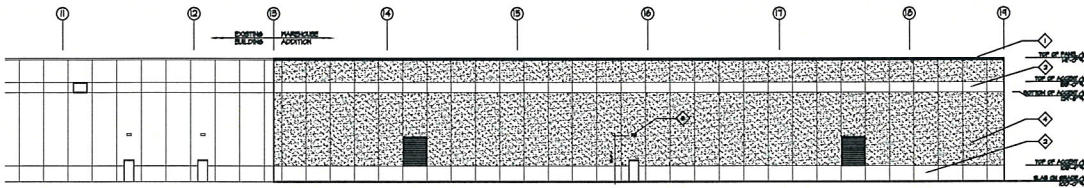
Revisions

Project No. JOC-0000
Sheet Title
FLOOR PLAN
Sheet No.

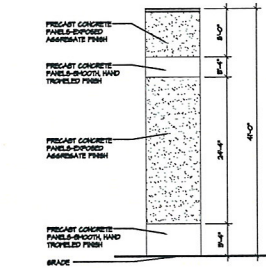
AVEDA
DISTRIBUTION
CENTER
EXPANSION

BLAINE,
MINNESOTA

CITY
APPROVALS
04/26/13



1 WEST ELEVATION
SCALE 3/8"=1'-0"



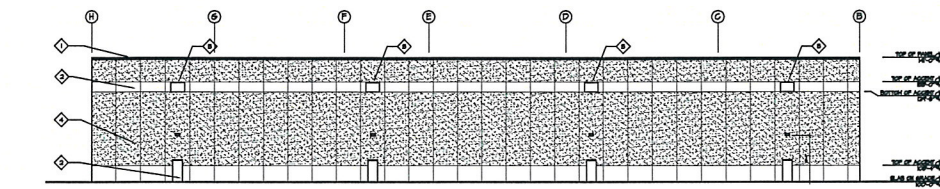
2 PRECAST PANEL DETAIL
SCALE 1/2"=1'-0"

PRECAST NOTES

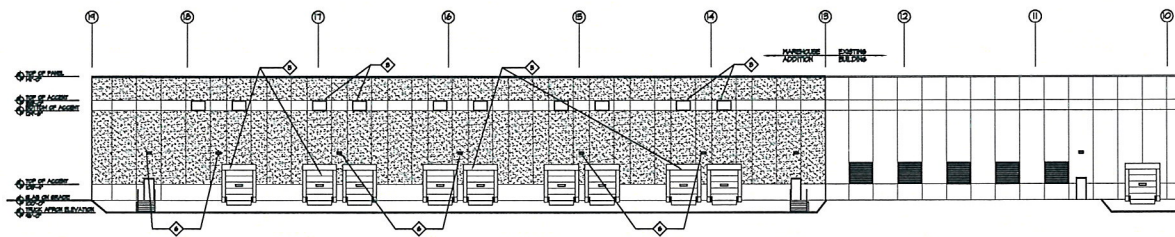
- ARCHITECTURAL PRECAST PANELS ARE TO BE WHITE, FABRICATION EXPOSED AGGREGATE PANELS WITH SMOOTH, HAND-TROVELED ACCENTS
- MIX RECIPE IS: WHITE AGGREGATE (#510) 100% WHITE CEMENT/ON GRAY (#400) WHITE SILICA SAND (#002)
- GROUT CORES FLUSH AT DOOR AND WINDOW OPENINGS WITH MATCHING PIGMENTED CONCRETE.

MATERIAL KEYNOTES:

- 1 PREFINISHED METAL COPING-KYNAR 500 ALUMINUM CLEAR ANODIZED
- 2 PRECAST CONCRETE PANELS SMOOTH, HAND-TROVELED FINISH COLOR: WHITE
- 3 ALUMINUM GLAZED WINDOW CLEAR ANODIZED FINISH
- 4 PRECAST CONCRETE PANELS EXPOSED AGGREGATE FINISH COLOR: WHITE
- 5 8'-0" X 10'-0" DOCK DOORS WITH LEVELERS AND DOCK SHELTERS
- 6 WALL PAK-COORDINATE WITH SITE LIGHTING (TYPICAL)



3 SOUTH ELEVATION
SCALE 3/8"=1'-0"



4 EAST ELEVATION
SCALE 3/8"=1'-0"



5 PHOTO OF EXISTING EAST SIDE-ADDITION TO MATCH EXISTING
SCALE



6 PHOTO OF EXISTING WEST SIDE-ADDITION TO MATCH EXISTING
SCALE

NOTE: FINISHES OF WAREHOUSE ADDITION ARE TO MATCH EXISTING WAREHOUSE. SEE PHOTOS.



Registration
I hereby certify that this plan prepared by me or under my direct supervision and that I am a duly Licensed Professional Architect holding the State of Minnesota.

JOHN T. FERBER

Date: 4/12/13 Reg. No. 48801

Drawn By: JASON SULLIVAN

Checked By: JOHN FERBER

Project Manager: DIAN SULLIVAN

Date: APRIL 17, 2013

Revisions

Project No. XG-000X

Sheet Title

EXTERIOR ELEVATIONS

Sheet No.